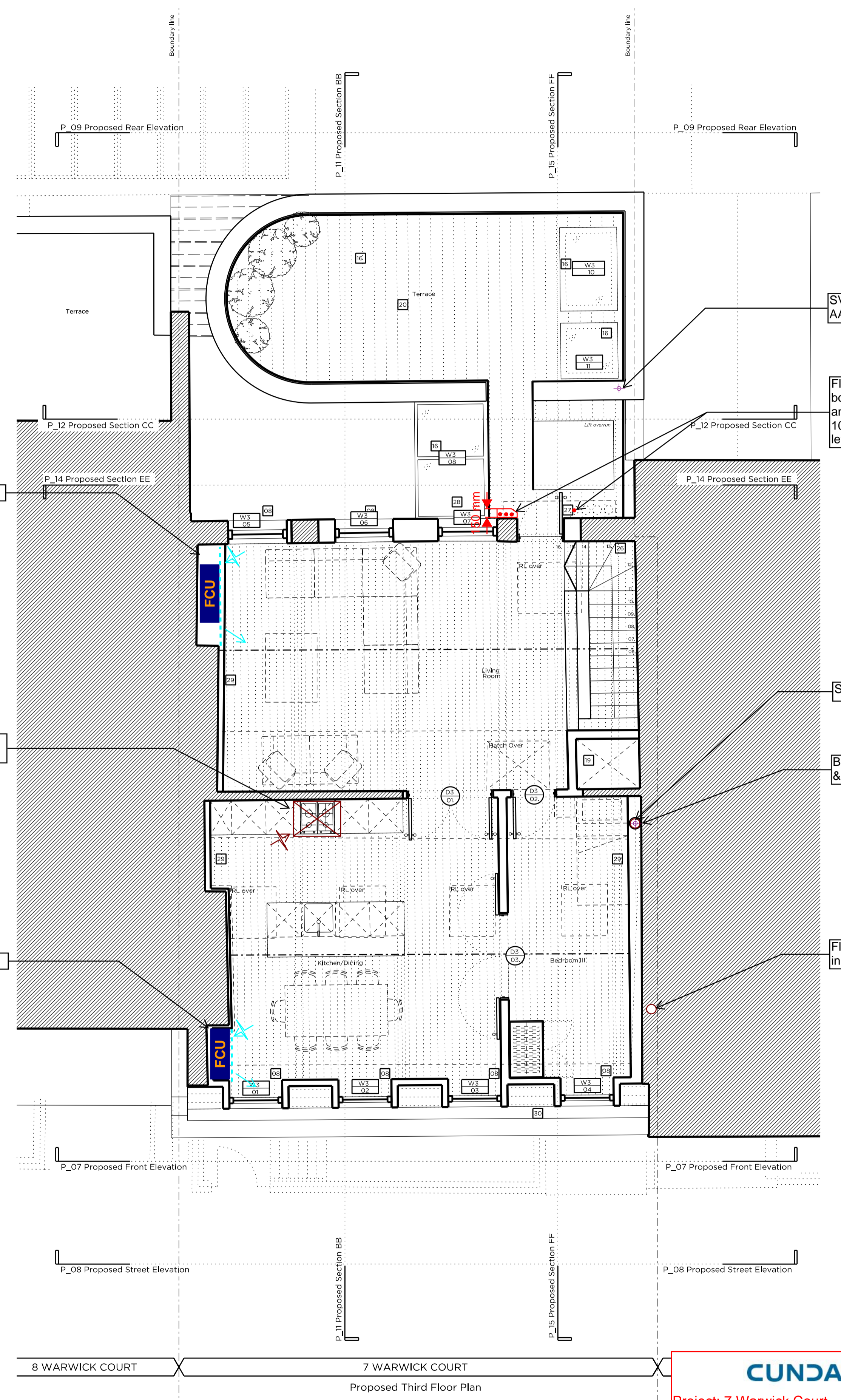
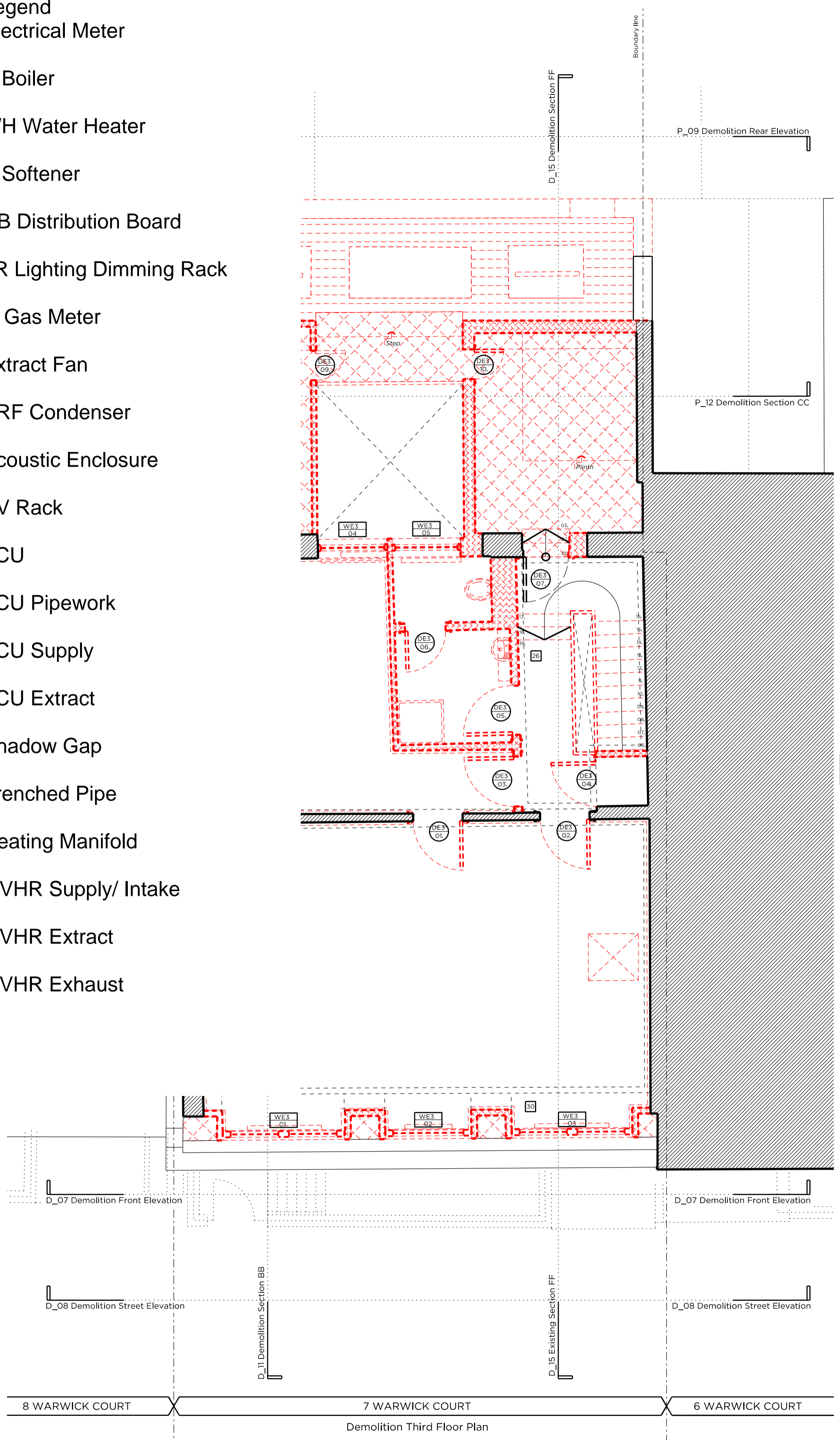


