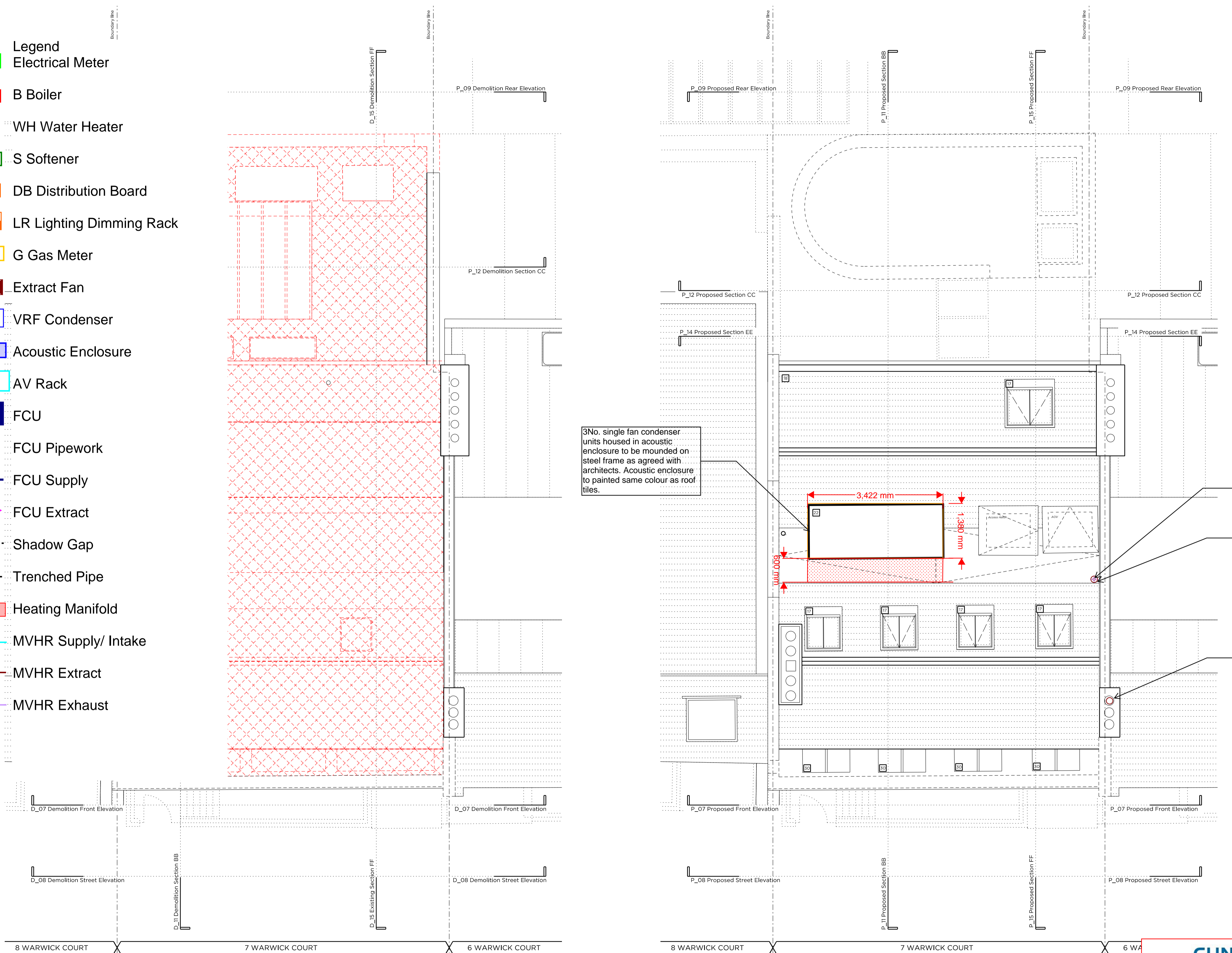


- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/finishes (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

**Proposed finishes legend**

- Proposed straight-timber hardwood floor finish on specified floor build-up
- Proposed tiled floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish (existing and new roof structure)

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New flooring/floorboards are to be installed to the top of the existing joists in order to level see Structural Engineer's Information, Low profile UP4 throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be placed over slates to match existing to replace any damaged slates. Downpipes to fall portion of existing concrete canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Joists are to be checked up and strengthened where required to support increased loads, to Structural Engineer's details.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing painting, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

01 Existing skirting to be refurbished and redecorated.	22 Proposed condensers in attenuated enclosure, refer to M&E design
02 Existing window replaced with double-glazed, timber framed sash window.	23 Reinstated stair to basement level, with compliant, traditionally-detailed, balustrade.
03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
04 Non-original skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, timber substitute to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompion bicycles & £250 classic voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Access & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to flow through with existing windows, to be removed and replaced with new dormer windows.
10 Damaged window sills redressed on brickwork base.	31 Terrace to flat 03 with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Existing rear envelope retained. New, contemporary, timber-clad rear elevation to be preserved and maintained.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers from exteriorly.	35 Slates to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof, new slope proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stairs.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed new planting and wrap-around glass balustrade.	41 Proposed Roof
21 No. proposed condenser in attenuated enclosure.	42 Paint to be removed from Brickwork and redecorated as required.

Rev A 15/10/15 Issued for planning submission

PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Roof Plan

Drawing No. P\_06 Rev. A

Drawn: DI	Approved: MW	Signed: AB
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**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Roof M&E Layout

Drawing No: 1012034-SK-006\_REVA  
 Drawn By: SL Check By: POH Verified By: POH  
 Date: 04.12.2015

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