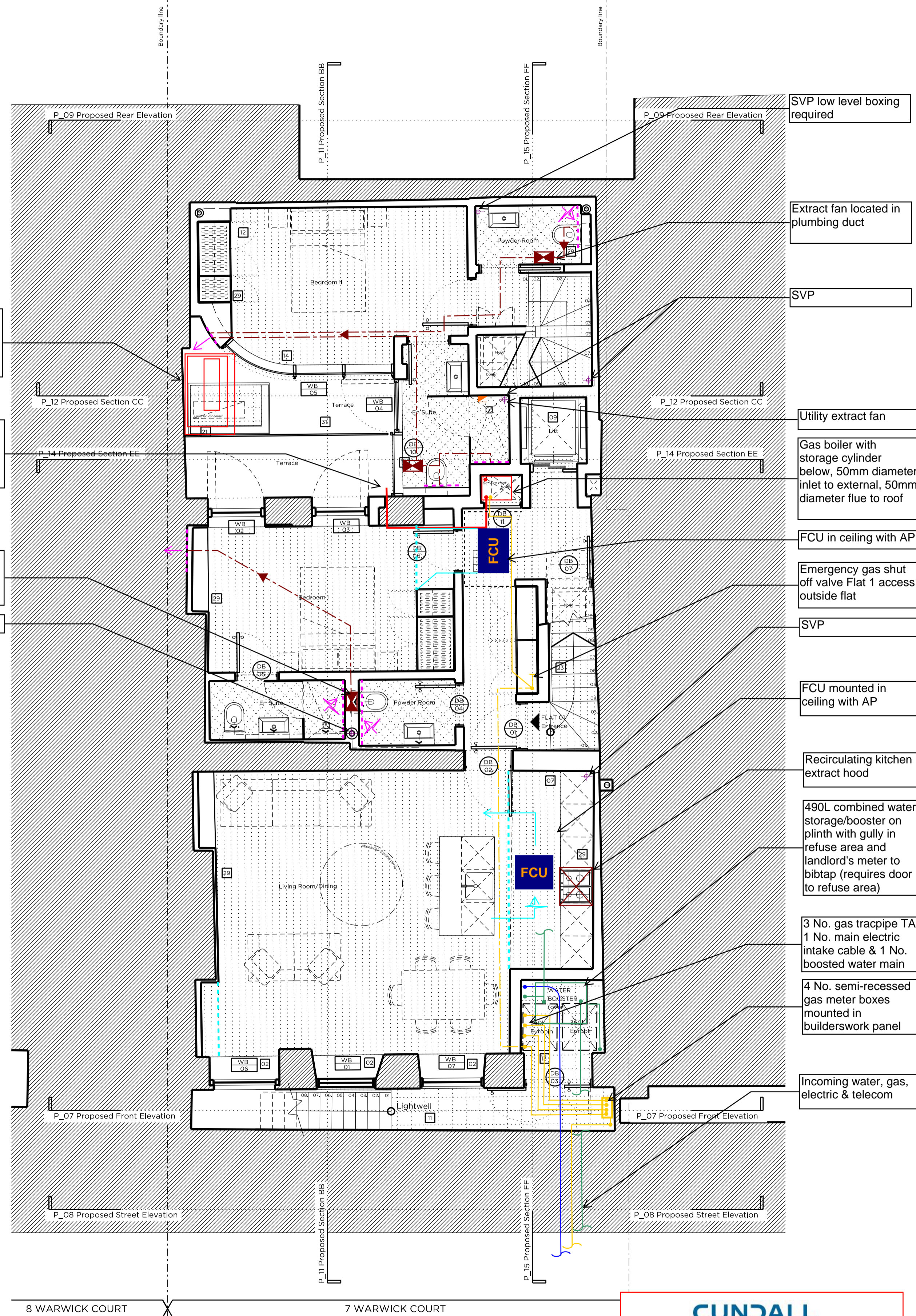
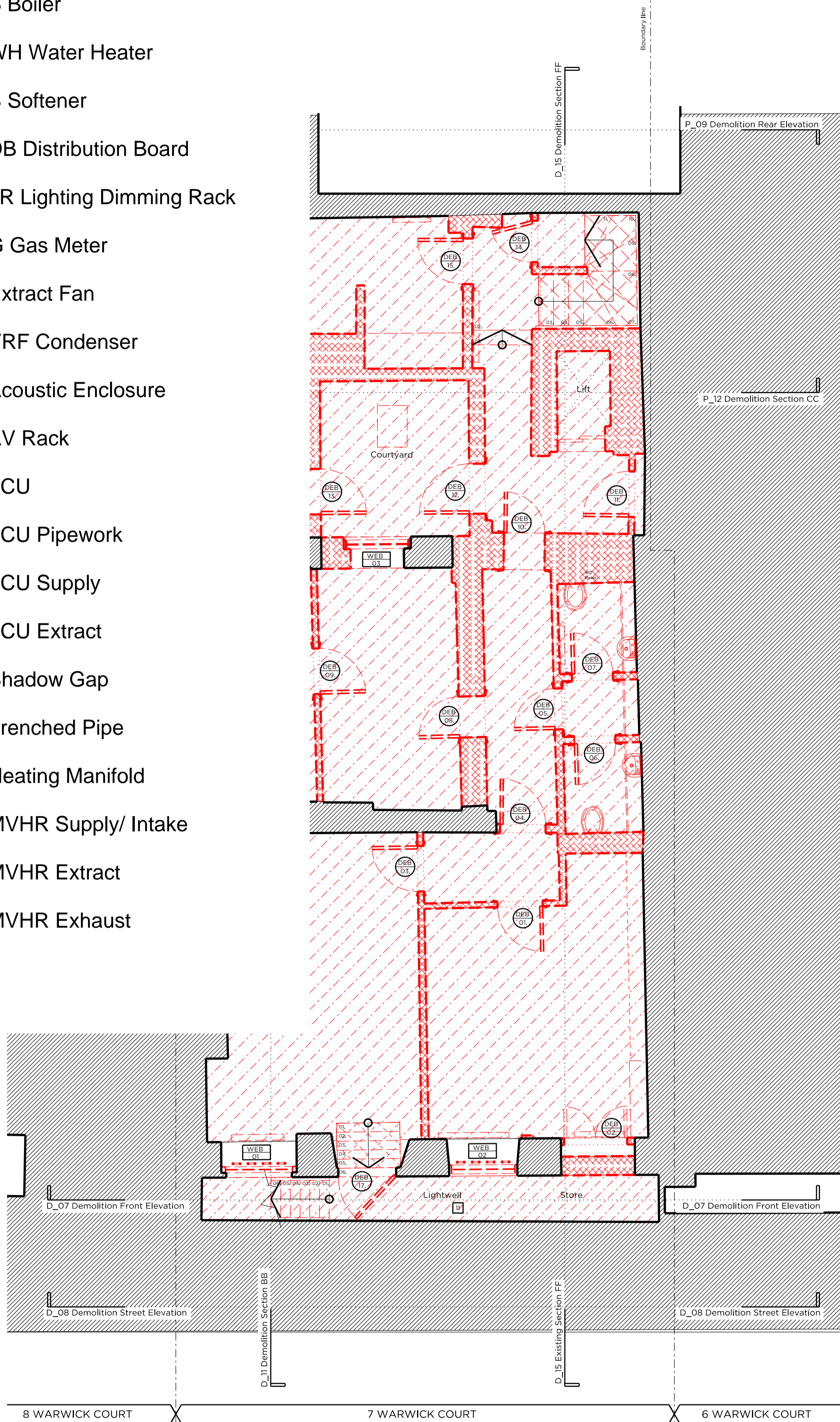


