

Planning statement in support of an  
application to vary condition 3 of  
planning permission 2013/6388/P

Kings College Court  
55 Primrose Hill Road  
London  
NW3 3EA

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## INTRODUCTION

This planning statement is in support of an application to vary condition 3 of planning permission 2013/6388/P, which states that:

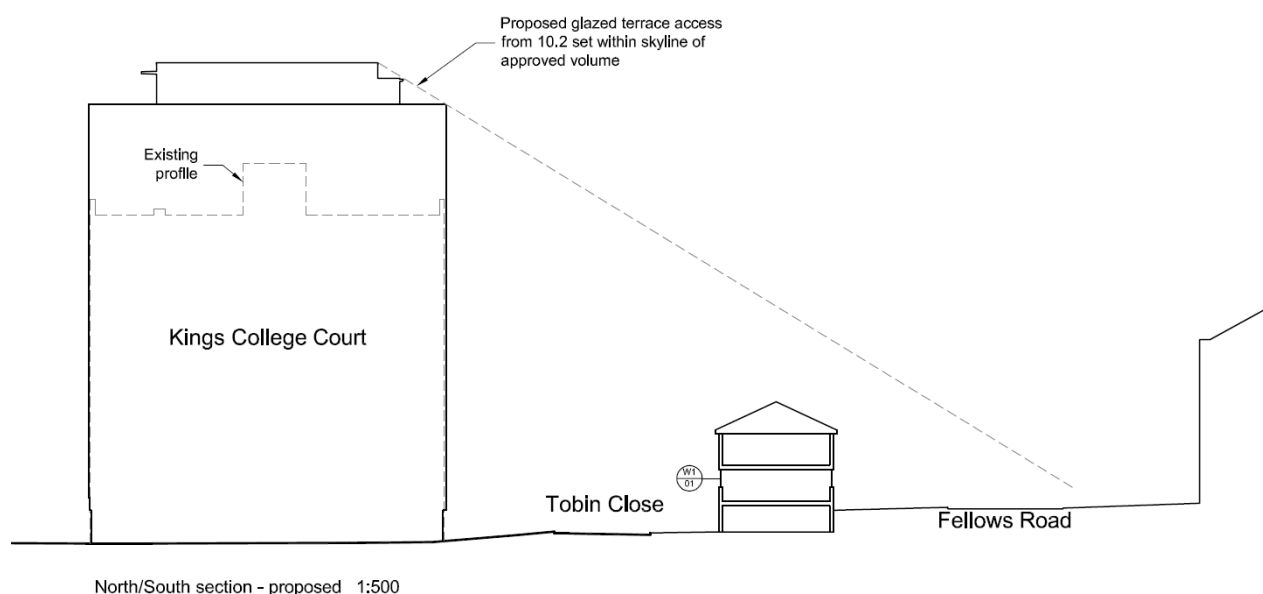
*The development hereby permitted shall be carried out in accordance with the following approved plans 0903/0000 P1, 0903/0001 P1, 0903/0100 P1, 0903/0103 P1, 0903/0109 P1, 0903/0200 P1, 0903/0201 P1, 0903/0203 P1, 0903/0210 P1, 0903/0211 P1, 0903/0212 P1, 0903/0213 P1, 0903/0202 P1, 0903\_1000\_P5, 0903\_1109\_P4, 0903\_1110\_P6, 0903\_1111\_P5, 0903\_1112\_P3, 0903\_2000\_P3, 0903\_2001\_P3, 0903\_2002\_P3, 0903\_2003\_P3, 0903\_2010\_P7, 0903\_2011\_P6, 0903\_2012\_P4 and 0903\_2013\_P4*

From the list of approved drawings above, we wish replace the approved drawings as follows:

Approved drawing to be replaced	Replacement drawing
0903/1100/P5 – ground floor plan proposed	0903/1100/T20 – ground floor plan proposed
0903/1109/P4 – 9 <sup>th</sup> floor plan proposed	0903/1109/T15 – 9 <sup>th</sup> floor plan proposed
0903/1110/P6 – 10 <sup>th</sup> floor plan proposed	0903/1110/T16 – 10 <sup>th</sup> floor plan proposed
0903/1111/P5 – 11 <sup>th</sup> floor plan proposed	0903/1111/T17 – 11 <sup>th</sup> floor plan proposed
0903/1112/P3 – Belvedere floor plan proposed	0903/1112/T5 – Belvedere floor plan proposed
0903/2010/P7 – east elevation proposed	0903/2010/T4 – east elevation proposed
0903/2011/P6 – south elevation proposed	0903/2011/T3 – south elevation proposed
0903/2012/P4 – west elevation proposed	0903/2012/T4 – west elevation proposed
0903/2013/P4 – north elevation proposed	0903/2013/T4 – north elevation proposed

### 1. 11<sup>TH</sup> FLOOR TERRACE FOR FLAT 10.2

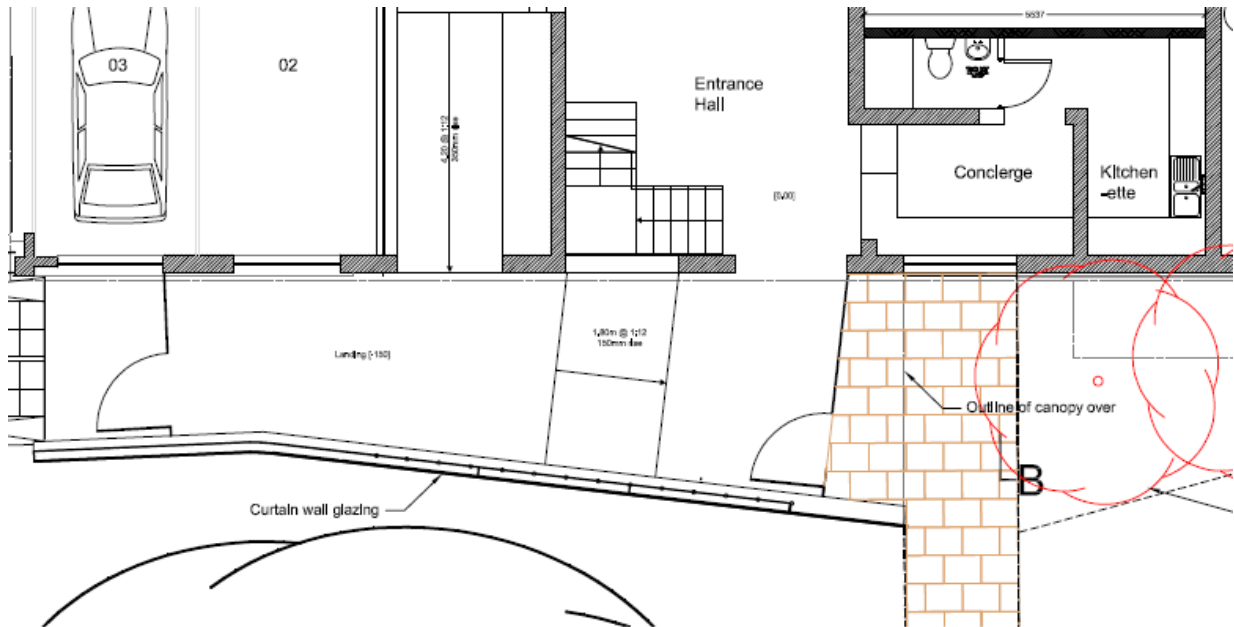
On the approved scheme, there is a large area of flat roof on the 11<sup>th</sup> floor which was underutilised. It is therefore proposed to bring this into beneficial use as an additional terrace for Flat 10.2 This requires the introduction of a small glazed lobby to the north side of the Belvedere (11<sup>th</sup> floor) to allow access to the terraced area. The lobby has been sized so that it sits within the skyline of approved belvedere structure and as such has no impact on sun or daylighting to neighbouring properties, as the section below:



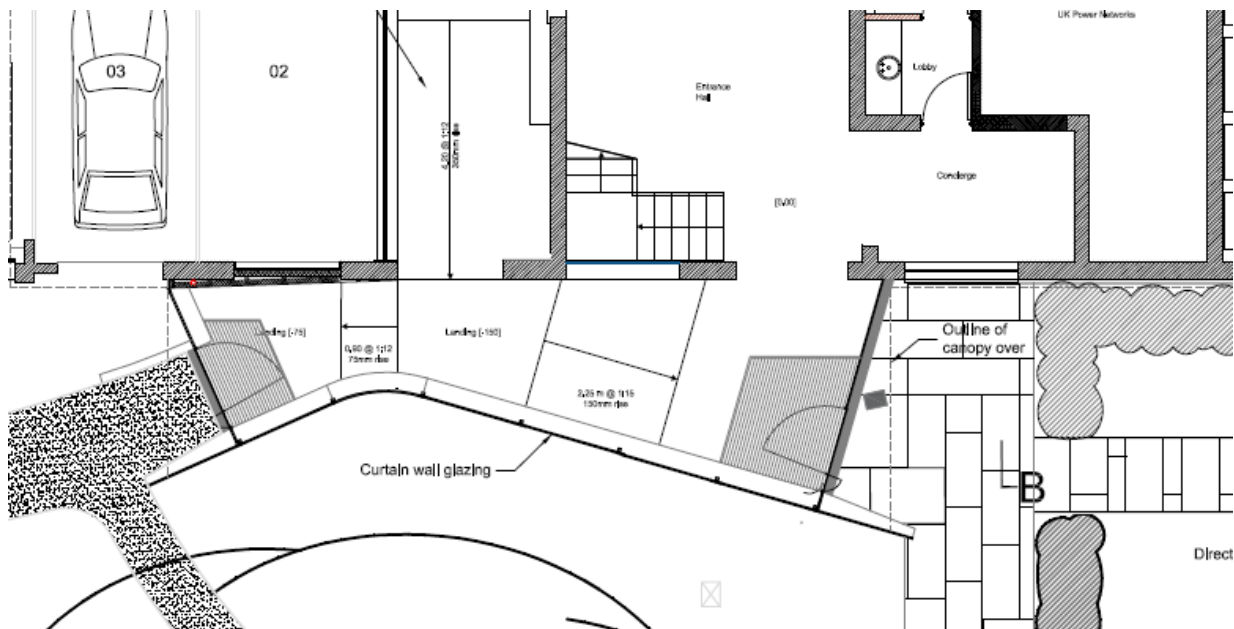
There is no material increase in overlooking of neighbouring properties.

## 2. GROUND FLOOR VESTIBULE

This element has been refined as part of the detailed design and now has a more “waisted” plan form which makes it more elegant than the original design. This is exemplified by the curved double glazed unit which celebrates the curtain wall glazing as a single sweeping element. The gentle pitch to the roof better distinguishes the main entrance over the rear secondary entrance.



