

Flat 2, 1 Woodchurch Rd balcony renovation/repair.

In conjunction with the refurbishment of our property (which was in a completely dilapidated condition when we purchased it) we wish to improve the balcony area.

To this end we require planning permission to finish the perimeter wall which at present has a temporary dressing of zinc which has failed and been overdressed in a torch on mineral felt, which has a life expectancy of only 10 years, (this had led to some leakage in the past into the flat below).

At present the balcony wall has a temporary dressing of zinc which has failed and been overdressed in a torch on mineral felt, which has a life expectancy of only 10 years, this had led to some leakage in the past into the flat below.

To address this we wish to finish the wall with stone copings and to improve access to the roof for cleaning, general maintenance etc by creating a concealed door by way of removing the brickwork below the lower part of the innermost west side window facing the balcony (hidden from west side of street by extension wall) and creating a door with the exact same dimensions and materials as the present window such that the door will not be visible from the street and the appearance of the building & window will not change.

Important points to note are

- 1) The lower part of the window and the brickwork beneath (due to the balcony perimeter wall and the height of the extension) are not visible from the street (only from the first floor of the house opposite which also has a raised lower ground floor so is higher than usual)



**View from raised ground floor entrance opposite 1 Woodchurch Rd
(showing underside of windows not visible from street)**

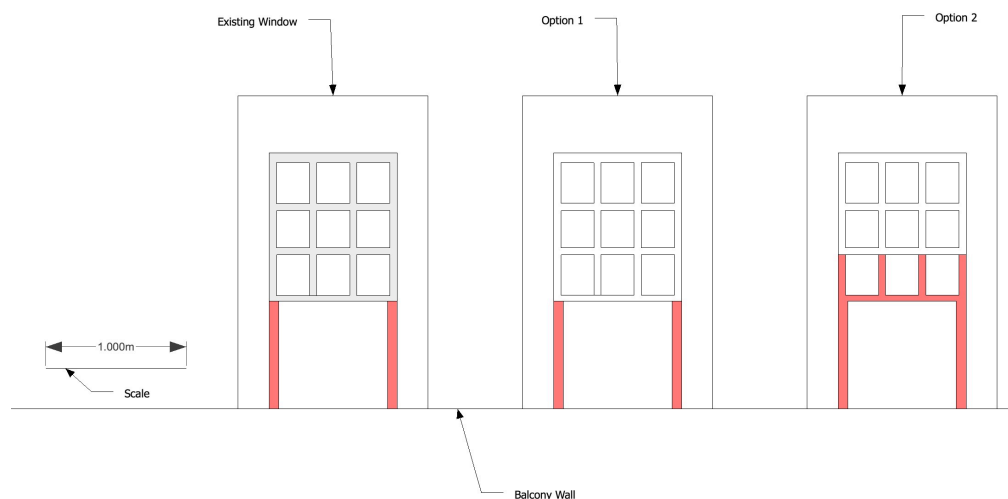
2) The brickwork/original features from the underside of the windows have already been removed during the creation of the ground floor extension (1946?) and covered somewhat with cement in an un-aesthetic makeshift manner (this part of the wall under the windows is not visible from the street). There is also nothing of value regarding the architecture and appearance of the house that would be lost as the bricks have already been removed when creating the ground floor extension.



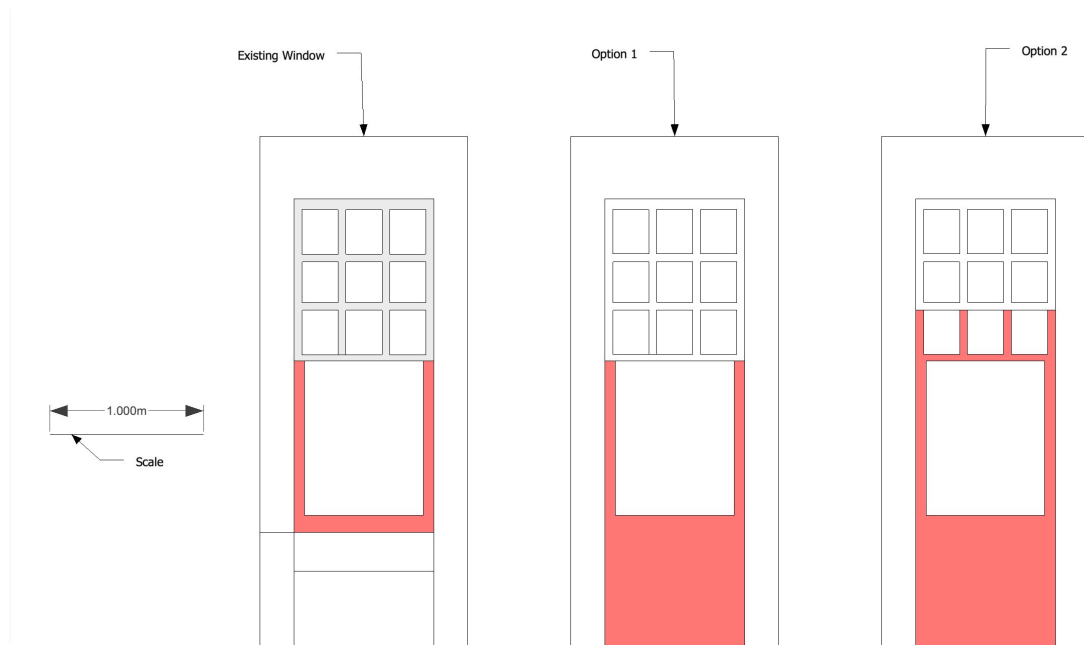
Brickwork under windows already removed - unaesthetic finish