- Legend**
- Electrical Meter
 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)
- Hatch denotes proposed removal of existing structure (in section)

Proposed finishes legend

- Proposed straight-lank hardwood floor finish on specified floor build-up
- Timber decking
- Proposed floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish on existing and new roof structure

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level the Structural Engineer's information. Low profile UPJ throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipes to be replaced with new downpipes. Existing canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Slates are to be disposed of and strengthened where required to support increased loads. To Structural Engineer's details.
8. Existing internal walls are to be skinned and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing paneling, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

01 Existing skirting to be refurbished and redecorated.	22 Proposed condenser in attenuated enclosure, refer to M&E design
02 Existing window replaced with double glazed, timber framed sash window.	23 Reinstated stair to basement level, with timber balustrade.
03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single glazed, timber framed window to match existing, fitted with secondary glazing internally.
04 Non-original skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, white radiators to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompon bicycles & £250 bicycle voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.	29 Lining to party wall.
09 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.	30 Proposed head dormer arrangement to be through with existing windows. Redesign of existing non-original dormer windows.
10 Damaged window sills reduced on Brickwork level.	31 Terrace to flat 02, with new planting and Yorkstone paving.
11 Lightwell to be lowered by 100mm. Single, square, cast-iron spade to be recommended level change.	32 Existing joists to be trimmed out. Single, square, cast-iron spade to be recommended level change.
12 Existing rear envelope retained. New, copper roof, to be preserved and maintained.	33 Single, square, cast-iron spade to be recommended level change.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, vertical-slit, framed windows, with attached glass louvers fixed externally.	35 Slates to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New, double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New, double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof. New slope proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stair. Terrace to the roof of proposed new planting and wrap-around glass balustrade.	40 Fixed & obscure proposed windows.
20 No. proposed condenser in attenuated enclosure.	41 Proposed Roof
	42 Paint to be removed from Brickwork and redecorated as required.

CUNDALL

Project: 7 Warwick Court
 Project No: 1012034
 Drawing Title: Basement Level M&E Layout

Drawing No: 1012034-SK-001_REVA
 Drawn By: SL Check By: IM Verified By: POH
 Date: 04.12.2015