Extract from approved drawing 0903/1100/P3



Extract from amended drawing 0903/1100/T20

### 3. ACCESS

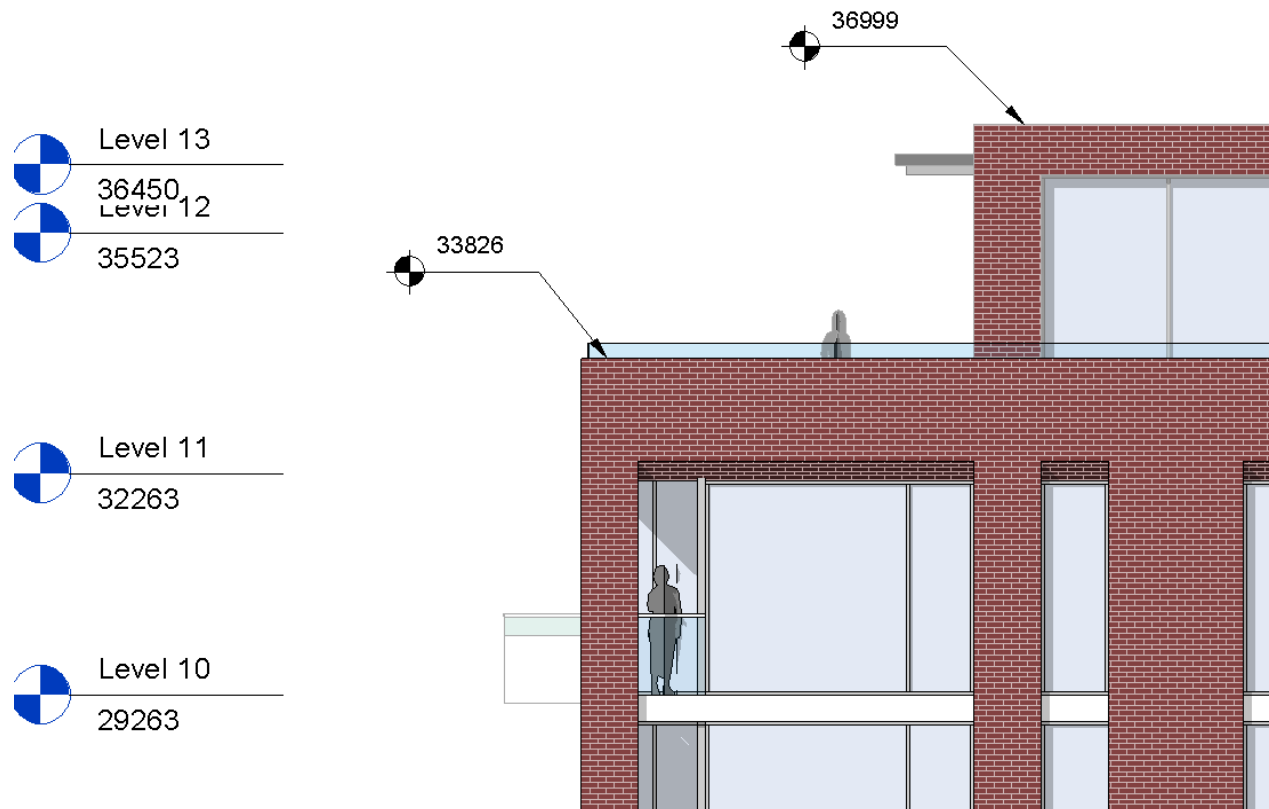
On advice from London Fire Brigade, we have removed the ramped access from the north as this involved changing the internal fire escape arrangements. To provide level access from the 2 parking spaces for disabled, a level path has therefore been introduced leading directly to the main entrance.

### 4. INTERNAL LAYOUTS TO NEW FLATS:

These have been refined in response to feedback, including building control and London Fire Brigade. A3 size drawings showing the revised 9<sup>th</sup>, 10<sup>th</sup> and 11<sup>th</sup> floors are included with this submission.

### 5. FLOOR LEVELS

Detailed structural requirements have required a small change in floor levels to the development resulting in a slightly increased height to the 11<sup>th</sup> floor and Belvedere parapets.



The parapets to the approved scheme are 33826m and 36999m above datum, as shown on the adjacent drawing extract. The current scheme has these levels at 34008m and 37286m above datum, and increase of 182mm and 287mm respectively.

## CONCLUSION

The change to the 11<sup>th</sup> floor Belvedere elevations will, on account of the setback from the parapet, have no impact on the appearance of the building from the street, and in any event the new glazed lobby is an attractive addition to the north elevation. Changes to the Vestibule will enhance the appearance of this element and the additional level path from the car parking will improve access. The additional height of the parapets is insignificant in comparison to the overall dimensions and should therefore be considered de minimus.

## DRAWINGS SUBMITTED

Drawing Ref	Rev	Description	Scale	Size
0903/0000	P1	Location plan	1:1000	A3
0903/1000	P7	Site plan - proposed	1:100	A0
0903/1100	T20	Ground floor plan - proposed	1:100	A3
0903/1109	T15	9th floor plan - proposed	1:100	A3
0903/1110	T16	10th floor plan - proposed	1:100	A3
0903/1111	T17	11th floor plan - proposed	1:100	A3
0903/1112	T5	Belvedere roof plan - proposed	1:100	A3
0903/2010	T4	East elevation - proposed	1:100	A1
0903/2011	T3	South elevation - proposed	1:100	A1
0903/2012	T4	West elevation - proposed	1:100	A1
0903/2013	T4	North elevation - proposed	1:100	A1