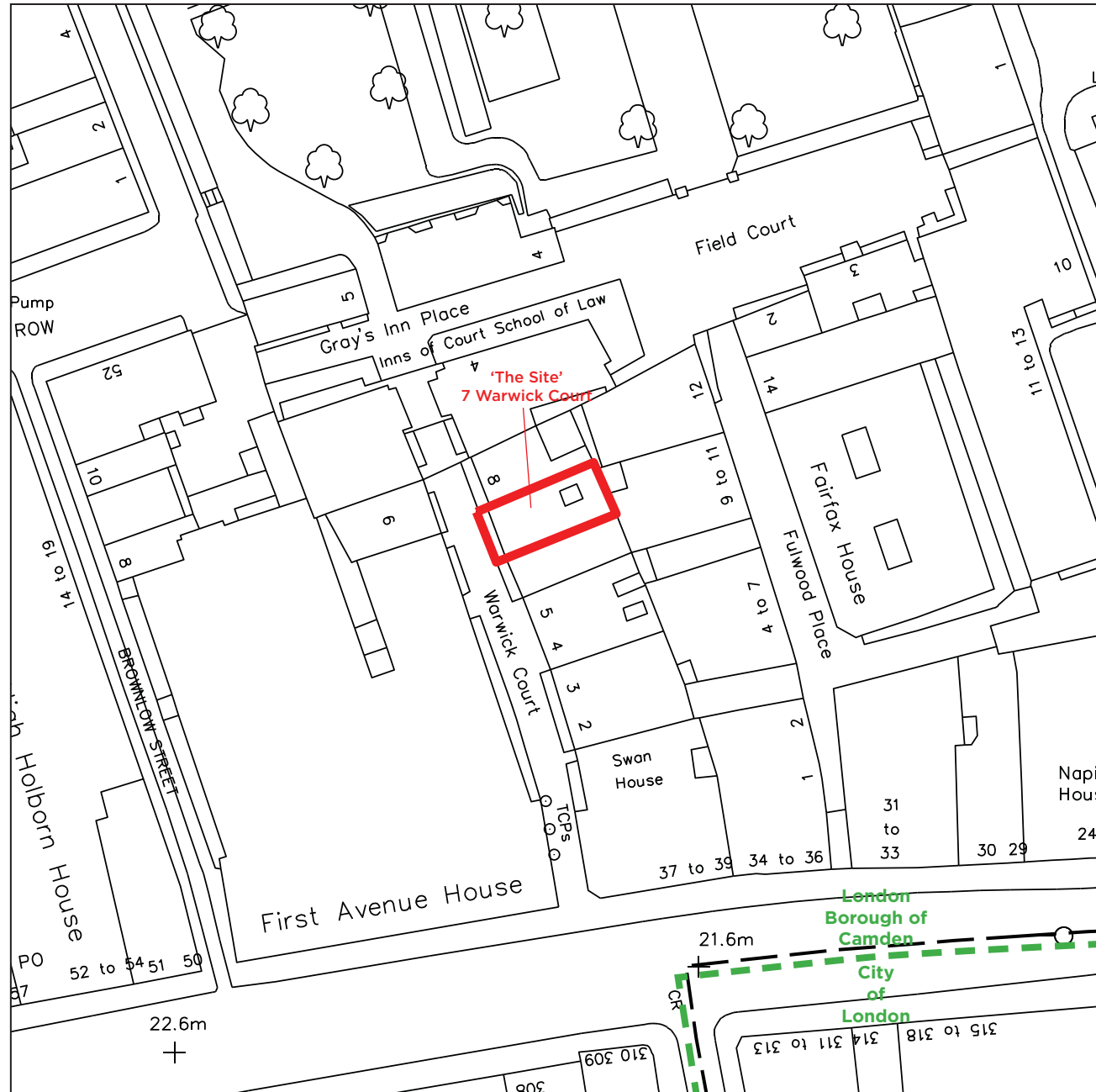


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SECTION ONE:
INTRODUCTION





Site Location Plan



Warwick Court and Surroundings
Aerial View 01
(Site outlined in red)



Warwick Court and Surroundings
Aerial View 02
(Site outlined in red)

1.0 PROJECT INTRODUCTION

1.1 Marek Wojciechowski Architects have been instructed to prepare a planning application for the property at 7 Warwick Court, WC1R 5DJ. The site consists of a 5-storey property, arranged over lower ground to third floor levels. The property is currently vacant, but was last used as offices (B1 use).

1.2 This application relates to the proposed change of use of the entire property from its existing use as offices (B1) to residential use (C3), comprising 1no. 1 bedroom, 2no. 2 bedroom and 1no. 3 bedroom apartments (4no. units in total).

1.3 Works related to the above change of use are outlined in the plans and visuals in sections 2.0 and 3.0 of this report, and include (but are not limited to):

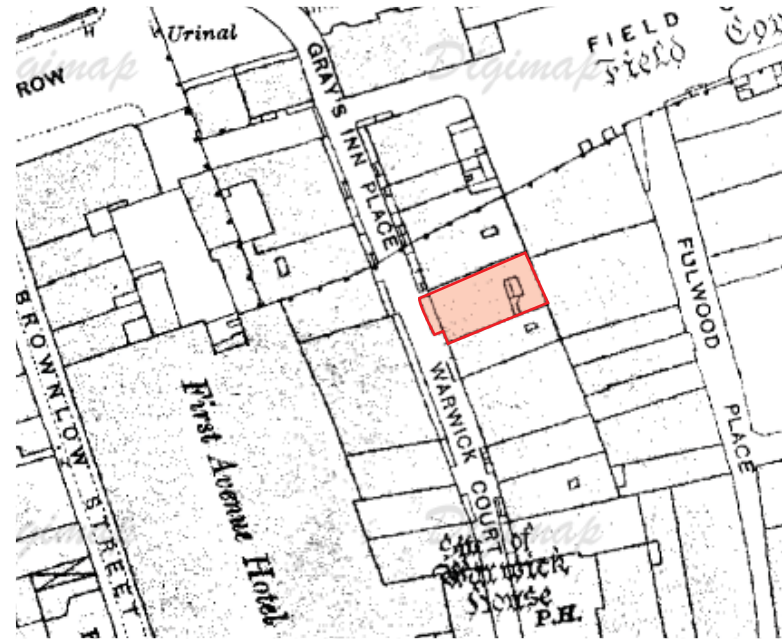
- Demolition of all non-original rear extension (as informed by an architectural history statement);
- Construction of a glazed rear extension which improves the legibility of the rear elevation;
- Works to reinstate original fenestration to the historic rear façade;
- Removal of the existing, non-original dormer windows and their replacement with 4no. traditionally detailed dormer windows which line up with the fenestration on the front façade;
- Internal modifications to non-original elements such as the stair and some internal partitions;
- Works to refurbish the historic front façade.

1.4 This document provides a detailed explanation of the proposed scheme, evaluated against the history of the building and its site surroundings, as well as all local and national planning policy.





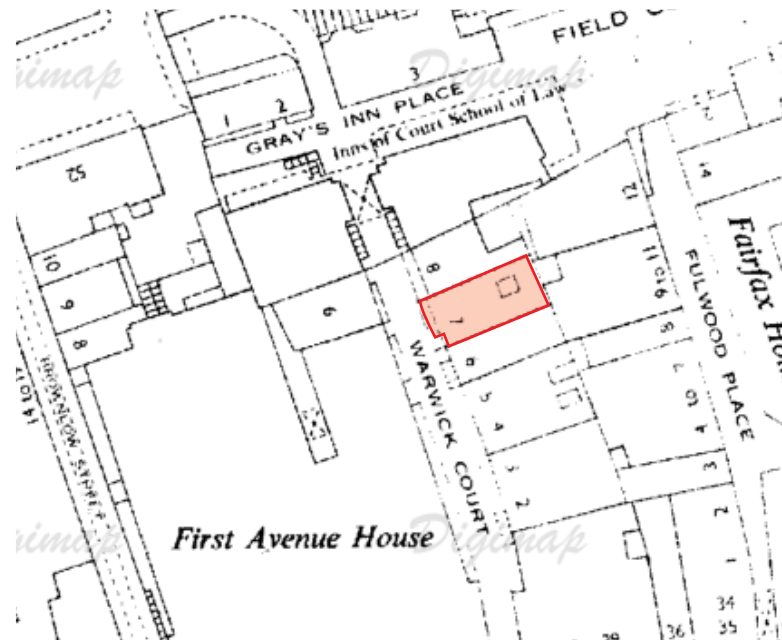
1870s
Ordnance Survey Map
7 Warwick Court
& Surroundings
(Approx. site outlined in red)