Rev A 15/10/15 Issued for planning submission

PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Basement Plan

Drawing No. P_02 Rev. A

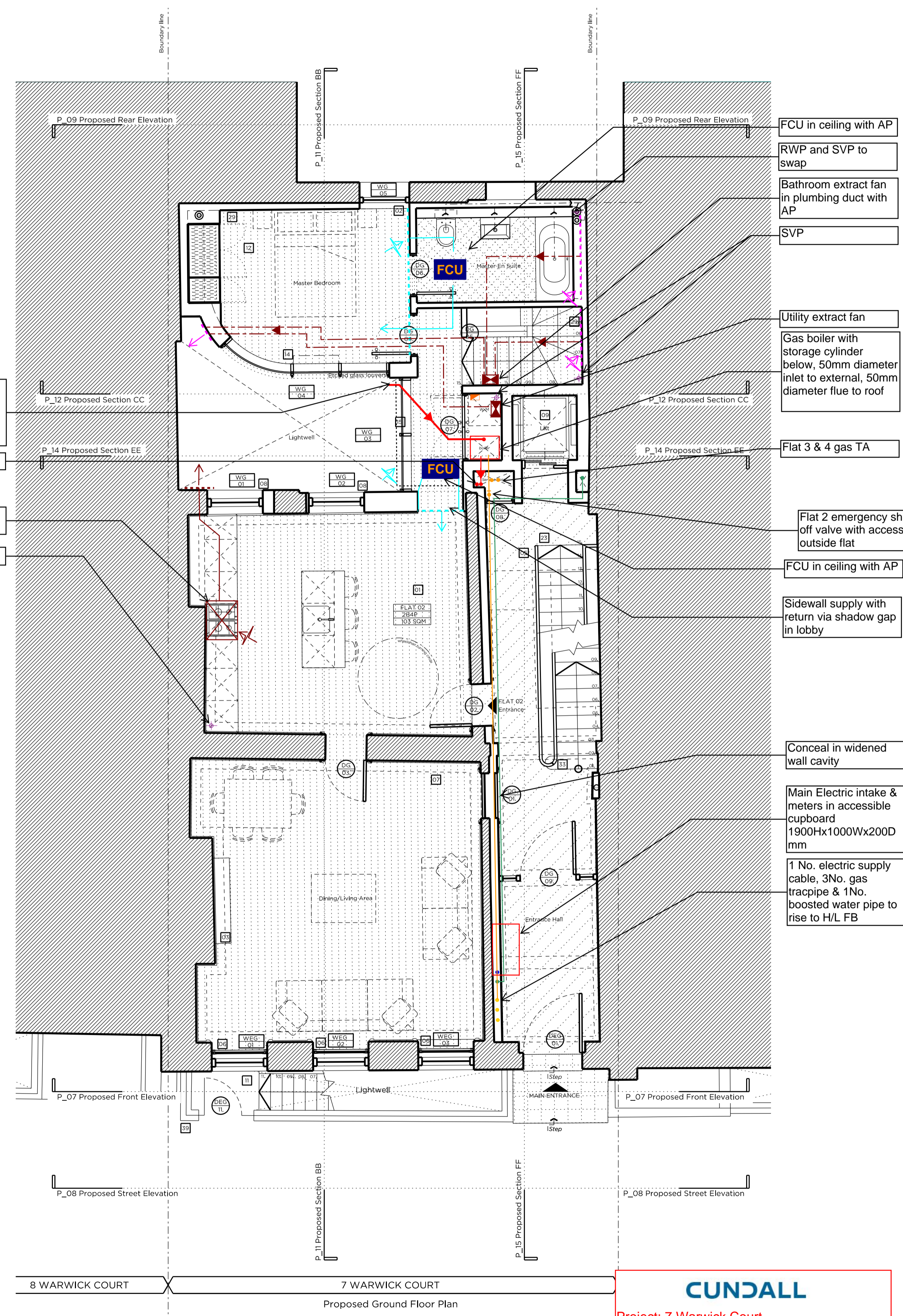
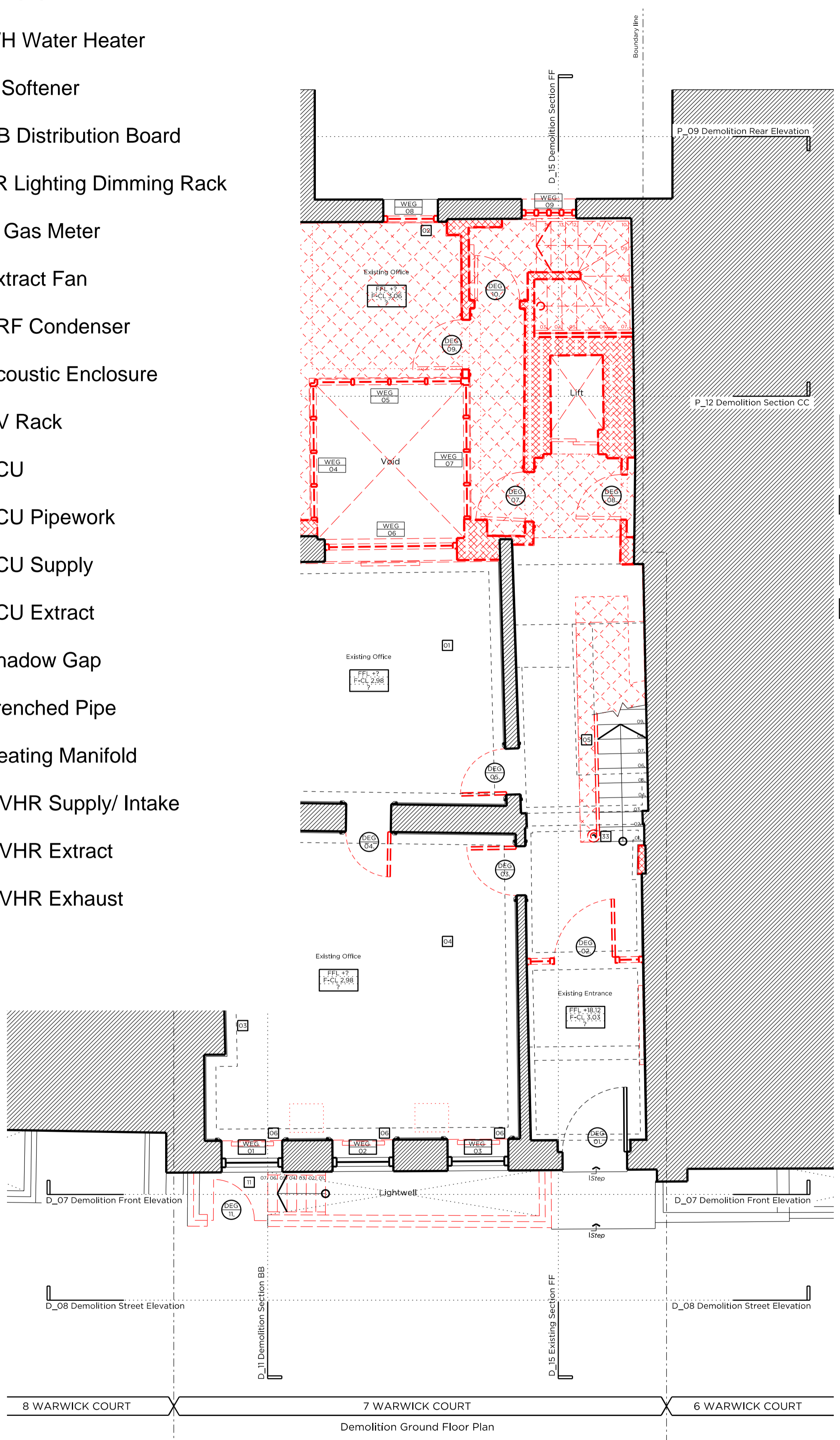
Drawn	Approved	Signed
DI	MW	AB

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- Legend**
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 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



50mm diameter boiler air inlet on face (access required at every change of direction)

Flat 1&2 flues TA

Kitchen extract hood ducted to external

SVP

- FCU in ceiling with AP
- RWP and SVP to swap
- Bathroom extract fan in plumbing duct with AP
- SVP
- Utility extract fan
- Gas boiler with storage cylinder inlet to external, 50mm diameter flue to roof
- Flat 3 & 4 gas TA
- Flat 2 emergency shut off valve with access outside flat
- FCU in ceiling with AP
- Sidewall supply with return via shadow gap in lobby
- Conceal in widened wall cavity
- Main Electric intake & meters in accessible cupboard 1900Hx1000Wx200mm
- 1 No. electric supply cable, 3No. gas trapipe & 1No. boosted water pipe to rise to H/L FB

Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fittings (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing concrete slab

