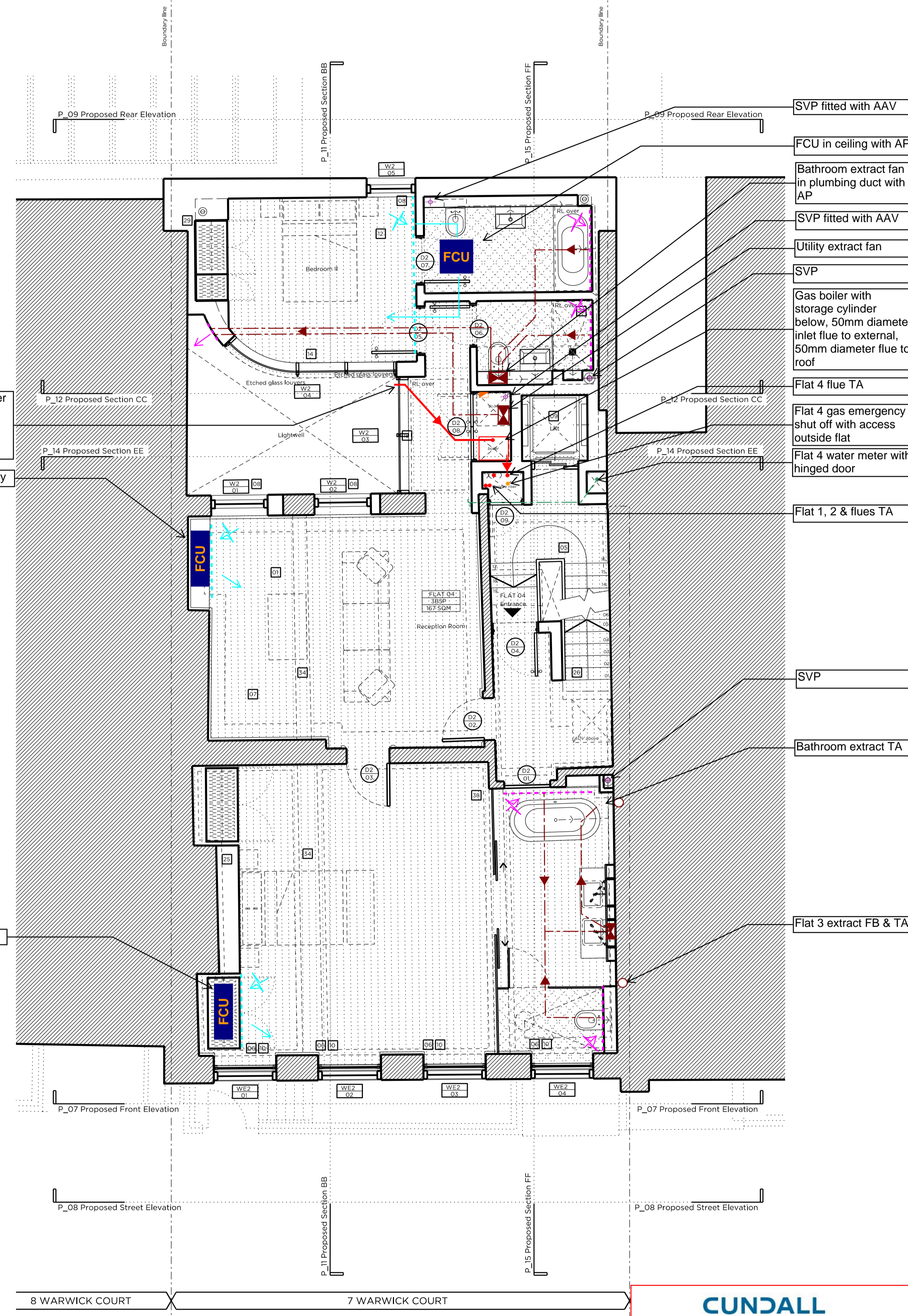