- Legend**
- Electrical Meter
 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - ← FCU Supply
 - ↗ FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

Proposed finishes legend

- Proposed straight-plank hardwood floor finish on specified floor build-up
- Proposed floor floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish (in existing and new roof structure)

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level. See Structural Engineer's Information, Low profile DPM throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipes to be removed and replaced with new downpipes. Existing canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Joists are to be inspected and strengthened where required to support increased loads. To Structural Engineer's detail.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing paneling, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

01 Existing skirting to be refurbished and redecorated.	22 Proposed condenser in attenuated enclosure, refer to M&E design
02 Existing window replaced with double glazed, timber framed sash window.	23 Raked/stair to basement level, with complete, traditionally-detailed, timber balustrade.
03 New, single glazed, timber framed fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single glazed, timber framed secondary glazing internally.
04 Non-orthogonal skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, window substitute to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompignon bicycles & £250 bicycle voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to be fitted through existing windows, replacement of existing non-orthogonal dormer windows.
10 Damaged window sills reduced on Brickover level.	31 Terrace to flat 02, with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Existing rear envelope retained. New, contemporary, timber clad rear elevation to match existing.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers. Refer to Section & Access Statement.	35 Slates to be removed, retained and new membrane installed. Existing slates to be retained and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof. New slope proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stair.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed rear elevation, with timber decking, new planting and wrap-around glass balustrade.	41 Proposed Roof
21 No. proposed condenser in attenuated enclosure.	42 Light to be removed from Brickwork and replaced as required.

CUNDALL

Project: 7 Warwick Court
 Project No: 1012034
 Drawing Title: Third Floor M&E Layout
 Drawing No: 1012034-SK-005_REVA
 Drawn By: SL Check By: POH Verified By: POH
 Date: 04.12.2015

PLANNING

Project No: 14029
 Client: GFZ Developments Ltd.
 Date: October 2015
 Scale: 1:100 @ A3 / 1:50 @ A1
 Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Third Floor Plan
 Drawing No: P_05 Rev. A

Drawn	Approved	Signed
DI	MW	AB

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0 0.5m 1m 2m 3m 4m 5m