

**6 NUTLEY TERRACE
London NW3 5BX**

May 2012



Design & Access Statement

BACKGROUND

This Design & Access Statement is submitted in support of the full Planning Application for the proposed demolition of the existing house at 6 Nutley Terrace, London, NW3 5BX, and the construction of two detached single family dwellings. The application is made on behalf of Mr Omar Shafi and is for the demolition of the existing dilapidated dwelling house and the erection of two new houses. This document will demonstrate that the new houses are of appropriate scale and design, and will make a positive contribution to the Conservation Area.

This document should be read in conjunction with the other documents submitted in support of the application.

DESIGN TEAM

- ARCHITECTS - KSR Architects
- PLANNING CONSULTANTS - Geoffrey Searle Planning Solicitors
- HERITAGE CONSULTANT - KM Heritage
- STRUCTURAL ENGINEERS - Elliott Wood Partnership
- M&E ENGINEERS - Hoare Lea
- SUN & DAYLIGHT SURVEYOR - GL Hearn
- ENVIRONMENTAL CONSULTANTS - Hoare Lea
- LANDSCAPE ARCHITECTS - Bowles & Wyer
- ARBORICULTURALIST - Landmark Trees
- TRANSPORTATION - TTP Consulting
- SOLAR PANEL SPECIALIST - Joju Solar

SUPPORTING DOCUMENTS AND CONSULTATIONS

- 1. Planning Statement
- 2. Heritage Appraisal
- 3. Structural Reports
(includes Hydrogeological Report, Site Investigation Report)
- 4. Sustainability and Energy Statement
(Energy Efficiency Statement and Code for Sustainable Homes Pre-assessment)
- 5. Arboricultural Impact Assessment
- 6. Transport Statement
- 7. Daylight and Sunlight Report

1 INTRODUCTION

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- 1.2 Use/ Amount

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- 1 Existing drawings
- 2 Demolition drawings
- 3 Proposed drawings



LOCATION PLAN

1.1 THE PROPOSAL

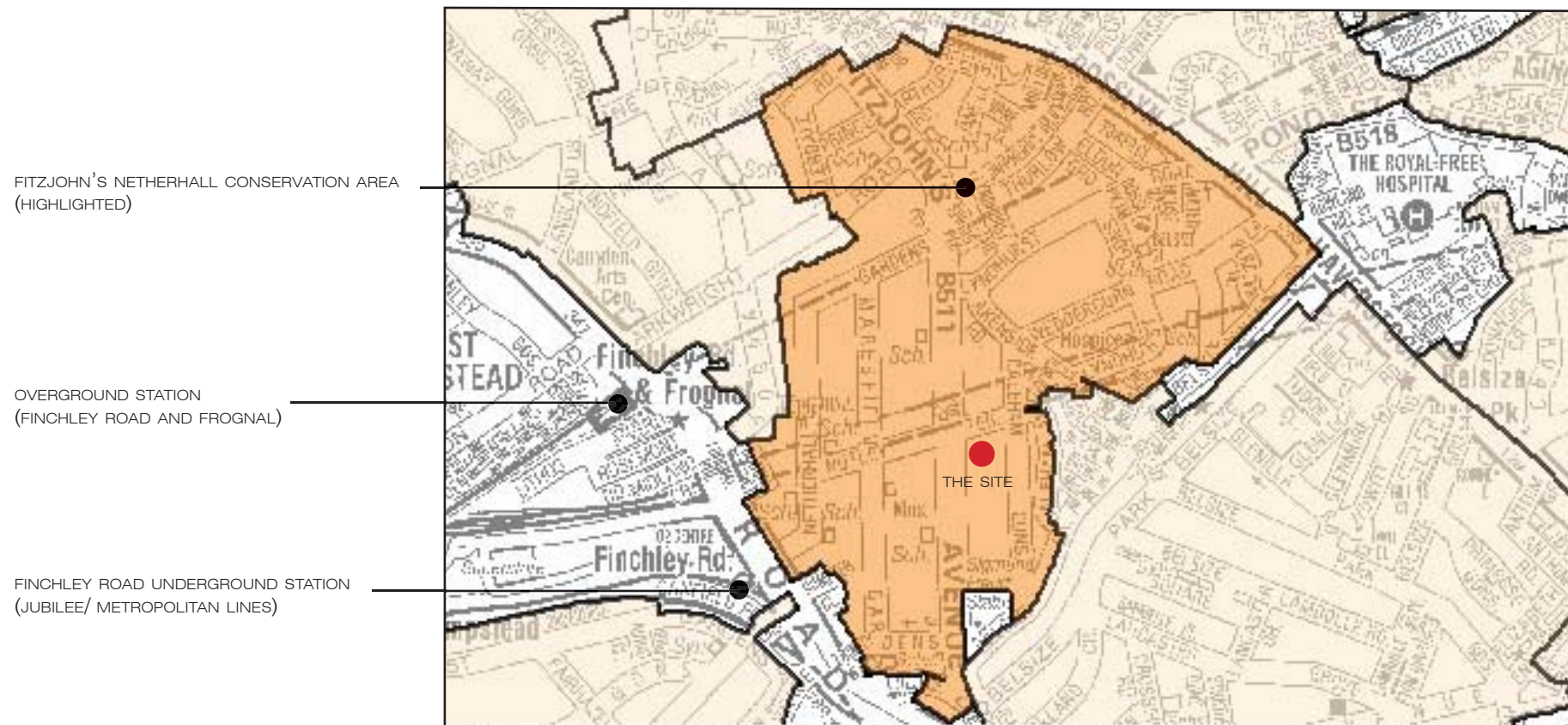
This document is submitted as part of a full planning application for the proposed redevelopment of No.6 Nutley Terrace on behalf of Mr Omar Shafi. It is proposed to demolish the existing dwelling on a large site and replace with two separate detached houses appropriate to the locality.

