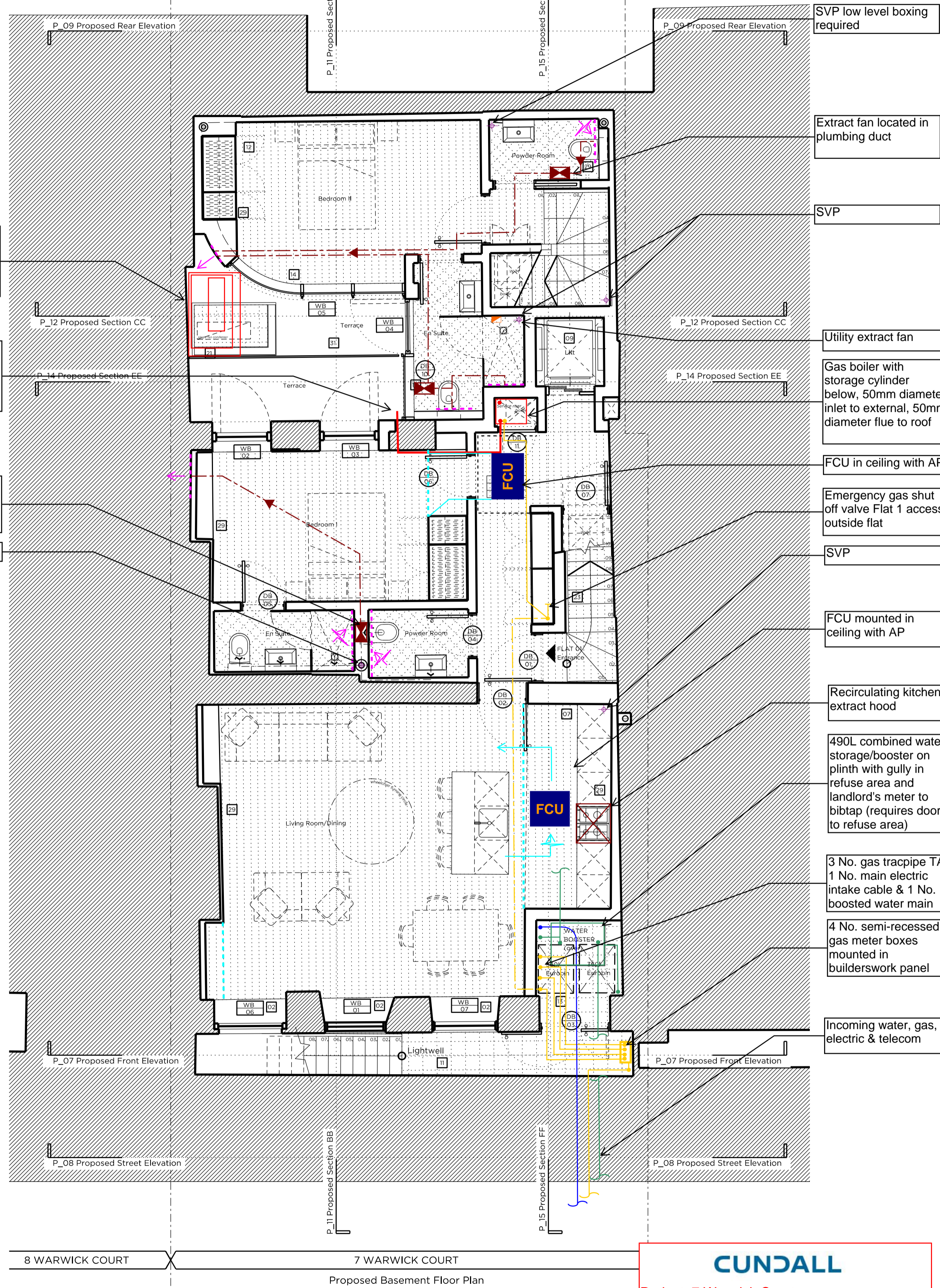
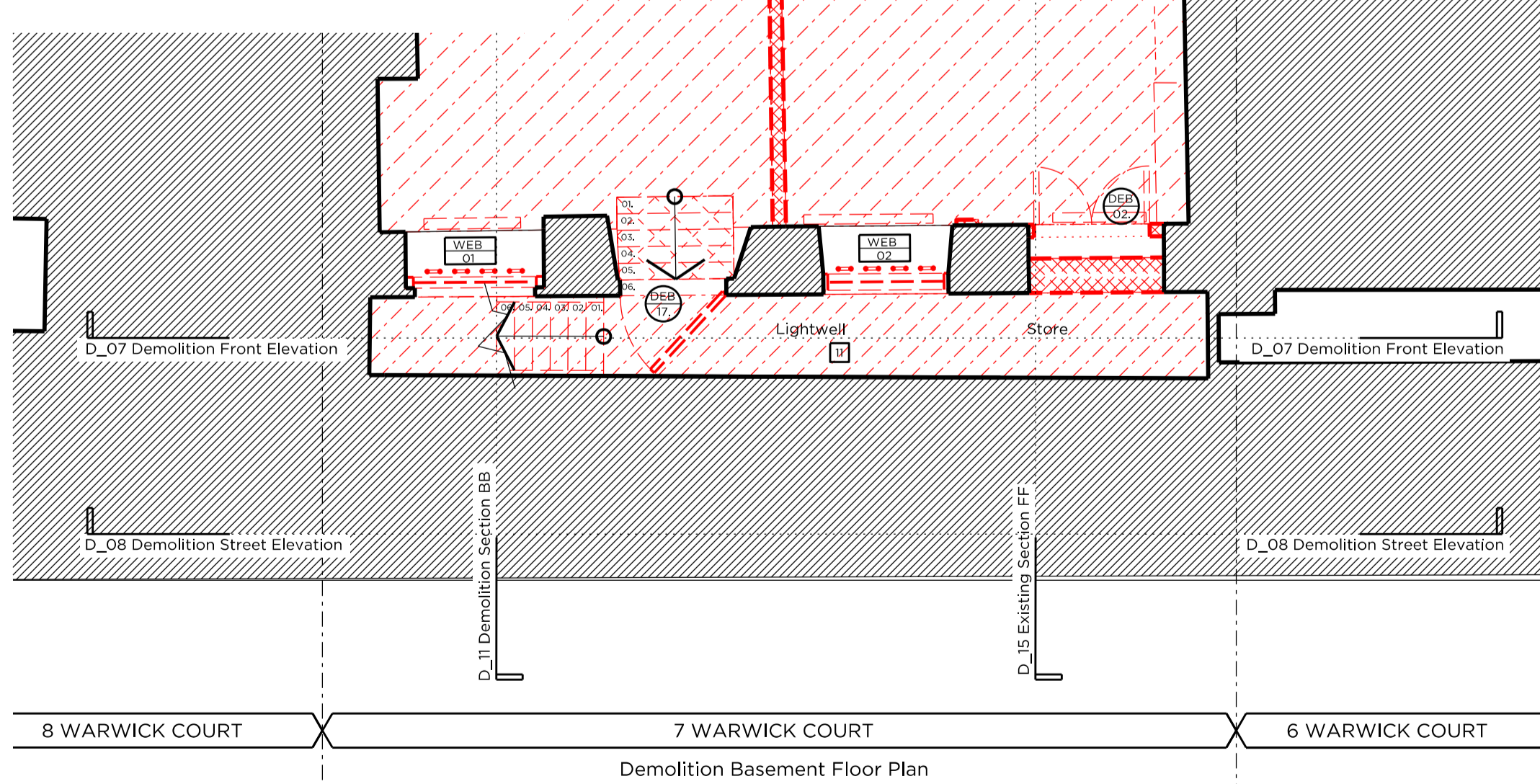