1930s
Ordnance Survey Map
7 Warwick Court
& Surroundings
(Approx. site outlined in red)



1950s
Ordnance Survey Map
7 Warwick Court
& Surroundings
(Approx. site outlined in red)



1960s
Ordnance Survey Map
7 Warwick Court
& Surroundings
(Approx. site outlined in red)

2.0 SITE HISTORY & HISTORIC BUILDING ASSESSMENT

2.1 The application property was Grade II listed as a pair of houses with No. 8 Warwick Court in 1951, and is described by English Heritage in the following statement:

*"2 terraced houses. 1697 with later alterations to fronts and interiors....
No.8: altered 1808. Brown brick with rusticated stone faced ground floor. Brick bands at 2nd floor and parapet levels. 3 storeys and basement. 3 windows. Stone pilasters and entablature with tablet inscribed "Warwick House" to ground floor. C20 timber and glass entrance with panelled door. 1st floor with stone niches in lieu of side windows and a central 3-light recessed window with segmental-headed architrave and a griffin on the keystone. To this window an iron window guard with an urn on a pedestal either side. Gauged red brick flat arches and dressings to flush frame windows on 2nd floor. Parapet with a concave cornice in decorative brick. INTERIOR: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas."*

2.2 A full historic building assessment and heritage statement has been undertaken by The Architectural History Practice. (See Appendix G of this planning application). The study shows that the building, whilst still retaining many historic features of merit, has been extensively changed through a number of alterations (mainly in the 1950s and 1990s). Two key drawings which summarise these changes have been included on page 4.0 of this Design and Access Statement. The contents of the aforementioned report have strongly influenced the proposals outlined in Section Two of this document.

2.3 The property also lies within the Bloomsbury Conservation Area, a famed example of formal town planning with a predominance of terraced townhouses. It is, however on the periphery of this designated heritage asset, and its immediate surroundings reflect piecemeal redevelopment on a predominantly large scale (such as First Avenue House directly opposite the site).

2.4 With this historic research in mind, the proposals set out in this document look to respect and enhance the quality and heritage of the Bloomsbury Conservation Area and the listed building, providing an exemplary residential development and improving the built environment.



Refer to image shown to the right for enlarged map

'The Site'
7 Warwick Court



3.0 BOMB DAMAGE

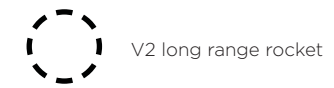
3.1 The maps indicate the extent of bomb damage during WWII. It can be seen that No. 7 Warwick Court suffered serious bomb damage during this period.

3.2 Combining this knowledge with the findings of the AHP's Historical Report, we can conclude that the third floor, the roof and dormer windows, and the rear extension were all built in the 1940's. The rear elevation also appears to be non-original as all the windows have concrete lintels, built in the 20th century. In addition, the existing fenestration pattern is not characteristic of a building of this type and age.

Bomb Damage - Holborn Area

Bomb Damage - Warwick Court and Gray's Inn

Key



Orange
General Blast Damage - not structural

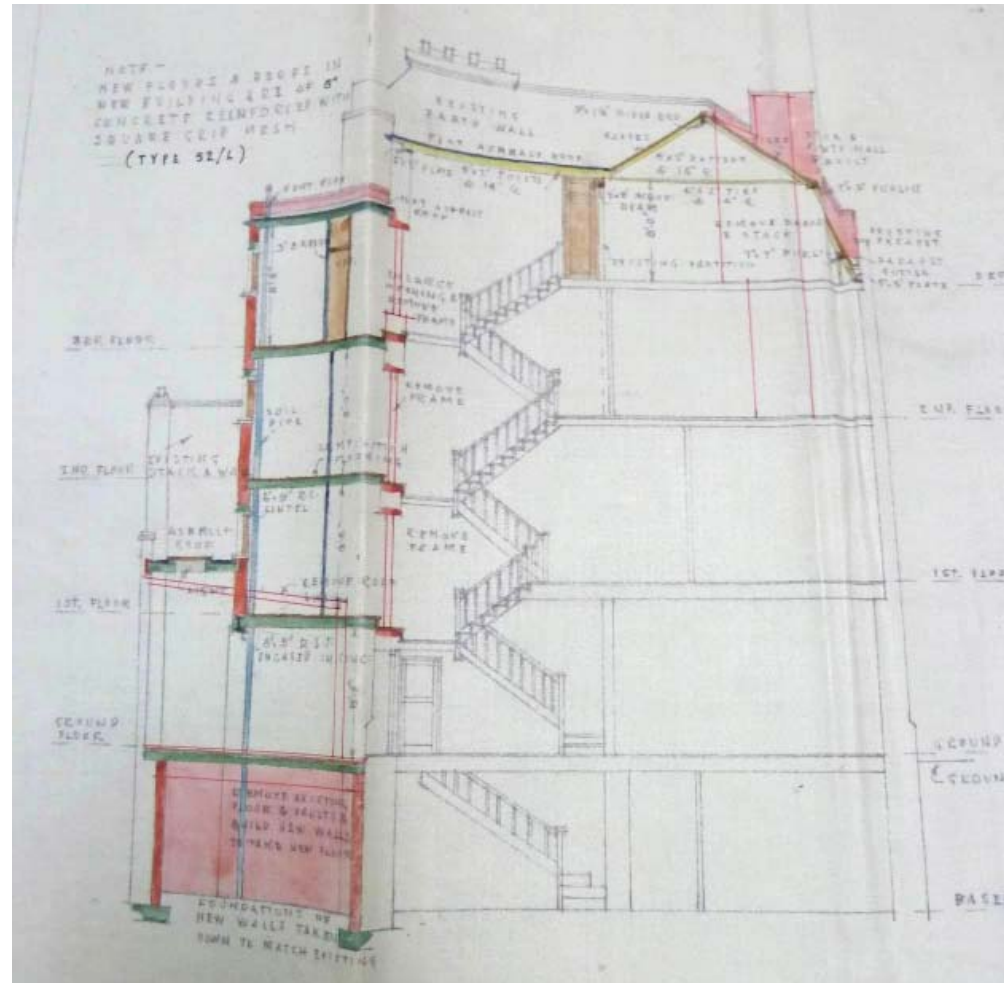
Light Red
Seriously Damaged but repairable at cost

