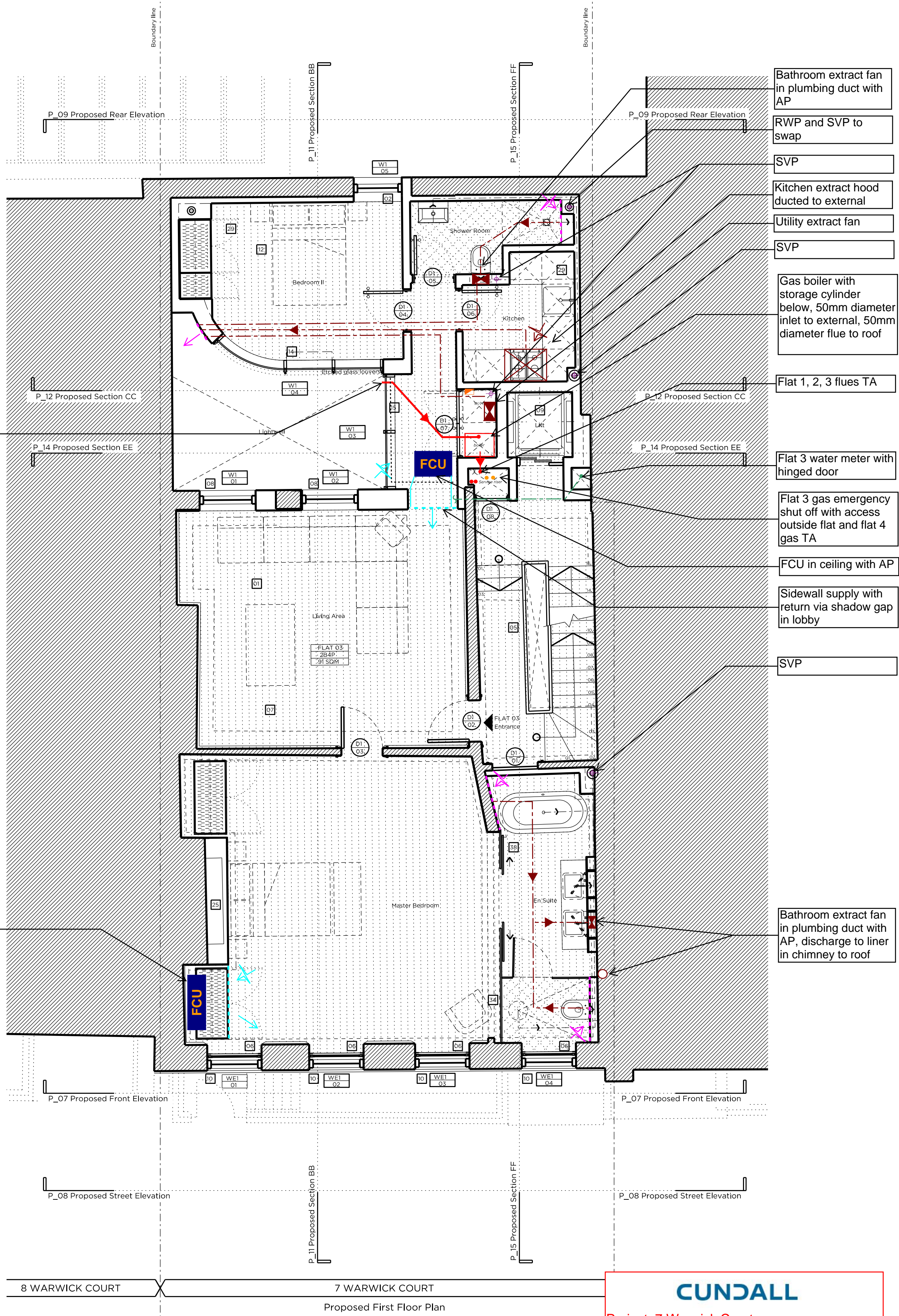
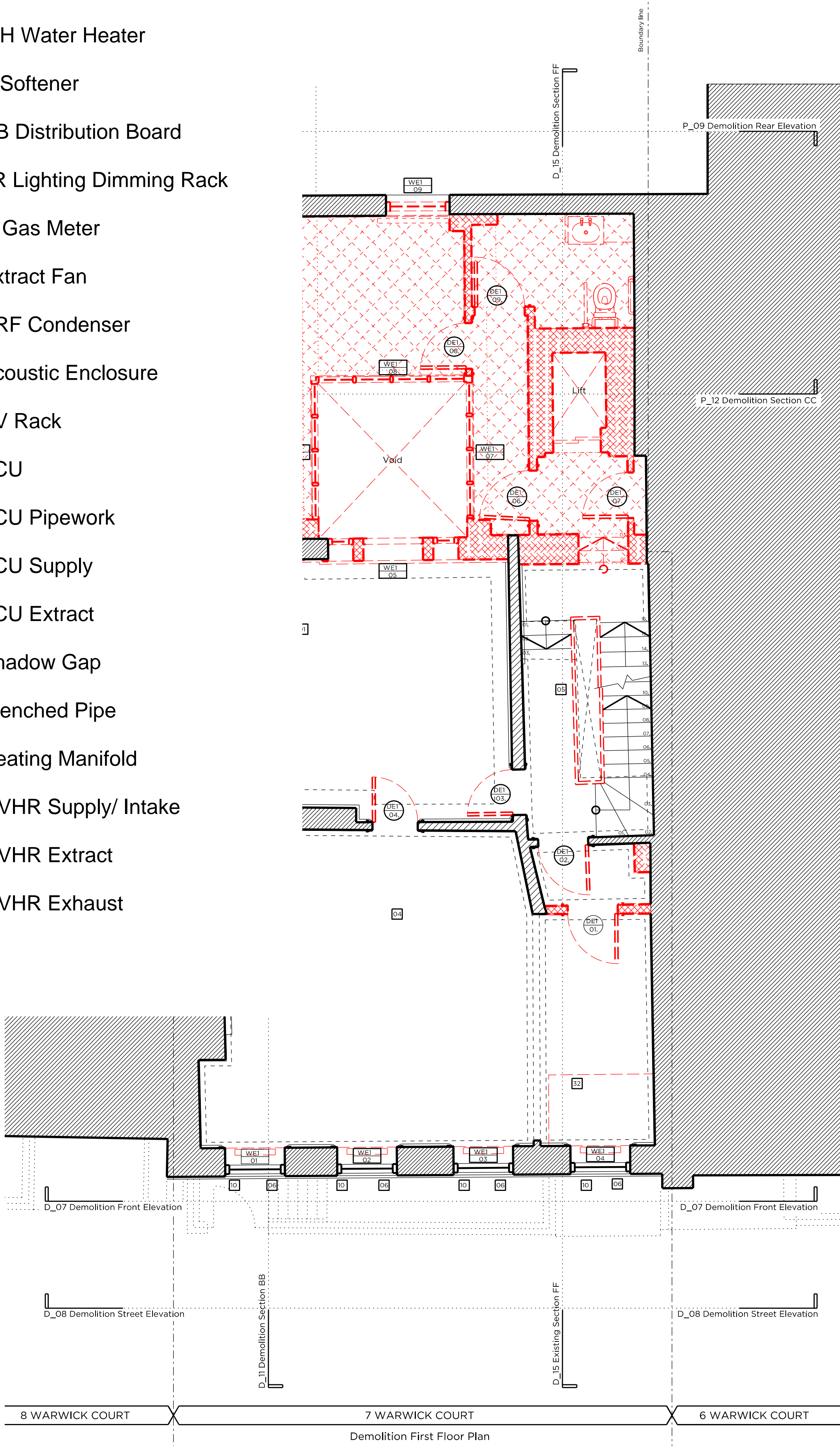