Proposed finishes legend

- Proposed straight-joint hardwood floor finish on specified floor build-up
- Timber decking
- Proposed floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish on existing and new roof structure

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level new structural Engineer's information. Low profile UPH threshold.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced. New slates to match existing to replace any damaged slates. Downpipes to be removed and replaced with a 160mm dia. downpipe. Downpipes to be removed and replaced with a 160mm dia. downpipe.
7. Joints are to be replaced up and strengthened where required to support increased loads. To Structural Engineer's detail.
8. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
9. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes:

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double glazed, timber framed sash window.
- 03 Non-original fire escape to be removed and replaced with traditionally-detailed fire escape.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant window substitute to replace existing.
- 06 Existing sash windows refurbished and fitted with secondary glazing internally.
- 07 New, ironmongery to be supplied to each flat.
- 08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 09 New lift.
- 10 Damaged window sills redressed on brickwork level.
- 11 Lightwell to be lowered by 100mm. New, painted metal stair to accommodate level change.
- 12 Existing rear envelope retained. New, copper roof, unclipped rear roofline to be preserved and maintained.
- 13 Proposed tin stone.
- 14 New, double-glazed, anodised aluminium, restricted tilt framed windows, with attached glass louvers fixed externally.
- 15 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 16 New, double-glazed, walk-on rooflight.
- 17 New, double-glazed, conservation rooflight.
- 18 Partial demolition of existing roof. New slope proposed, matching height and width of existing.
- 19 New, automatic-opening vent to communal stair.
- 20 Terrace to the roof of proposed new planting and wrap-around glass balustrade.
- 21 No. proposed condenser in attenuated enclosure.
- 22 Proposed condenser in attenuated enclosure, refer to M&E design.
- 23 Raked/stair to basement level, with compliant timber framed skirting.
- 24 New, single glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 25 Existing glazing to be protected and covered.
- 26 Reconfiguration of existing stair.
- 27 New dummy window.
- 28 New double-glazed, traditionally detailed French door.
- 29 Lining to party wall.
- 30 Proposed head dormer arrangement to flow through with existing windows. Replacement of existing non-original dormer windows.
- 31 Terrace to flat 02, with new planting and Yorkstone paving.
- 32 Existing joists to be trimmed out. Single surviving cast-iron spindle to ground floor stair to be preserved and maintained.
- 33 Single surviving cast-iron spindle to be preserved and maintained.
- 34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
- 35 Slates to be removed, retained and new membrane installed. Existing slates to be red and any new slates to match existing.
- 36 Facade refurbishment.
- 37 Existing facade to be re-rendered and redecorated.
- 38 Etched glass partition.
- 39 New Railings.
- 40 Fixed & obscure proposed windows.
- 41 Proposed Roof.
- 42 Paint to be removed from Brickwork and redecorated as required.

Rev A 15/10/15 Issued for planning submission

CUNNALL

Project: 7 Warwick Court
 Project No: 1012034
 Drawing Title: Ground Floor M&E Layout
 Drawing No: 1012034-SK-002_REVA
 Drawn By: SL Check By: IM Verified By: POH
 Date: 04.12.2015

PLANNING

Project No: 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Ground Floor Plan