Dark Red
Seriously Damaged, doubtful if repairable

Purple
Damaged beyond repair

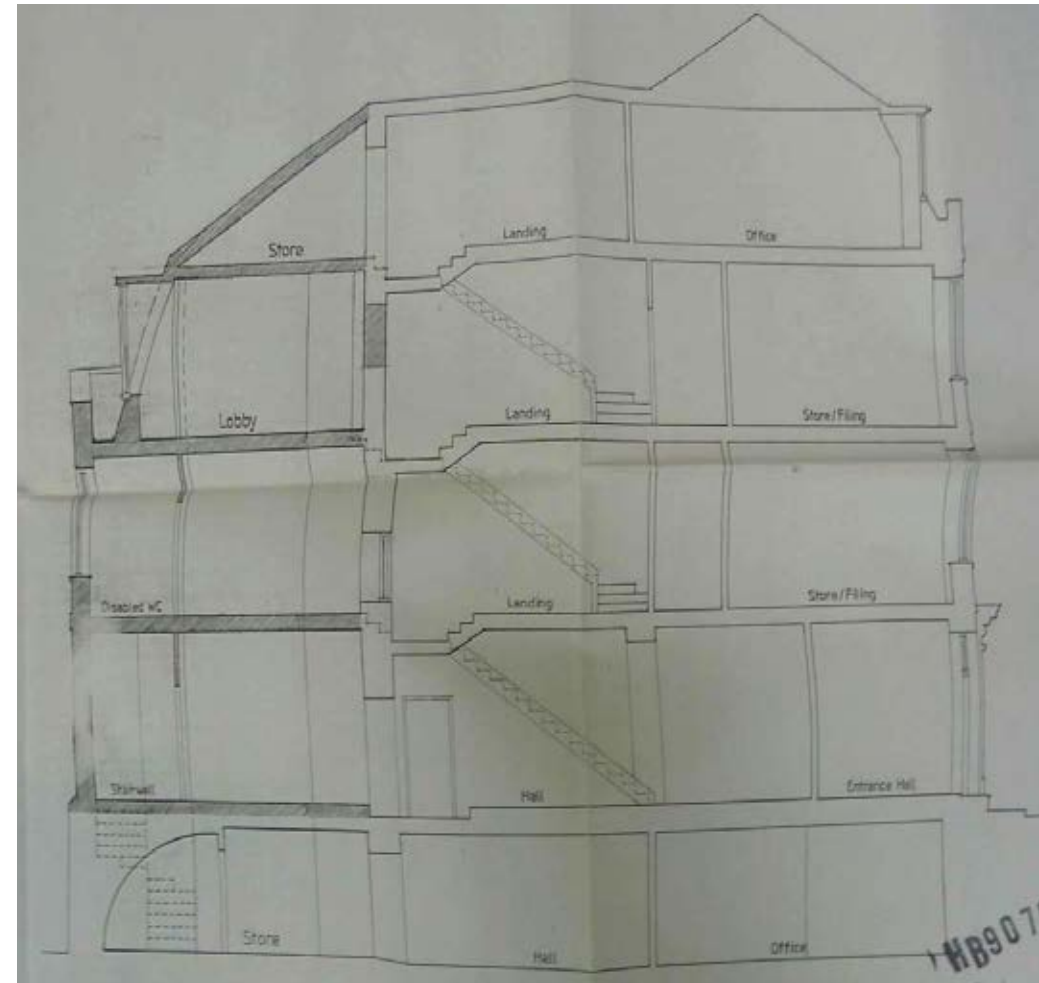
Black
Total destruction





1947

Proposed Section by Lawrence Farman & Partners



1990

Proposed Section by St Ann's Gate Architects
(LB of Camden, planning file, 9070176 and 9000452)

4.0 HISTORIC DRAWINGS

4.1 The two sections through 7 Warwick Court shown on this page both show some of the major alterations the building underwent during the 1940's and 1990's.

These alterations include (but are not limited to):

- The addition of the third floor (as seen in the 1947 drawing);
- Rebuilding the rear extension (with changes to the fenestration (as seen in both the 1947 and 1990 drawings);
- The rebuilding (including modifications to the layout) of the existing stair (as seen in the 1990 drawing).

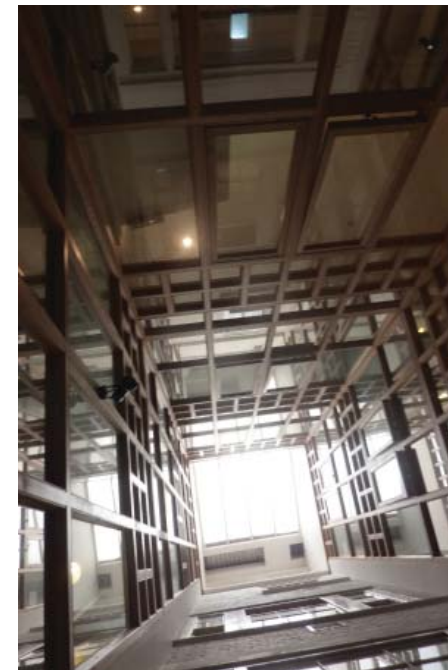




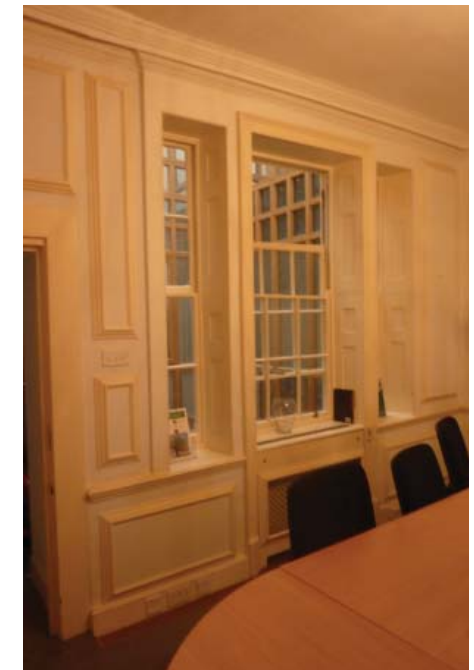
7 Warwick Court - Street View



Internal atrium (looking towards main building)



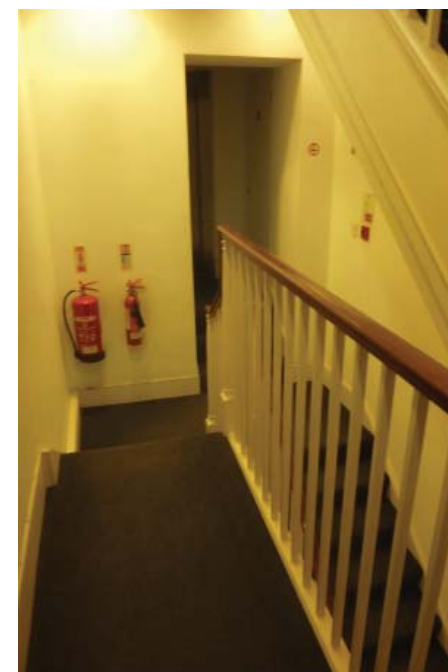
Internal atrium (looking away from main building)



First floor rear room



Front lightwell



Stairwell at first floor level



Front entrance and steps to 7 Warwick Court





8 Warwick Court
Consented rear elevation and closet wing (by Marek Wojciechowski Architects)
(ref: 2014/1949/P)

5.0 PLANNING HISTORY

5.1 As is noted in the appended 'Historical Report' by the Architectural History Practice, substantial changes have been undertaken at the property in recent years. The most recent planning consents on the site are listed below:

9000452
The refurbishment of office accommodation and re-planning and extension of the rear part of the building together with the introduction of a lift and alterations to the existing staircase

L9603037
Installation of internal security grilles to front ground and basement windows

5.2 A number of properties in the surrounding area have been granted relevant change of use consents in recent years, including:

20 John Street 2013/1479/P
Consent for change of use of office (Class B1) to residential (Class C3) to create 5 flats and 1 mews house, and alterations to include, enlargement of front lightwell, addition of lightwell and railings to Roger St. elevation, insertion of windows and entrance door to proposed mews house on Roger St. elevation, reinstatement of basement level to non-original extension including roof terrace at 20A John St, insertion of 3 windows at front lower ground level of 20 John St., minor alterations to front railings, and the installation of a new refuse lift from basement lightwell to street level.

8 Warwick Court 2014/1949/P
Consent (subject to S.106) for change of use from business floorspace (Class B1) to residential (Class C3) to create 5 (1x1& 4x2 bed) flats; including erection of 4-storey closet wing and rear façade as replacement for existing, alterations to front façade and pavement vaults to provide refuse storage.

The property is grade II listed as a pair with the application property (7 Warwick Court).

5.3 Both of the above applications considered the principle of the loss of B1 floorspace to be acceptable. Given the strong similarity and recent decision dates (particularly for neighbouring 8 Warwick Court), they suggest that returning the listed building to its original residential use would be acceptable in principle. The policy implications of these proposed changes are considered on the next page.





'The Site'
7 Warwick Court

7.0 CONSERVATION AREA APPRAISAL

7.1 The property lies within the Bloomsbury Conservation Area, a famed example of formal town planning with a predomination of terraced townhouses. It is, however on the periphery of this designated heritage asset, and its immediate surroundings reflect piecemeal redevelopment on a predominantly large scale (such as First Avenue House directly opposite the site).

7.2 With this historic research in mind, the proposals set out in this document look to respect and enhance the quality and heritage of the Bloomsbury Conservation Area and the listed building, providing an exemplary residential development and improving the built environment.