1.2 USE / AMOUNT

The proposed scheme is for the demolition of the existing dwelling house of 356m² (GROSS EXTERNAL AREA) and its replacement with two single family dwelling houses (planning Class B3) of 663.5 m² and 643.5 m² (GROSS EXTERNAL AREA). A new driveway is provided to one house whilst the other house will be accessed by the existing driveway. The existing boundary walls will remain with a new separating wall to match being erected between the two properties.



AERIAL PHOTOGRAPH



CONSERVATION AREA MAP



AERIAL PHOTOGRAPH

2.1 CONSERVATION AREA

The site is located at the eastern end of Nutley Terrace, between Fitzjohn's Avenue and Daleham Gardens. Currently the site accommodates a single family house with large rear garden. The site falls within the Fitzjohn's Netherhall Conservation Area (see map, left) which was designated in 1984. The Conservation Area is characterised by diverse residential styles including traditional Queen Anne, Jacobean, neo-Gothic, Arts & Crafts and Georgian along with newly built modern houses and apartment buildings. Many of the houses were built for individual owners, often artists, who imposed their own style. Common characteristics of this eclectic mix of styles is a consistent material palette and the incorporation of enriched details - tile hanging, stained glass, ornate chimney stacks, terracotta reliefs, oriel windows. Roofs are conspicuous with gables, and dormers being commonly incorporated. Most houses are detached or semi-detached giving important views to the gardens beyond, with very few examples of terraces. Boundary walls are a strong street feature giving a distinct characteristic to each street.

Within this range of styles there are many examples of well-proportioned modern or neoclassical dwellings which have been successfully integrated into the context, adding diversity and richness to the streetscape.

A separate Heritage Appraisal is provided by KM Heritage setting out the effect of the proposed development on the Conservation Area and its surroundings.

2.2 LAND USE

In terms of land use, the locality is principally residential, with a large number of schools (state, private, junior and senior) located in the immediate vicinity, in particular taking advantage of the large robust buildings of Fitzjohn's Avenue.

2.3 EXISTING HOUSE

The existing house at No.6 Nutley Terrace is unexceptional and makes a neutral contribution to the Conservation Area at best. The front elevation is neo-Georgian in design but is unbalanced by the inclusion of a bland projecting extension to the east. The poorly designed entrance includes an inappropriate glazed front door and little else to elevate it beyond being a brick box. The rear elevation has a very different 'suburban' aesthetic with horizontal casement windows sitting flush with brickwork. The roof includes Velux-type rooflights front and rear.

2.4 SITE CONTEXT PHOTOGRAPHS



VIEW 1 - 48 FITZJOHN'S AVENUE

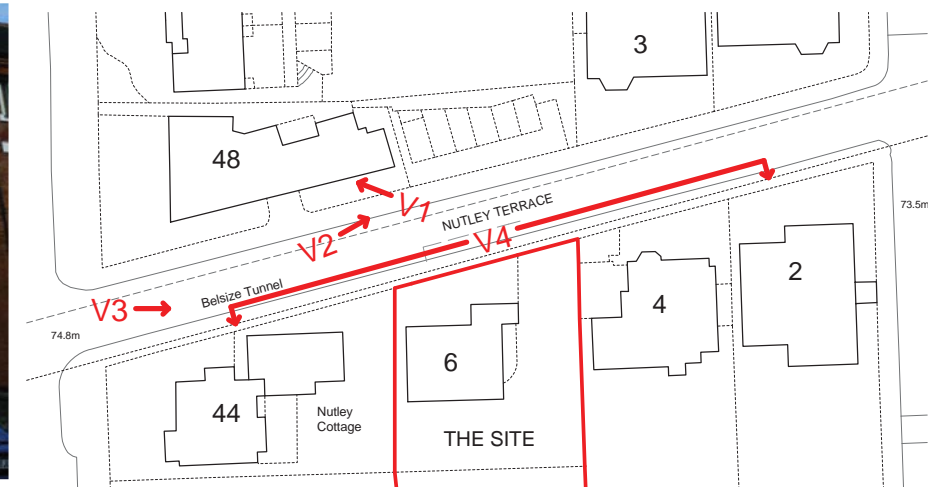


VIEW 2 - 5 NUTLEY TERRACE (GARAGES)