Drawing No: P_01 Rev. A

Drawn	Approved	Signed
DI	MW	AB

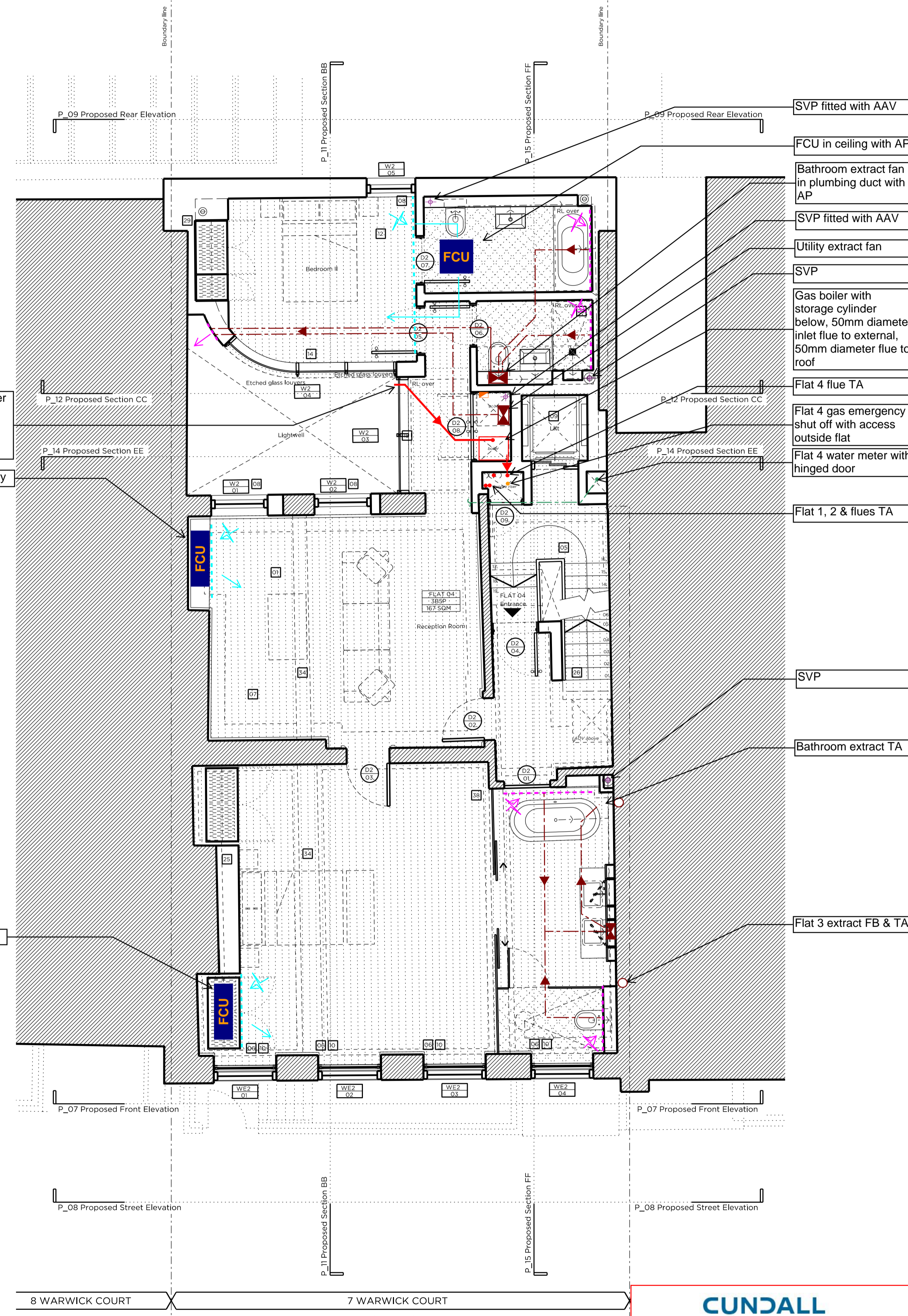
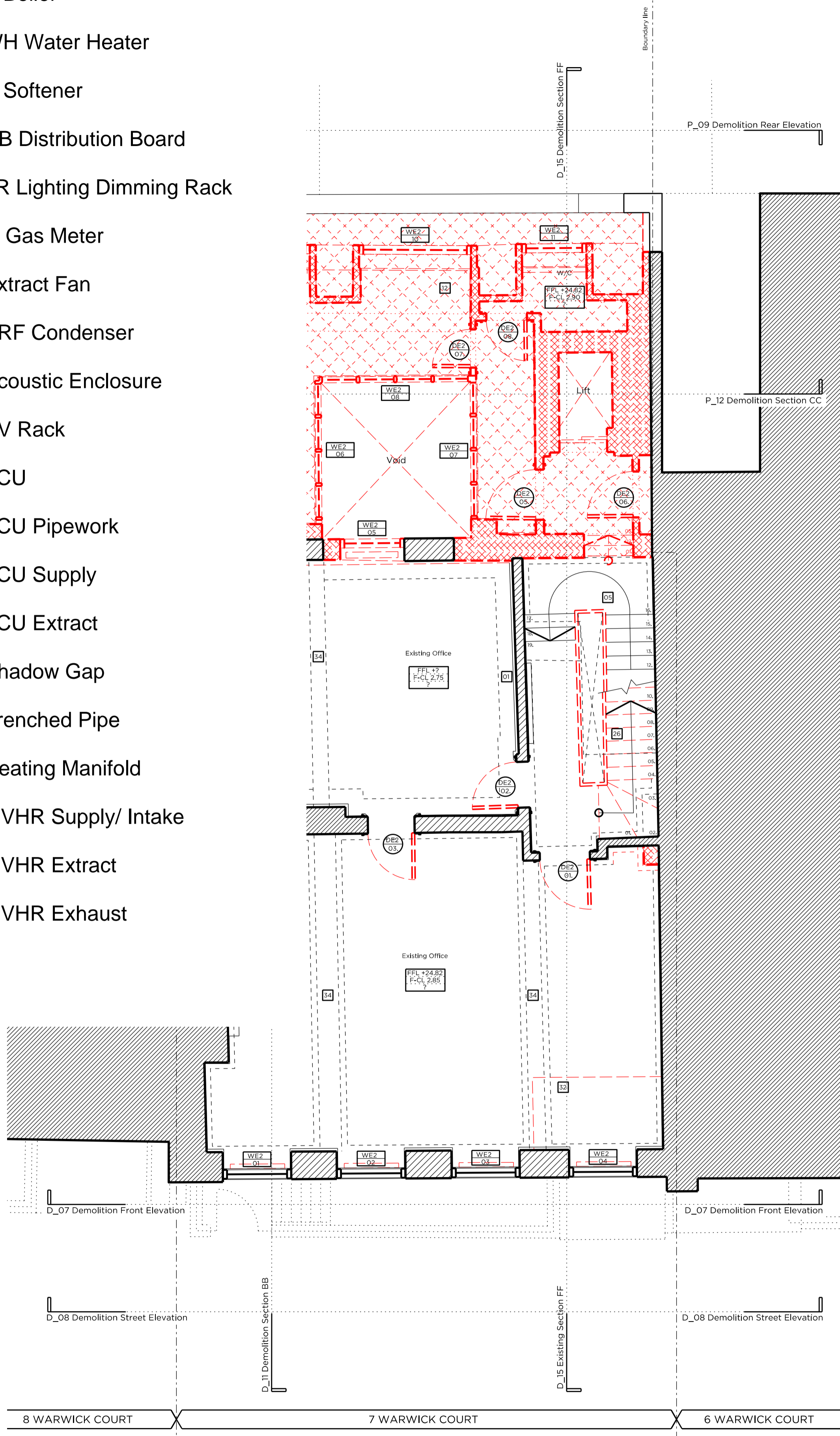
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0 0.5m 1m 2m 3m 4m 5m

- Legend**
- Electrical Meter
 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



- SVP fitted with AAV
- FCU in ceiling with AP
- Bathroom extract fan in plumbing duct with AP
- SVP fitted with AAV
- Utility extract fan
- SVP
- Gas boiler with storage cylinder below, 50mm diameter inlet flue to external, 50mm diameter flue to roof
- Flat 4 flue TA
- Flat 4 gas emergency shut off with access outside flat
- Flat 4 water meter with hinged door
- Flat 1, 2 & flues TA
- SVP
- Bathroom extract TA
- Flat 3 extract FB & TA

50mm diameter boiler air inlet on face (access required at every change of direction)

FCU build into joinery

FCU built into joinery

Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Hatch denotes removal of existing concrete slab.
- Hatch denotes proposed removal of existing structure (in elevation)

Proposed Finishes legend

- Proposed straight-tank hardwood floor finish on specified floor build-up.
- Timber decking
- Proposed floor floor finish on specified floor build-up.
- Natural stone floor tiles.
- Portland stone.
- Proposed slate roof finish on existing and new roof structure.