Conservation Area Plan with site location





- Site Location
- Conservation Area
- Green Spaces in Area



'The Site'
7 Warwick Court



Conservation Area Plan with site location

-  Cycle Hire Stations
-  Underground Station
-  Mainline train station
-  Major Bus route (8, 19, 25, 38, 55, 59, 68, 188, 242...)

8.0 TRANSPORT LINKS ASSESSMENT

8.1 Transport Links

The application site has a PTAL rating of 6B, excellent access to nearby transport links. It is noted in Camden's Core Strategy CS11 that as part of its approach to minimising congestion and addressing the environmental impacts of travel, the Council will look favourably on developments that minimise the provision for private car-parking and, in particular through car-free developments in the boroughs most accessible locations.

8.2 Underground/National Rail

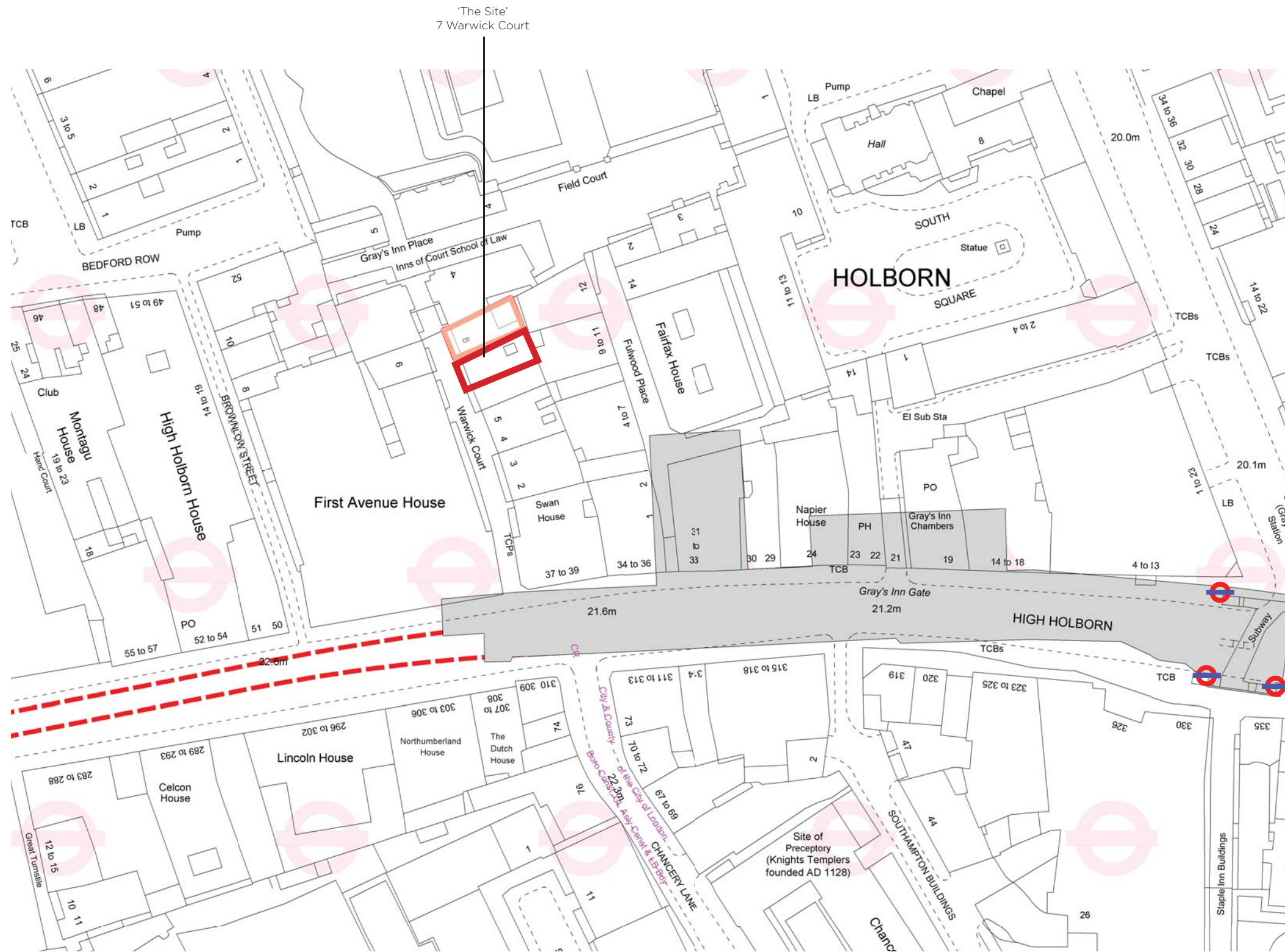
Within 3 minutes walking distance is Chancery Lane underground station which provide access to the Central Line. Within 5-10 minute walking distance is Holborn and Farringdon, which opens up connections not only to 4 other London Underground Lines (Piccadilly, Metropolitan, Circle and Hammersmith & City) but also to National rail services which link to Gatwick and Luton Airports.

8.3 Bus

Just 50m from the site is a major bus route which connects the City of London with Waterloo and the West End.

The site is also located moments from Gray's Inn Gardens, an ideal amenity space for families.





9.0 TRANSPORT LINKS ASSESSMENT

9.1 It has been identified that the Central line of the London Underground network passes near to the development site (approximately 65m away).

9.2 The plan, supplied by LUIP, indicates the approximate locations of tunnels and underground structures. London Underground Infrastructure Protection require consultation regarding

- 1/. Demolition
- 2/. Structural works
- 3/. Excavation
- 4/. Boreholes or piling
- 5/. Highway works above shaded areas




Items 4 and 5 are not relevant to this application and items 1 to 3 are limited in their extent and are not immediately above the LUL underground structure.

While the map to the left was provided for the neighbouring property, 8 Warwick Court, correspondence with the London Underground (copied below) confirms that the proposal will not affect London Underground assets:

"I can confirm that London Underground assets will not be affected by demolition and rear extension works at the above location as per plan and details provided by you."
Received 14/08/2015

9.3 Further consultation with LUIP will be required throughout the ongoing design and construction process.

London Underground Plan indicating underground structures

-  Underground structure
-  Underground Tunnel
-  Underground pedestrian entrance



10. IDENTIFYING NEED / CHANGE OF USE

10.1 This section is to be read in conjunction with Appendix E - Loss of Employment Report and Appendix H - Financial and Viability Assessment (Montagu Evans).

10.2 Although set out in detail in the accompanying reports, the need for the change of use comes from the general under utilisation of the site, the low standard of office accommodation and high cost associated with refurbishment to office space (which would then expect to yield a low rent).

An extract from Camden Planning Guidance 5 as follows:

"Camden's Core Strategy sets out the projected demand and planned supply of office floor space in the borough. We expect the supply of offices to meet the projected demand over the plan period and as a result we may allow a change from B1(a) offices to another use in some circumstances, such as older office premises or buildings that were originally built as residential dwellings. Our priority is for the replacement use to be permanent housing or community use. This approach is in line with policy DP13 Employment premises and sites in the Camden Development Policies."

The site at No. 7 Warwick Court identifies with a number of these considerations. It is an old premises which would have been built originally as a dwelling, and this application proposes to return the property to residential use.

10.3 The building is severely constrained in terms of its ability to provide suitable accommodation for B1 uses and is entirely unsuited to other business uses other than office. Given the significant refurbishment works needed and the listed status of the property, the standard of B1 accommodation that could be achieved through refurbishment is extremely limited.

10.4 Furthermore the framework places emphasis on the need for residential accommodation and states:

"Local planning authorities should ... approve planning applications for change to residential use and any associated development from commercial buildings (currently in the B use classes)"

The demand for housing in the United Kingdom and, in particular, in London is exceptionally high. As noted in Camden's core strategy, any opportunity to reuse existing buildings to increase the availability of sustainable quality homes should be regarded as beneficial - particularly when it returns a character building to its original use.

Existing Plans and Photographs internally



SECTION TWO:
DESIGN EVOLUTION, FINAL PROPOSALS
& PLANNING CONSIDERATIONS





Warwick Court
Street view, looking North from High Holborn



7 Warwick Court
Rear elevation



7 Warwick Court
Rear extension roof



7 Warwick Court
Lightwell



7 Warwick Court
Front Lightwell

11.0 PLANNING POLICY

11.1 The London Borough of Camden (LBC) 'Core Strategy' states that "the Council will consider proposals for other uses of older office premises if they involve the provision of permanent housing" (Policy CS8 Section 8.8).