Concealed Door Options

Here are the 2 options we are considering for the concealed doorway, the upper half, the latticed window will be fixed (either 6 or all 9 panels) and using the same design, material & dimensions as the existing lower half of the window a concealed door will be made to size such that the front 1st floor façade of 3 windows facing the balcony will not change at all when viewed from the street.



View from 1st floor opposite - lower part of window is not visible - appearance of windows is identical (option 1) or with minor change in detail (option 2).



View with balcony wall removed.

Option 1:

Upper lattice window (9 panels) fixed

Door made to size using same design & dimensions of existing window

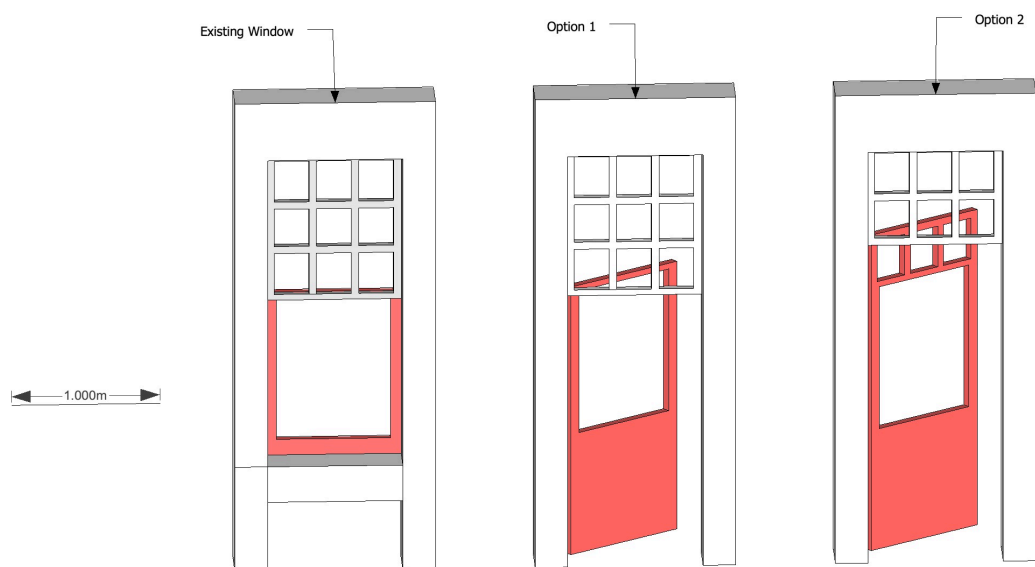
Door height 1.85m

Option 2:

2 rows of upper lattice window (6 panels) fixed,

Door made to size using same design & dimensions of existing window incorporating 1 row upper lattice window panels (same style & dimensions)

Door height 2.22m



View from higher angle.

In creating a concealed doorway to the balcony the appearance of the house will not be changed and the removing of the small quantity of brickwork/cement from under the window will have no detrimental effect on the historical architectural qualities and characteristics of the house and will be in accord with the conservation area guidelines for South Hampstead.

Present balcony perimeter wall

At present the balcony perimeter wall has a temporary dressing of zinc which has failed and been overdressed in a torch on mineral felt, which has a life expectancy of only 10 years, there has been some leakage through the wall into the flat below. To address this issue and as part of refurbishment of flat we plan to finish the perimeter wall with stone copings.



Unfinished balcony wall with zinc which has failed and been overdressed in a torch on mineral felt, with a life expectancy of only 10 years.