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New furniture/joints are to be installed to the top of the existing joists in order to level new structural Engineer's information. Low profile UP4 threshold.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Existing roof structure canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Slates are to be replaced up and strengthened where required to support increased loads. To structural Engineer's detail.
8. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
9. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double glazed, timber framed sash window.
- 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant window substitute to replace existing.
- 06 Existing sash windows refurbished and fitted with secondary glazing internally.
- 07 New, trompon bicycles & £250 slatex voucher to be supplied to each flat.
- 08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 09 Damaged window sills reduced on brickwork level.
- 10 Lightwell to be lowered by 1000mm. New, painted metal stair to accommodate level change.
- 11 Existing rear envelope retained. New, copper roof, timber framed roof structure to be preserved and maintained.
- 12 Proposed tin stone.
- 13 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers from externally.
- 14 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 15 New, double-glazed, walk-on rooflight.
- 16 New, double-glazed, conservation rooflight.
- 17 Partial demolition of existing roof. New, slate proposed, matching height and width of existing.
- 18 New, automatic-opening vent to communal stair.
- 19 Terrace to the roof of proposed new planting and wrap-around glass balustrade.
- 20 No. proposed condenser in attenuated enclosure.
- 21 Proposed condenser in attenuated enclosure.
- 22 Rake/stair to basement level, with compliant, traditionally-detailed, timber balustrade.
- 23 New, single glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 24 Existing fireplace to be protected and covered.
- 25 Reconfiguration of existing stair.
- 26 New dummy window.
- 27 New double-glazed, traditionally detailed French door.
- 28 Lining to party wall.
- 29 Proposed head dormer arrangement to be fitted through with existing windows. Replacement of existing non-original dormer windows.
- 30 Terrace to flat 03 with new planting and Yorkstone paving.
- 31 Existing joists to be trimmed out. Single, surviving cast-iron spade to be preserved and maintained.
- 32 Slats to be removed, retained and new membrane installed. Existing slates to be red and any new slates to match existing.
- 33 Facade refurbishment.
- 34 Existing facade to be re-rendered and redecorated.
- 35 Etched glass partition.
- 36 New Railings.
- 37 Fixed & obscure proposed windows.
- 38 Proposed Roof.
- 39 Paint to be removed from Brickwork and redecorated as required.

CUNDALL

Project: 7 Warwick Court
 Project No: 1012034
 Drawing Title: Second Floor M&E Layout

Drawing No: 1012034-SK-004_REVA
 Drawn By: SL Check By: IM Verified By: POH
 Date: 04.12.2015