11.2 Camden Development Policy DP13 provides further guidance on the loss of B1 (office) uses:

"The Council will retain land and buildings that are suitable for continued business use and will resist a change to non-business unless:
a) *it can be demonstrated to the Council's satisfaction that a site or building is no longer suitable for its existing business use;*
AND b) *there is evidence that the possibility of retaining, reusing or redeveloping the site or building for similar or alternative business use has been fully explored over an appropriate period of time."*

11.3 Finally, Camden Planning Guidance (CPG) 5 reiterates what is said in CS8 and DP13 above. It also contains a summary of situations in which the loss of office use may be acceptable:

"There are a number of considerations that we will take into account when assessing applications for a change of use from office to a non business use, specifically:

- *criteria listed in paragraph 13.3 of policy DP13 of the Camden Development Policies;*
- *age of the premises. Some older premises may be more suitable for conversion;*
- *whether the premises include features required by tenants seeking modern office accommodation;*
- *quality of the premises and whether it is purpose built accommodation. Poor quality premises that require significant investment to bring up to modern standards may be suitable for conversion;*
- *whether there are existing tenants in the building, and whether these tenants intend to relocate;*
- *the location of the premises and evidence of demand for office space in this location; and*
- *whether the premises currently provide accommodation for small and medium businesses."*

11.4 We believe that the application site complies with a number of the scenarios listed in the above points, particularly considering the age of the premises, and the extensive supply of B1 office space in the surrounding area. Refer to Appendix E for the Loss of Employment Report by Montagu Evans.

11.5 In light of the above, we believe that the proposed return from B1 to C3 use is not contentious in planning terms, and would contend that it is a positive move in heritage terms.



12.0 PRE-PLANNING APPLICATION FEEDBACK

12.1 Pre-planning advice was received from Kate Phillips (planning officer) and Hannah Walker (conservation officer) of Camden Borough Council on 05/08/2015 (ref 2015/2450/PRE). The main points of this response are as follows:

1/. Is the proposed change of use from B1 office to C3 residential use for the entire building acceptable in principle, given that the property is Grade II listed, originally built as a residential dwelling and unsuitable for modern office use?

MWA noted that the building is not suitable in its current state for modern office accommodation and that extensive upgrade would be required.

CBC noted that the change of use would need to be justified within the application through analysis of the following:

- Length of vacancy
- Lack of office infrastructure
- Asbestos removal
- Financial viability

Refer to Appendix E - Loss of Employment Report and Appendix H - Financial and Viability Assessment (Montagu Evans)

2/. Is the proposed mix of units (3 no. 2 bedroom units, 1 no. 3 bedroom) deemed acceptable?

CBC noted that 2 bedroom units have the highest priority, thus the unit mix is deemed acceptable.

Refer to Page 13.0 of this Design and Access Statement for the revised proposed unit mix.

3/. Is the proposed demolition of the non-original rear extension/ double mansard and its replacement with a lightweight glass extension stepped away from the original rear façade likely to be acceptable?

CBC stated that the principle of a new extension that creates a clear distinction between old and new and that allows the rear elevation of the building to become visible once again is supported, as this approach would enhance the significance of the heritage asset.

CBC noted that while there don't appear to be any issues with overlooking to neighbouring properties, there is some concern about overlooking issues across the rear lightwell (within the property itself).

MWA has included frosted glass louvres for privacy in front of the glazing to the rear extension.

Refer to page 16.0 of this Design and Access Statement for MWA's response on overcoming possible overlooking issues across the rear lightwell.

4/. Are the proposed modifications to the rear facade including the re-instatement of traditionally detailed sash windows likely to be acceptable?

CBC noted that wholesale rebuilding of the rear elevation should not be the first option, and every attempt should be made to retain the existing rear elevation (allowing the retention of the corning and panelling in the rear rooms). CBC was in favour of the reinstatement of 6 over 6 sash windows to the rear elevation

MWA has adopted a rear elevation fenestration pattern which mirrors that of the front elevation, reinstating 6 over 6 sash windows to the rear elevation.

Refer to Page 14.0 of this Design and Access Statement, as well as Drawing P_14 of this planning application.

5/. Are the proposed internal modifications deemed acceptable in heritage terms, when read in conjunction with the enclosed historic report?

CBC believes that some of the internal partitions and modified door positions proposed by MWA impacted the plan form and spatial quality of the traditional layout.

MWA has maintained these door locations where relevant, in order to preserve the heritage of the building.

Refer to Drawings P_01 to P_05 (lower ground to third floor plans).

6/. Is the principle of the proposed lift to all half-landings likely to be acceptable?

CBC did not oppose this.

Refer to Drawings P_01 to P_05 (lower ground to third floor plans).





Fig. 1/ 7 Warwick Court front elevation (showing first to third floors).



Fig. 2/ 7 Warwick Court front elevation (showing ground and part of the lower ground floors).

13.0 DESIGN STRATEGY

13.1 General Strategy

The design, massing and materials of the building envelope has been developed following close consideration of the site and its context.

In developing the design the following principles have been adopted:

- Repair and reinforce the urban pattern and fabric;
- Retain and locally refurbish the front façade;
- Reinstatement of the rear elevation, providing a fenestration pattern that mirrors the front elevation;
- Demolish the non-original rear extension and replace it with a lightweight, glazed component which improves the legibility of the original building while creating a hierarchy between old and new;
- The removal of the existing, non-original dormers to the front elevation and their replacement with 4no. traditionally detailed dormers, lining up with the windows below;
- Remove non-original internal partitions, reinstating the original plan form of the building;
- Provide high quality internal living space with well-planned living accommodation with adequate storage and ancillary spaces.

The retention of the front façade, the reinstatement of the staircase in its original position (at lower ground floor) and the retention of the main walls internally (as far as possible) as well as the traditional entrance and room layout all reflect the importance of retaining the integrity of the listing of the original building.

13.2 Proposals Summary

The building was subject to bomb damage in WWII and large parts of it were rebuilt in the 1940's, with further major alterations made in the 1990's - when the rear extension and internal stair were both rebuilt.

13.2.1 Front Elevation

The front elevation is principally built from brick, with render to the ground and lower ground floors. The brickwork is to be cleaned and repaired as necessary, so will the render, which will also be repainted. Redundant fixtures and fittings are proposed to be removed.

All windows to the lower ground to second floors will be retained, refurbished and redecorated as necessary. All existing windows are proposed to be fitted with secondary glazing internally to improve thermal performance. The external window sills to the first floor will be replaced like-for-like, as they appear to be in poor condition (see Fig. 1 to the left). The dormer windows to the third floor will be replaced with dormers that follow the existing fenestration pattern below.

The lead work above the existing canopy which covers the entrance door (see Fig 2. to the left) will be removed and replaced with lead work to match existing.

The existing finish to the front step (see Fig 2 to the left) will be removed and replaced with Portland stone tiles. Existing, external metal balustrade to be redecorated as necessary.

13.2.2 Front Lightwell

The lightwell appears to have been infilled, as the floor level reaches the window sills of the front room windows at lower ground floor. In addition, the floor level inside the property, at lower ground floor, is lower than the lightwell and the neighbouring properties all have deeper lightwells.

The lightwell will be excavated, bringing it in level with the internal

floor level. Following excavation, Portland stone tiles will be laid in the lightwell, and the excavated walls will be rendered and painted white, blending in with the existing render. A longer stair will be needed, and this will be a painted steel stair, similar to existing.

The window sills to the lower ground floor will be replaced as the infill currently covers a large portion of them. The flat panel door will be removed and replaced with a traditionally detailed sash window to match the windows immediately adjacent to it. The internal metal bars (added in the 1990's) to all windows at this level will be removed and they will be fitted internally with secondary glazing.

13.2.3 Rear Elevation (of the original property)

The rear façade appears to have suffered heavy alterations - most likely to be the result of serious WWII bomb damage. The visible part of this elevation will be reinstated with a window pattern that mirrors that of the front elevation, with traditionally detailed 6 over 6 sash windows.