- Legend**
- Electrical Meter
 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

Proposed finishes legend

- Proposed straight-joint hardwood floor finish on specified floor build-up
- Timber decking
- Proposed floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish on existing and new roof structure

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level. See Structural Engineer's information. Low profile UPJ throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored and new roof felt installed. Existing slates to be placed over slates to match existing to replace any damaged slates. Downpipes to be removed and replaced on a like-for-like basis.
7. Slates are to be removed and strengthened where required to support increased loads. To Structural Engineer's details.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing paneling, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double glazed, timber framed sash windows.
- 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant window substitute to replace existing.
- 06 Existing sash windows refurbished and fitted with secondary glazing internally.
- 07 New, trompion bicycles & £250 bicycle voucher to be supplied to each flat.
- 08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 09 Damaged window sills reduced on Brickwork level.
- 10 Lightwell to be lowered by 100mm.
- 11 New, painted metal stair to accommodate level change.
- 12 Existing rear envelope retained. New, contemporary, timber-clad rear elevation to be preserved and maintained.
- 13 Proposed tin stone.
- 14 New, double-glazed, anodised aluminium, vertical-slit, framed windows, with etched glass louvers fixed externally.
- 15 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 16 New, double-glazed, walk-on rooflight.
- 17 New, double-glazed, conservation rooflight.
- 18 Partial demolition of existing roof. New slope proposed, matching height and width of existing.
- 19 New, automatic-opening vent to communal stairs.
- 20 Terrace to the roof of proposed rear elevation, with timber decking and glass balustrade.
- 21 No. proposed condenser in attenuated enclosure.
- 22 Proposed condenser in attenuated enclosure, refer to M&E design.
- 23 Rake/stair to basement level, with timber balustrade.
- 24 New, single glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 25 Existing fireplace to be protected and covered.
- 26 Reconfiguration of existing stair.
- 27 New dummy window.
- 28 New double-glazed, traditionally detailed French door.
- 29 Lining to party wall.
- 30 Proposed head dormer arrangement to be through with existing windows. Redesign of existing non-original dormer windows.
- 31 Terrace to flat 02, with new planting and Yorkstone paving.
- 32 Existing joists to be trimmed out. Single surviving cast-iron spindle to ground floor stair to be preserved and maintained.
- 33 Single surviving cast-iron spindle to be preserved and maintained.
- 34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
- 35 Slates to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
- 36 Facade refurbishment.
- 37 Existing facade to be re-rendered and redecorated.
- 38 Etched glass partition.
- 39 New Railings.
- 40 Fixed & obscure proposed windows.
- 41 Proposed Roof.
- 42 Paint to be removed from Brickwork and redecorated as required.
- 43 No. proposed condenser in attenuated enclosure.

CUNDALL

Project: 7 Warwick Court
 Project No: 1012034
 Drawing Title: Basement Level M&E Layout

Drawing No: 1012034-SK-001_REVA
 Drawn By: SL Check By: IM Verified By: POH
 Date: 04.12.2015

Rev A 15/10/15 Issued for planning submission

PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Basement Plan

Drawing No. P_02 Rev. A

Drawn	Approved	Signed
DI	MW	AB

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