Rev A 15/10/15 Issued for planning submission

PLANNING

Project No. **14029**

Client **GFZ Developments Ltd.**

Date **October 2015**

Scale **1:100 @ A3 / 1:50 @ A1**

Project **7 Warwick Court**

Drawing Title **Demolition & Proposed Second Floor Plan**

Drawing No. **P_04** Rev. **A**

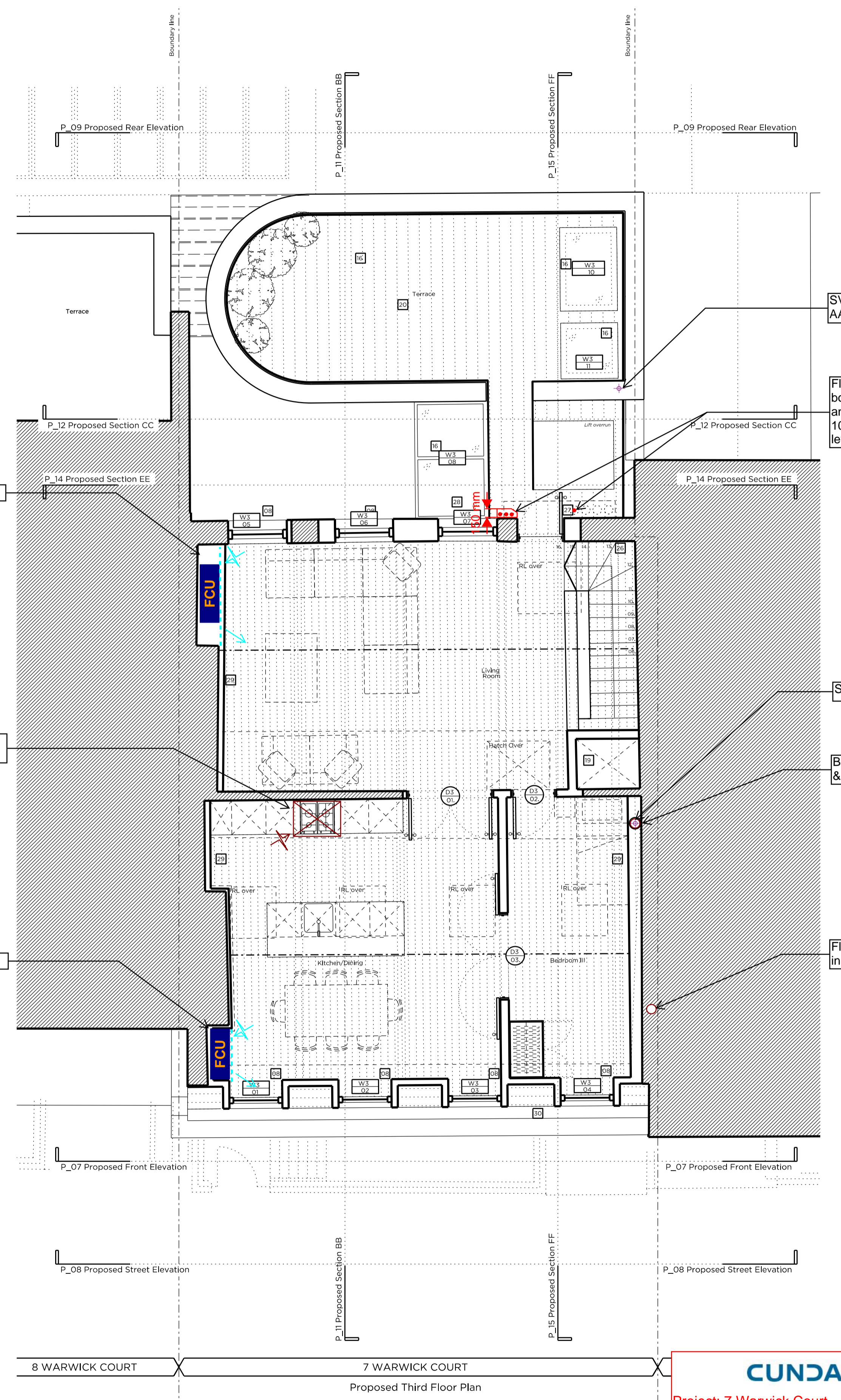
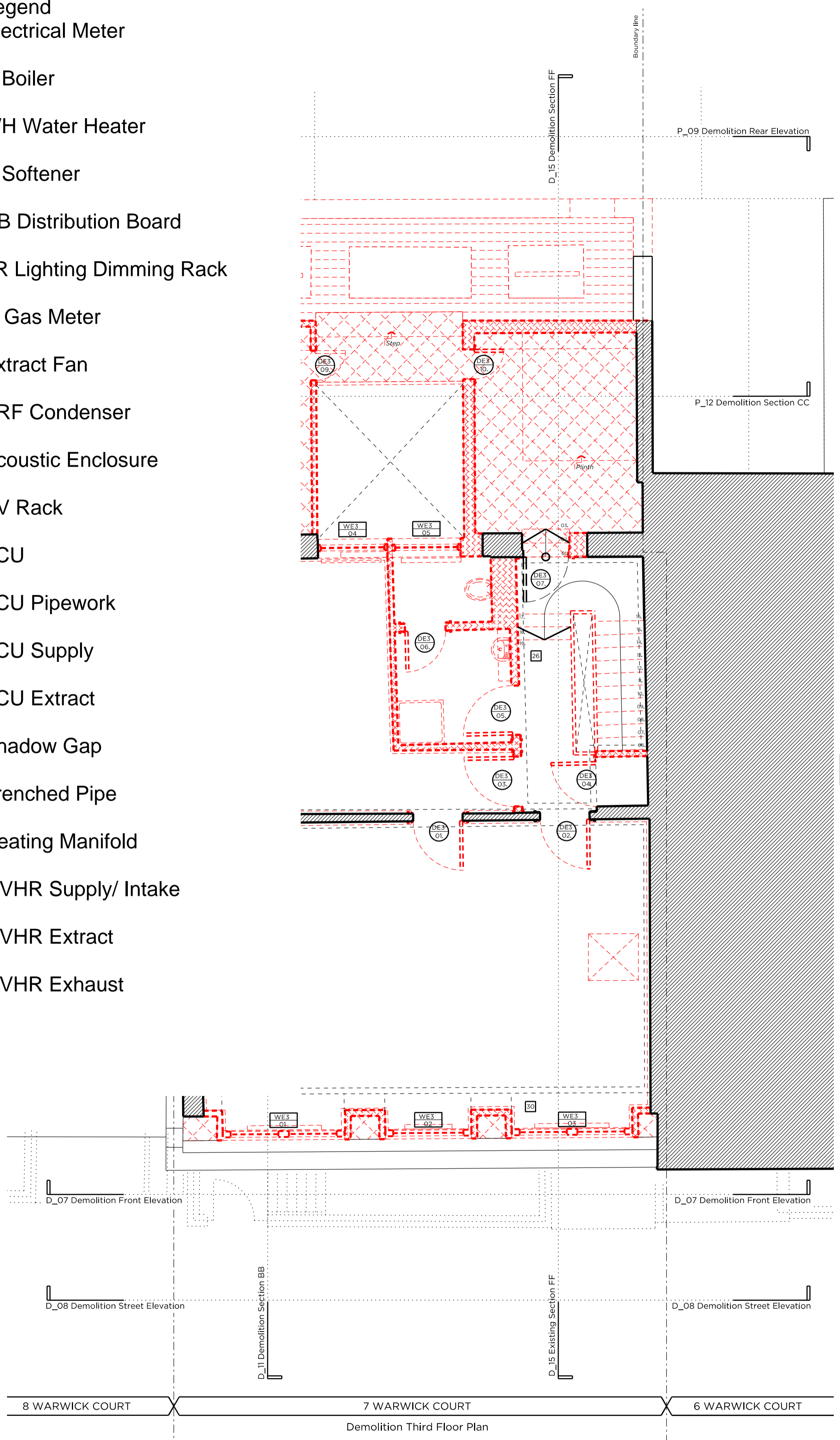
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DI	MW	AB

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- Legend**
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 - B Boiler
 - WH Water Heater
 - S Softener
 - DB Distribution Board
 - LR Lighting Dimming Rack
 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

Proposed finishes legend

- Proposed straight-joint hardwood floor finish on specified floor build-up
- Timber decking
- Proposed floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish (in existing and new roof structure)

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level. See Structural Engineer's Information, Low profile DPM throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipes to be replaced with new downpipes. Existing canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Joists are to be inspected and strengthened where required to support increased loads. To Structural Engineer's detail.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing paneling, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

01 Existing skirting to be refurbished and redecorated.	22 Proposed condenser in attenuated enclosure, refer to M&E design
02 Existing window replaced with double glazed, timber framed sash window.	23 Raked/stair to basement level, with complete, traditionally-detailed, timber balustrade.
03 New, single glazed, timber framed fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single glazed, timber framed secondary glazing internally.
04 Non-orthogonal skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, window substitute to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompion bicycles & £250 bicycle voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to be fitted through existing windows, replacement of existing non-orthogonal dormer windows.
10 Damaged window sills reduced on Brickover level.	31 Terrace to flat 02, with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Existing rear envelope retained. New, contemporary, timber clad rear elevation to match existing.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers. Refer to Section & Access Statement.	35 Slates to be removed, retained and new membrane installed. Existing slates to be retained and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof. New slope proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stair.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed rear elevation, with timber decking, new planting and wrap-around glass balustrade.	41 Proposed Roof
21 No. proposed condenser in attenuated enclosure.	42 Flat to be removed from Brickwork and replaced as required.