The paint covering the masonry will be removed, with the brickwork underneath repaired, cleaned and refurbished as necessary. Any new brickwork will be toothed and bonded to existing, with colours matching the existing brickwork.

13.2.4 Rear Extension

Apart from the rear envelope, the non-original rear extension will be demolished. The new rear extension will be a contemporary-detailed lightweight, glazed element. A design of this nature has many benefits. It will enhance the heritage of the original property by revealing more of the rear elevation, providing a hierarchy between the historic components of the property as a whole and its newer elements. It will also improve daylight levels throughout the scheme.

To mitigate privacy issues, the new glazing will be externally fitted with frosted glass louvres.

13.2.6 Pitched Roof Finishes

Where the roof is retained, the existing slate roof finish is to be carefully removed and stored, and new roof felt installed to improve thermal performance and waterproofing. Existing slates are to be relaid, with new, matching slates replacing any damaged slates. Lead work to the roof is to be removed and replaced on a like-for-like basis.

13.2.5 Roofline

The host building parapet level at front and back does not change in height - nor does the rearmost elevation of the property. A new roof finish to the flat portion of the roof is to be installed to ensure that modern building standards are met. The mass and bulk of the rear extension will be reduced, lowering the existing roofline to the rear of the original property.

The non-original mansard roof to the original property will be partially demolished and rebuilt to provide another ridge to the rear of the property, matching the height and size of the existing ridge to the front. This new ridge and the existing ridge will be fitted with conservation roof lights (to the rear portion of the pitch, looking to the rear). The new ridge and the new rooflights will not be visible from street level.

13.2.5 Internals

Partitions

Non-original partitions are to be removed and the main walls are to be

retained as far as possible, as indicated in the design drawings.

Internal Stair

The location of the internal stair is considered historic in principle, but both the internal stair and balustrade are non-original, as they underwent significant alterations in the 1990's (in accordance with the historic drawings shown on page 4.0).

This included the removal of the stair which provides access between the ground and lower ground floors and its relocation to the rear of the building. The proposed scheme aims to restore the stair to its original location and replace the faulty balustrade with a compliant, traditionally-detailed balustrade.

Whilst the balustrade is non-original and will be replaced, there survives 1no. cast-iron spindle at ground floor level. This spindle will be carefully protected and maintained in its existing location.

Floors and Skirtings

The existing floorboards will be lifted to install sound insulation between the joists. The existing floor boards will be retained where possible. The skirtings appear to be non-original and these will be removed in rooms which do not have paneling.

Cornicing

The cornicing will be retained in all the rooms with existing paneling. The remainder of the cornicing will be retained where possible. Where there are wall linings installed, cornicing to match existing will be applied to the new wall finish.

The first floor front room ceiling is of particular historic interest with its decorative mouldings. These will be preserved in situ as building works are carried out and will be redecorated as necessary.

Radiators, Radiator Covers and Fireplaces

The radiators, radiator covers and fireplaces are all non-original and will be removed during the works. New, traditionally detailed fireplaces will be installed as a replacement. New radiators will be installed as part of the scheme.

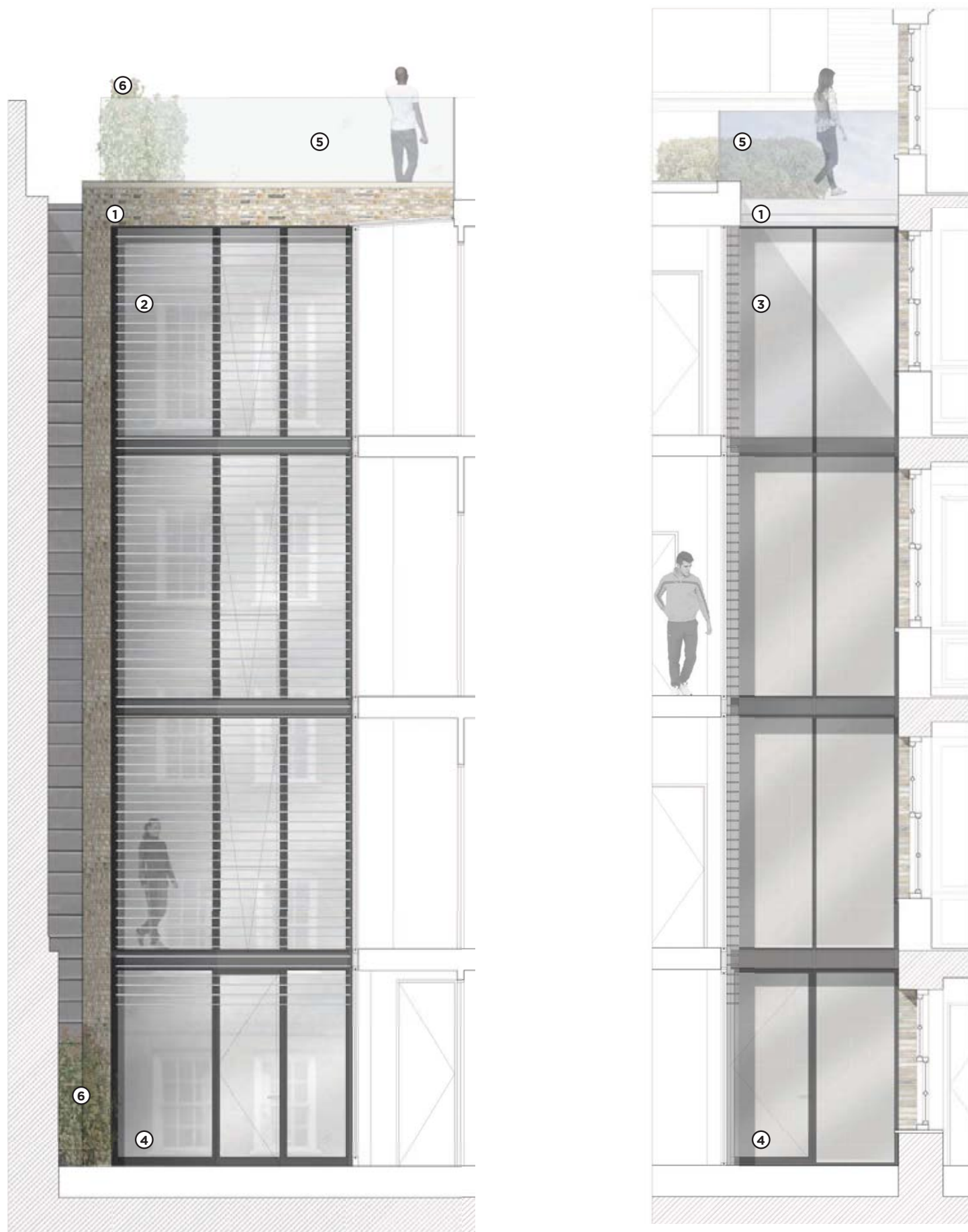
13.3 Development Objectives

The principle of the development is to maximise the property's potential for residential use, providing a high quality residential environment and enhancing the heritage of the listed building to the rear by reducing the mass of the rear extension, improving the visibility to the rear façade, while restoring it with a more traditional window arrangement.

The design strategy is to:

- Identify and respond to key constraints and opportunities provided by the site
- Address pre-application advice and respond to established planning policy frameworks.
- Provide accommodation which addresses market requirements to ensure a viable and successful development which meets local housing needs.
- Consider policy and guidance in respect of access and safety to ensure an attractive, safe and accessible development.





- 1 - New rear extension, in bricks to match.
- 2 - Floor-to-ceiling, anodised aluminium-framed glazing, with external glass balustrade and frosted glass louvres (for privacy).
- 3 - Anodised aluminium curtain walling.
- 4 - Terrace to Flat 01 and 02 (lower ground floor) with new natural stone paving.
- 5 - Roof terrace to Flat 04 with planting and glass balustrade.
- 6 - Proposed planting.





15.0 PROTECTING PRIVACY

15.1 Protecting Privacy

The view from main building, to the contemporary rear element is obscured by etched glass louvres located on the south facing facade of the inner lightwell. The louvres allow light to penetrate down the lightwell whilst protecting the privacy of each individual flat.



16.0 SUSTAINABILITY AND M&E SERVICES**16.1 Sustainability**

Please refer to Appendix C - Energy and Sustainability Statement for full details of the sustainability strategy.