- Legend
- Electrical Meter
 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



Key Plan, Scale 1:1250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed structure (in elevation)

Proposed finishes legend:

- Proposed straight-plank hardwood floor finish on specified floor build-up
- Proposed tiled floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish on existing and new roof structure

General notes:

- Refer to the Door and Window Schedules for a detailed summary of each door and window.
- All existing floor finishes and existing ply to be carefully removed.
- Existing floorboards to be carefully removed and reused where possible.
- New existing floorboards are to be installed to the top of the existing joists in order to level the structural Engineer's information. Low profile UPV throughout.
- New drainage and concrete slab to be laid at basement level.
- Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipes to be replaced with new downpipes to match existing.
- Joists are to be squared up and strengthened where required to support increased loads, to structural Engineer's details.
- Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
- All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
- Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes:

- Existing skirting to be refurbished and redecorated.
- Existing window replaced with double glazed, timber framed sash window.
- Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
- Non-original skirting/trunking to be removed.
- Traditionally detailed, compliant, white-painted, timber framed sash window.
- Existing sash windows refurbished and fitted with secondary glazing internally.
- Two, trompion bicycles & 230g capacity voucher to be supplied to each flat.
- New, double-glazed, timber framed sash window. Refer to section & Access Statement.
- New lift.
- Damaged window sills replaced on a like-for-like basis.
- Lightwell to be lowered by 100mm. New, painted metal stair to accommodate level change.
- Existing rear envelope retained. New, contemporary, unobstructed rear garden floor slab to be preserved and maintained.
- Proposed bin store.
- New, double-glazed, anodised aluminium, retractable, timber framed windows, with etched glass louvers fitted externally.
- New, fixed, double-glazed, anodised aluminium framed glazing panels.
- New, double-glazed, walk-on rooflight.
- New, double-glazed, conservation rooflight.
- Partial demolition of existing roof, new roof proposed, matching height and width of existing.
- New, automatic-opening vent to communal stair.
- Terrace to the roof of proposed rear extension, with timber decking, new planting and 'wrap-around' glass balustrade.
- Two, proposed condenser in attenuated enclosure.
- Proposed condenser in attenuated enclosure, refer to M&E design.
- Reinforced stair to basement level, with compliant, traditionally-detailed, timber balustrade.
- New, single glazed, timber framed window to match existing, fitted with secondary glazing internally.
- Existing fireplace to be protected and covered.
- Reconfiguration of existing stair.
- New dummy window.
- New double-glazed, traditionally detailed French door.
- Living to party wall.
- Proposed head dormer arrangement to line through with existing windows. Replacement of existing non-original dormer windows.
- New double-glazed, traditionally detailed French door.
- Living to party wall.
- Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
- Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
- Slates to be removed, retained and new membrane installed. Existing slates to be retained and any new slates to match existing.
- Facade refurbishment.
- Existing facade to be re-rendered and redecorated.
- Etched glass partition.
- New Railings.
- Fixed & obscure proposed windows.
- Proposed glass partition.
- Paint to be removed from Brickwork and redecorated as required.

Rev A 15.10.15 Issued for planning submission

PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed First Floor Plan

Drawing No. P_03 Rev. A

Drawn: DI Approved: MW Signed: AB

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0 0.5m 1m 2m 3m 4m 5m