CUNDALL

Project: 7 Warwick Court
 Project No: 1012034
 Drawing Title: Third Floor M&E Layout

Drawing No: 1012034-SK-005_REVA
 Drawn By: SL Check By: POH Verified By: POH
 Date: 04.12.2015

PLANNING

Project No: 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Third Floor Plan

Drawing No: P_05 Rev. A

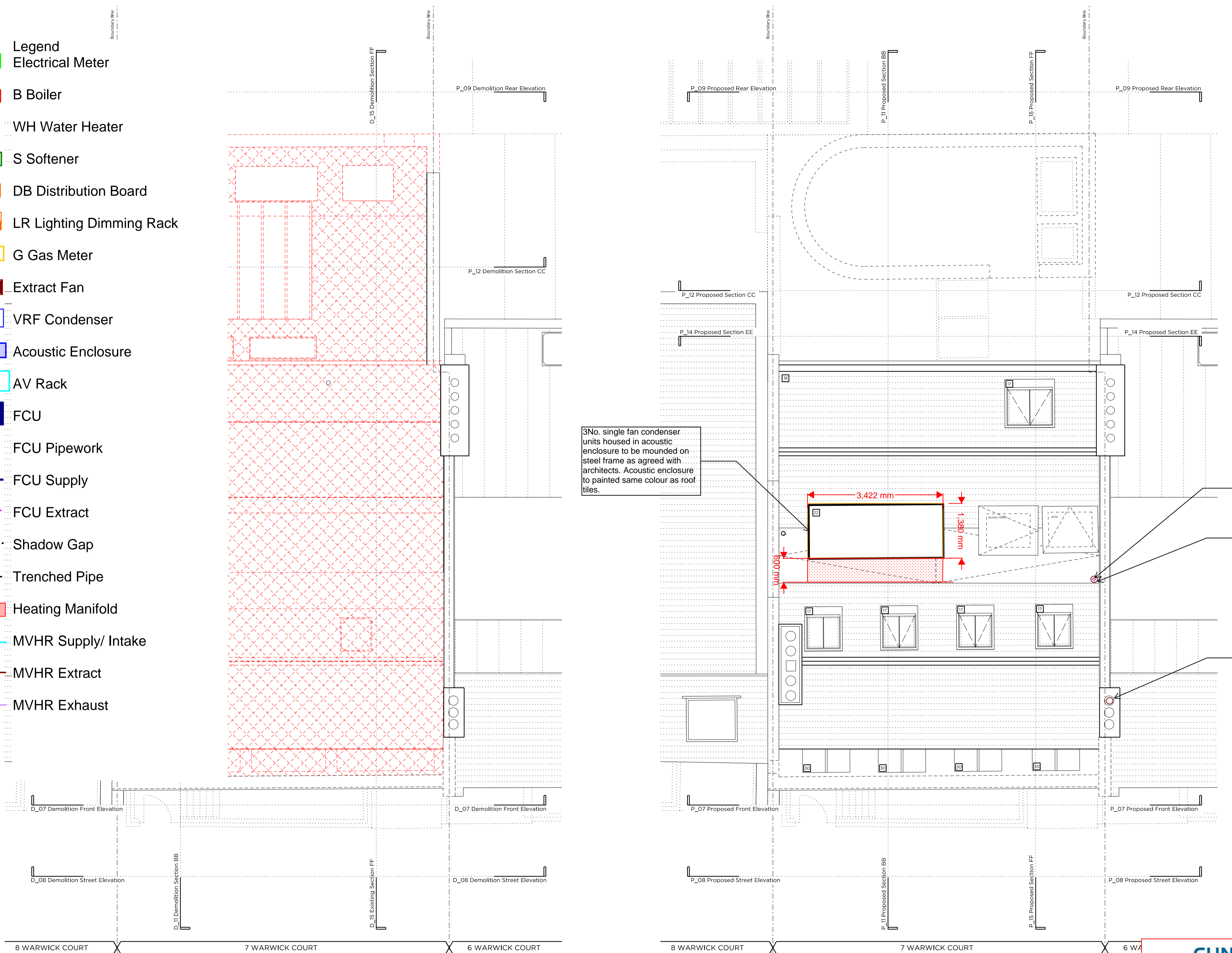
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 - G Gas Meter
 - Extract Fan
 - VRF Condenser
 - Acoustic Enclosure
 - AV Rack
 - FCU FCU
 - FCU Pipework
 - FCU Supply
 - FCU Extract
 - Shadow Gap
 - Trenched Pipe
 - Heating Manifold
 - MVHR Supply/ Intake
 - MVHR Extract
 - MVHR Exhaust



Key Plan, Scale 1:250

Demolition Key:

- Proposed removal of existing structure (in section)
- Proposed removal of existing structure (in elevation)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

Proposed finishes legend

- Proposed straight-timber hardwood floor finish on specified floor build-up
- Timber decking
- Proposed tiled floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish (existing and new roof structure)

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New flooring/floorboards are to be installed to the top of the existing joists in order to level see Structural Engineer's Information, Low profile UP4 throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be placed over slates to match existing to replace any damaged slates. Downpipes to fall portion of existing concrete canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Joists are to be checked up and strengthened where required to support increased loads, to Structural Engineer's details.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing painting, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

01 Existing skirting to be refurbished and redecorated.	22 Proposed condensers in attenuated enclosure, refer to M&E design
02 Existing window replaced with double-glazed, timber framed sash window.	23 Reinstated stair to basement level, with compliant, traditionally-detailed, balustrade.
03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
04 Non-original skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, timber substitute to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompion bicycles & £250 classic voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Access & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to flow through with existing windows, to be removed and replaced with non-original dormer windows.
10 Damaged window sills redressed on brickwork base.	31 Terrace to flat 03 with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Existing rear envelope retained. New, contemporary, timber-clad rear elevation to be preserved and maintained.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers from exteriorly.	35 Slates to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof, new high pressure, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stairs.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed new planting and wrap-around glass balustrade.	41 Proposed Roof
21 No. proposed condenser in attenuated enclosure.	42 Paint to be removed from Brickwork and redecorated as required.

Rev A 15/10/15 Issued for planning submission

PLANNING

Project No. **14029**

Client **GFZ Developments Ltd.**

Date **October 2015**

Scale **1:100 @ A3 / 1:50 @ A1**

Project **7 Warwick Court**

Drawing Title **Demolition & Proposed Roof Plan**

Drawing No. **P_06** Rev. **A**

Drawn DI	Approved MW	Signed AB
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CUNDALL

Project: 7 Warwick Court
Project No: 1012034
Drawing Title: Roof M&E Layout

Drawing No: 1012034-SK-006_REVA
Drawn By: SL Check By: POH Verified By: POH
Date: 04.12.2015

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