The proposed energy efficient systems and passive design features result in the scheme achieving a 36% improvement over the Part L1b 2013 building regulations. Surpassing the 35 requirement of Policy 5.2 of the London Plan.

Thermal insulation levels for the existing building will be improved through insulated linings that are proposed to be applied where possible to the party walls. Original panelling will not be disturbed. Insulation is proposed to all floors and refurbishment of finishes.

Passive strategies are employed where possible, large windows in the rear extension to increase daylight levels and opening windows at the front and back to improve natural ventilation.

Low environmental impact is a key consideration for the development at 7 Warwick Court, whilst still providing a high quality residential development.

16.2 Servicing Strategy

Please refer to Appendix F - Mechanical and Electrical Servicing Report for full details of the servicing strategy.

16.2.1 Heating

Individual boilers will be installed to each apartment to provide heating through radiators and heated towel rails throughout the apartments. These are located centrally in the apartments with flues running to the roof.

16.2.2 Cooling

AC condensers are proposed to the roof, which would not be visible from the street. A single condenser is located within the lighwell to the rear.

Refer to Appendix J - Acoustic Report.

16.2.3 Ventilation

The apartments will be naturally ventilated throughout with the front and rear facades providing traditionally detailed timber sash windows. The glazing to the rear extension will also provide ventilation by through full height openable windows with Juliet balconies.

16.2.4 Water

Booster and pump located at the lower ground floor and distributed throughout the apartments.

16.2.5 Incoming services/Plant

All incoming services are into the vault below the pavement level. These services will then be delivered to the lower ground floor level meter cupboards and then distributed around the building through vertical risers adjacent to the lift.



Net Internal Area	NIA m2	Sq Ft	Unit Types**
Flat 01 - Basement	65	700	1B2P
Flat 02 - Basement/Ground Floor	102	1098	2B4P
Flat 03 - First	91	980	2B4P
Flat 04 - Second/Third	167	1798	3B5P
Totals	425	4575	

Notes:

* Areas are approximate only, subject to necessary consents, and based on draft measured survey data by Mobile CAD Surveying Ltd. All areas to be checked and verified on site

**Units subject to necessary consents and further detail design development

17.0 PROPOSED USE, UNIT SIZE AND DENSITY**17.1 Proposed Use.**

As outlined in Appendix E - Marketing Report, appended to this planning application, the need for the change of use comes from the general under-utilisation of the site.

17.2 Proposed Mix of Units

The proposal comprises 1 No. 1 Bedroom, 2 No. 2 bedroom apartments and 1 No. 3 bedroom duplex apartment. This satisfies Camden's requirements for a mix of units. These units comply with the minimum space standards set out in the London Plan (July 2011).

17.3 Proposed Density

The site area is 140 sqm (1,507 sqft). This then means that the proposed scheme provides a density of 1,071 Hr/Ha (habitable rooms per hectare). It is deemed that this is a suitable density given the central location of the site.

17.4 Gross External Area

In addition to the Gross Internal areas shown in the schedule, the existing proposed gross external areas are as follows:

Existing GIA: 521 sqm (5,608 sqft)

Proposed GIA: 496 sqm (5,339 sqft)

The loss of 25 sqm being due to the reduction of the mass and bulk of the rear extension.



18.0 CYCLE STORAGE PROVISION

18.1 Access and Parking

Warwick Court is fully pedestrianised. As such the closest vehicle access is from High Holborn.

With this in mind the development is proposed to be car-free. This is considered viable due to the high concentration of public transport in the vicinity.

18.2 Cycle Storage

Following Camden's Core Strategy Policy, cycling is promoted as a sustainable means of travel that provides the opportunity to relieve congestion and promote a healthy lifestyle.

Due to the listed nature of the building and the narrowness of the front lightwell, it is proposed that each flat is supplied with 2x Brompton bicycles with a corresponding £250 bicycle voucher for accessories. These can then be stored securely within joinery in the flat.

Cycle provisions have been provided on the basis of 2no. per apartment in line with our pre-application advice and the London Plan.

The Further Alterations to the London Plan supports the storage of bicycles within dwellings. However due to the listed nature of the dwelling it is unsuitable to manoeuvre bicycles from the communal entrance to each individual flat. The lift car is too small to accommodate a full size bicycle and there is steps located at the main entrance.



Brompton Bicycle (2 per Flat)



£250 bicycle voucher for accessories



19.0 DAYLIGHT AND SUNLIGHT

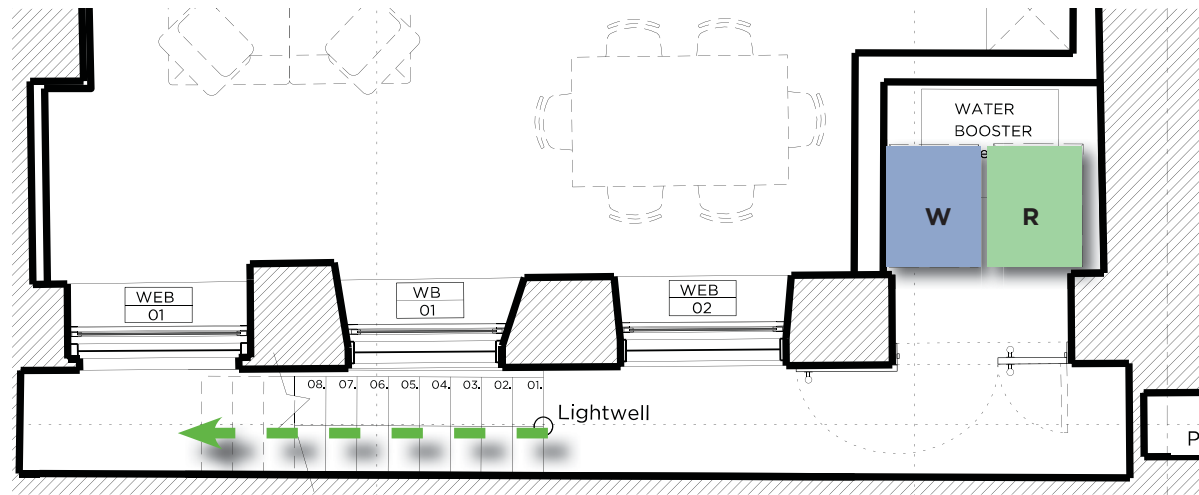
19.1 Layout

The opportunities for external architectural change on this site are limited, due to the listed nature of the building. Pre-application advice concluded that the reinstatement of a traditional window layout to the rear elevation is a positive change to the building.

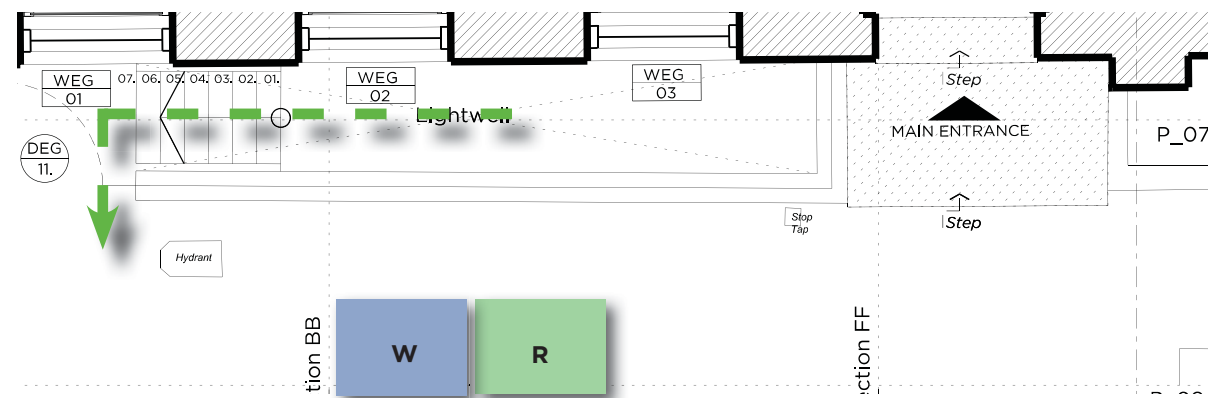
This will increase the number of windows to the rear elevation, improving the daylight levels to habitable rooms. Furthermore, the mass and bulk of the rear extension is significantly reduced, with a lightweight rear extension installed which will have large amounts of glazing. This will improve on daylight levels not only to the rear extension but also to the original property, which will boast more windows.