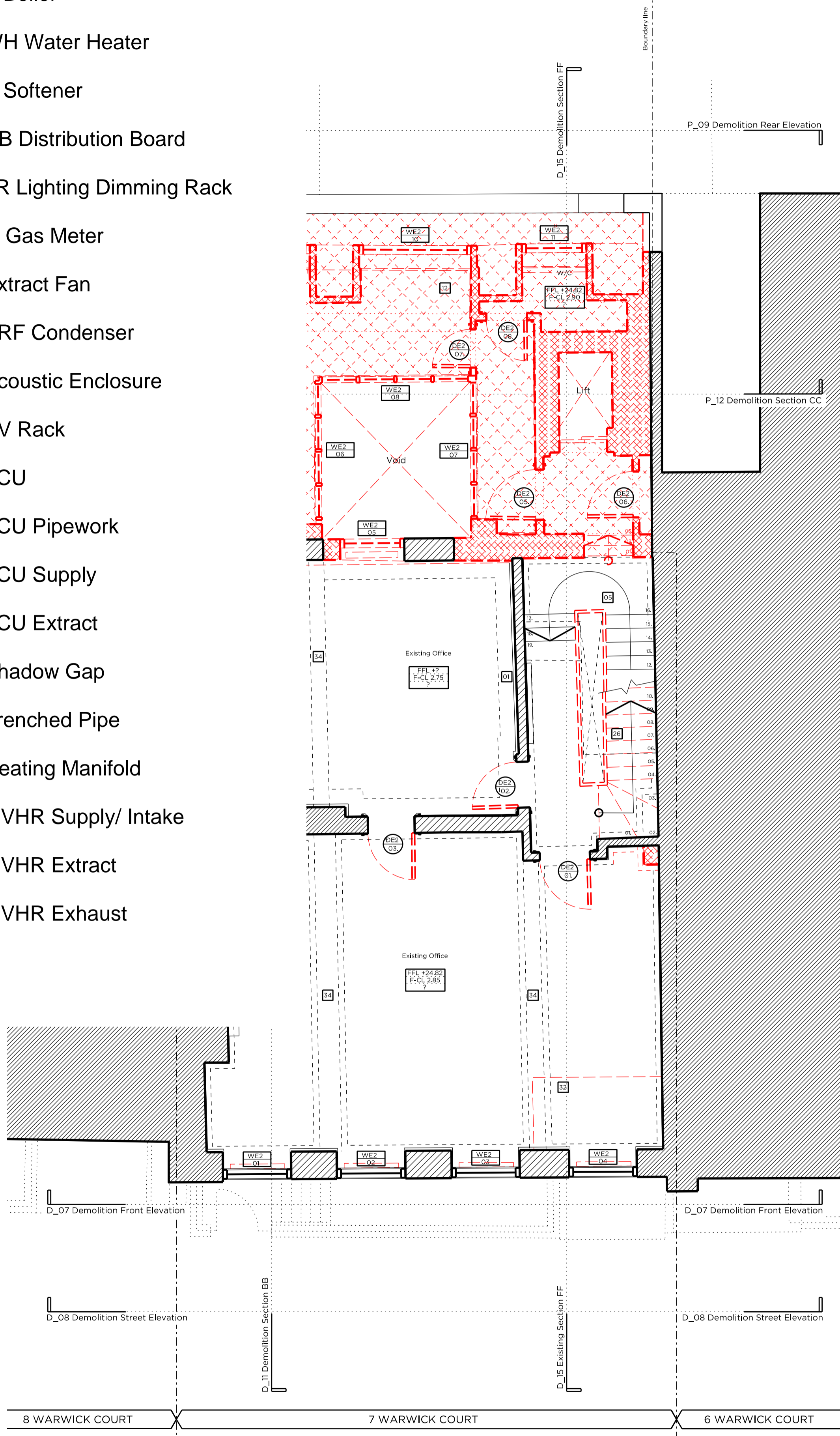


- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



- SVP fitted with AAV
- FCU in ceiling with AP
- Bathroom extract fan in plumbing duct with AP
- SVP fitted with AAV
- Utility extract fan
- SVP
- Gas boiler with storage cylinder below, 50mm diameter inlet flue to external, 50mm diameter flue to roof
- Flat 4 flue TA
- Flat 4 gas emergency shut off with access outside flat
- Flat 4 water meter with hinged door
- Flat 1, 2 & flues TA
- SVP
- Bathroom extract TA
- Flat 3 extract FB & TA

50mm diameter boiler air inlet on face (access required at every change of direction)

FCU build into joinery

FCU built into joinery

Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Hatch denotes removal of existing concrete slab.
- Hatch denotes proposed removal of existing structure (in elevation)

**Proposed Finishes legend**

- Proposed straight-joint hardwood floor finish on specified floor build-up.
- Timber decking
- Proposed floor finish on specified floor build-up.
- Natural stone floor tiles.
- Portland stone.
- Proposed slate roof finish on existing and new roof structure.

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level with structural engineer's information. Low profile UPJ threshold.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipe and drainage canopy to be removed and replaced with a like-for-like basin.
7. Slates are to be replaced up and strengthened where required to support increased loads. To structural engineer's detail.
8. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
9. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double-glazed, timber framed sash window.
- 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant window substitute to replace existing.
- 06 Existing sash windows refurbished and fitted with secondary glazing internally.
- 07 New, trompon bicycles & £250 slatex voucher to be supplied to each flat.
- 08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 09 Damaged window sills reduced on brickwork level.
- 10 Lightwell to be lowered by 1000mm. New, painted metal stair to accommodate level change.
- 11 Existing rear envelope retained. New, copper roof, timber framed roof structure to be preserved and maintained.
- 12 Proposed tin stone.
- 13 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers from externally.
- 14 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 15 New, double-glazed, walk-on rooflight.
- 16 New, double-glazed, conservation rooflight.
- 17 Partial demolition of existing roof. New, slate proposed, matching height and width of existing.
- 18 New, automatic-opening vent to communal stair. Terrace to the roof of proposed new planting and wrap-around glass balustrade.
- 19 No. proposed condenser in attenuated enclosure.
- 20 Proposed condenser in attenuated enclosure, refer to M&E design.
- 21 Raked/stair to basement level, with compliant, traditionally-detailed, timber balustrade.
- 22 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 23 Existing fireplace to be protected and covered.
- 24 Reconfiguration of existing stair.
- 25 New dummy window.
- 26 New double-glazed, traditionally detailed French door.
- 27 Lining to party wall.
- 28 Proposed head dormer arrangement to be fitted through with existing windows. Replacement of existing non-original dormer windows.
- 29 Terrace to flat 03 with new planting and Yorkstone paving.
- 30 Existing joists to be trimmed out. Single, surviving cast-iron spade to be preserved and maintained.
- 31 Slats to be removed, retained and new membrane installed. Existing slates to be reded and any new slates to match existing.
- 32 Facade refurbishment.
- 33 Existing facade to be re-rendered and redecorated.
- 34 Etched glass partition.
- 35 New Railings.
- 36 Fixed & obscure proposed windows.
- 37 Proposed Roof.
- 38 Paint to be removed from Brickwork and redecorated as required.

**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Second Floor M&E Layout

Drawing No: 1012034-SK-004\_REVA  
 Drawn By: SL Check By: IM Verified By: POH  
 Date: 04.12.2015

Rev A 15/10/15 Issued for planning submission

# PLANNING

Project No. **14029**

Client **GFZ Developments Ltd.**

Date **October 2015**

Scale **1:100 @ A3 / 1:50 @ A1**

Project **7 Warwick Court**

Drawing Title **Demolition & Proposed Second Floor Plan**

Drawing No. **P\_04** Rev. **A**

Drawn	Approved	Signed
DI	MW	AB

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