For further information on the effects of the proposals on the neighbours and the general daylight and sunlight analysis please refer to Appendix D - Daylight/Sunlight Report.





Plan of Lower Ground Floor Waste and Recycling Store



Plan of Ground Floor Bin Collection Point

19.0 WASTE MANAGEMENT

19.1 Encouraging Recycling

Each apartment will be fitted with separate waste and recycling container within the kitchen units. It is considered that this encourages occupants to separate their rubbish and recycling more regularly and reliably.

See image below.

19.2 Waste Collection

Waste and recycling are both collected from Warwick Court once a week (Wednesday).

The waste is collected from the street with the waste vehicle locating itself on High Holborn and the operatives collecting from the properties along Warwick Court. As such, the collection point is immediately outside the property.

A managed solution is proposed to ensure that the bins are adequately placed for collection and returned to their storage area in a timely fashion.

Due to the listed nature of the building, the bin store is located in the front lightwell.

Bins and recycling containers in this area are proposed for joint use.

The bins will be transported from lower ground floor level to ground floor level by the management company and placed in the collection area. They will be returned to the store via the same means after collection.



Example of wheelie waste bin (W)



Example of recycling containers (R)



Example of in-kitchen waste and recycling storage



21.0 LIFETIME HOMES/PART M

The table below shows the lifetime homes/Part M assessment of each apartment.

Given the listed nature of the building it is not possible to meet all of the requirements due to the need to preserve the historic nature of the building. These exceptions have been limited and are noted in the matrix below.

The internal layouts of the apartments and their services all comply with Lifetime Homes Criterion 6-16 where applicable. This means that all internal circulation, bathrooms and layouts are compliant where possible.

Lifetime Homes Matrix

7 Warwick Court

Lifetime Homes Matrix																	
Criterion		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Flat	Beds	Parking	Approach to dwelling from parking.	Approach to all entrances	External entrance	Communal stairs	Internal doors & hallways	Circulation space	Entrance level living space	Entrance level bed space	Entrance level WC & shower drainage	Bathroom / WC adaptability	Stairs and potential through floor lift in dwelling	Potential for fitting of hoists	Bathroom	Windows	Service Controls
Flat 1	2	Note A	Note A	Note D	Note B	Note E	Yes**	Yes	Yes	Yes	Yes	Yes	N/A	Yes	Yes	Note C	Yes
Flat 2	2	Note A	Note A	Note D	Note B	Note E	Yes**	Yes	Yes	Yes	Yes	Yes	N/A	Yes	Yes	Note C	Yes
Flat 3	2	Note A	Note A	Note D	Note B	Note E	Yes**	Yes	Yes	Yes	Yes	Yes	N/A	Yes	Yes	Note C	Yes
Flat 4	3	Note A	Note A	Note D	Note B	Note E	Yes**	Yes	Yes	Yes	Yes	Yes	Yes*	Yes	Yes	Yes	Yes

- Note A No car parking spaces to be provided as part of development.
- Note B Entrances to all flats are internal.
- Note C Window height restricted by listed nature of the building.
- Note D Due to the redevelopment of an existing listed building, the entrance steps must be retained.
- Note E Existing stair to be retained from Ground - 2nd floor level. New stair works within the confinements of the existing building fabric.
- * Lift entrances at at half landing levels and stair width are limited by the existing stair.
- ** Yes, other than where original doors have been retained.





Warwick Court
Street view looking North towards the Inns of Court School of Law

22.0 CONCLUSION

22.1 This document has been compiled following thorough investigation of the history of the site and surrounding area, recently consented developments close to the application site, and all relevant local and national planning policy. We believe that by adopting a sensitive and considered approach, the proposals outlined in this document represent an opportunity to create an exemplary set of residential apartments without impacting the amenity or character of the surrounding area. Further, the return of the listed building to its original residential use represents an opportunity to greatly restore and enhance the character of a heritage asset.



SECTION THREE
PROPOSED VISUALS





Existing
Street Elevation



Proposed
Street Elevation



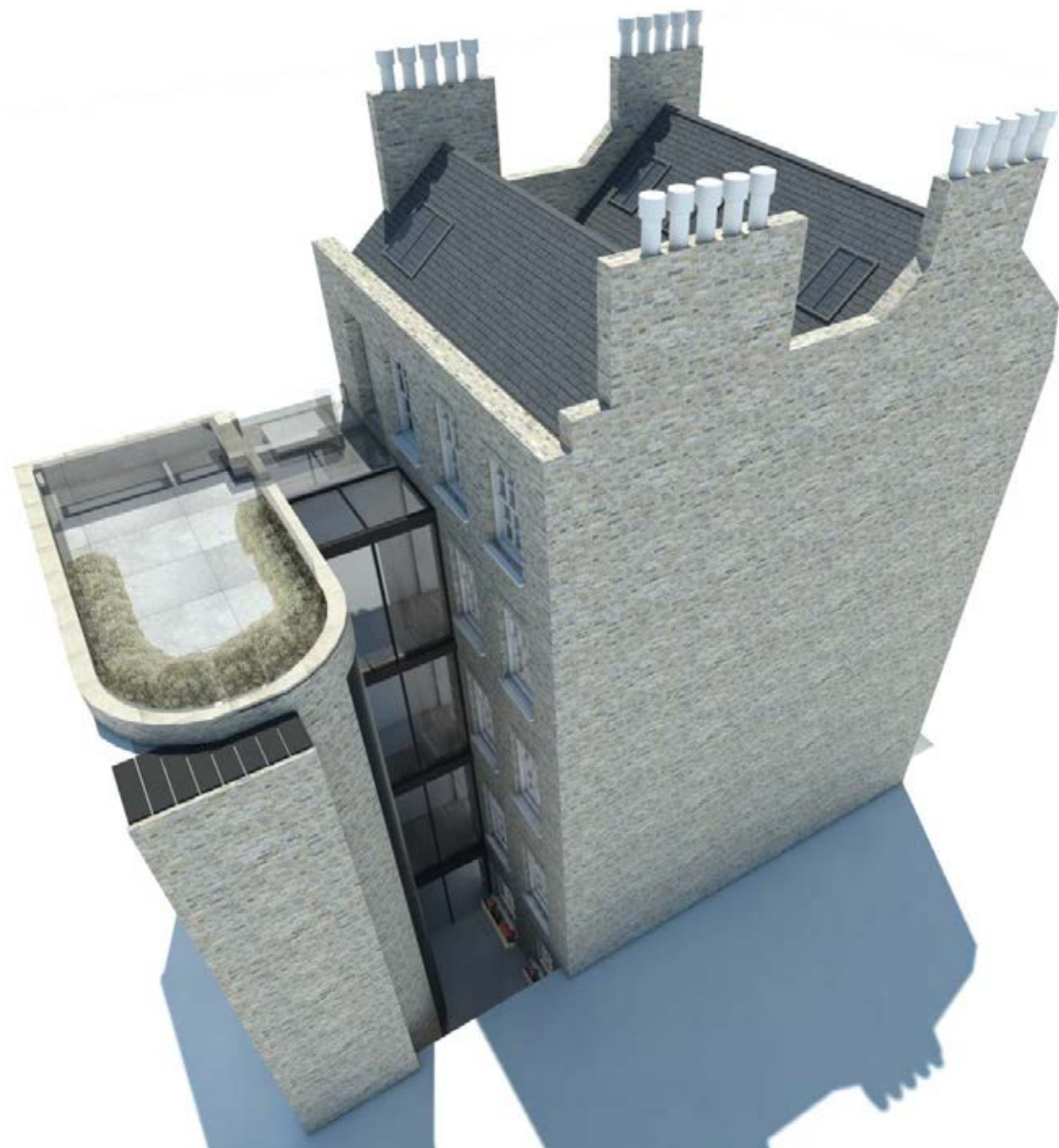


Existing
Rear Isometric



Proposed
Rear Isometric





Proposed
Rear Isometric



Proposed
Lightwell