VIEW 3 - VIEW EASTWARDS ALONG NUTLEY TERRACE

NUTLEY COTTAGE
 6 NUTLEY TERRACE (THE SITE)
 44 FITZJOHN'S AVENUE



1 : 1000 @ A3
 KEY MAP



2 NUTLEY TERRACE

4 NUTLEY TERRACE

6 NUTLEY TERRACE (THE SITE)

NUTLEY COTTAGE

VIEW 4 - STREET PANORAMA

2.5 SITE PHOTOGRAPHS



VIEW 1 - No.6 NUTLEY TERRACE, VIEW FROM NUTLEY TERRACE



VIEW 2 - No.6 FRONT ENTRANCE



VIEW 3 - No.6 VIEW FROM REAR GARDEN



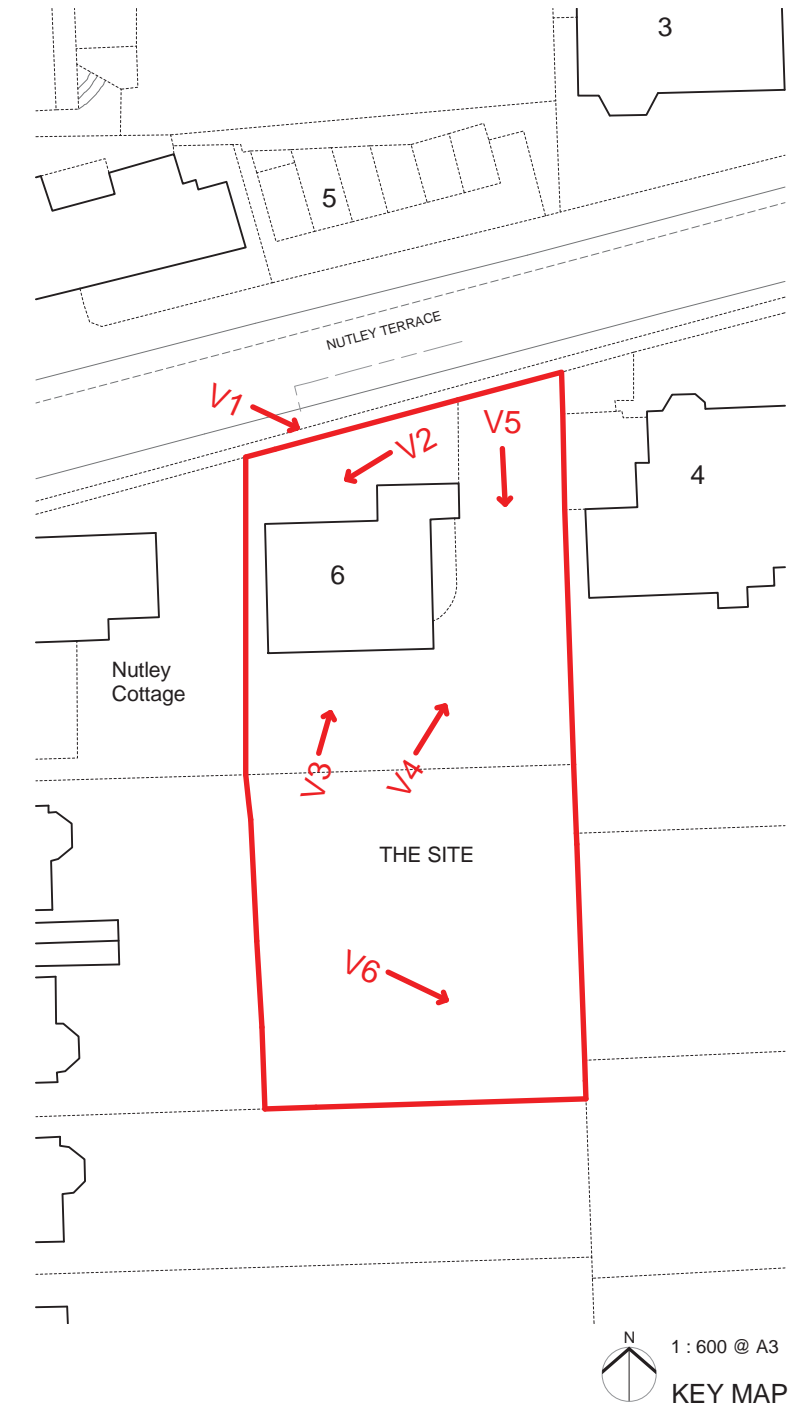
VIEW 4 - No.6 VIEW FROM REAR OF GARDEN, NO.4 IN THE DISTANCE

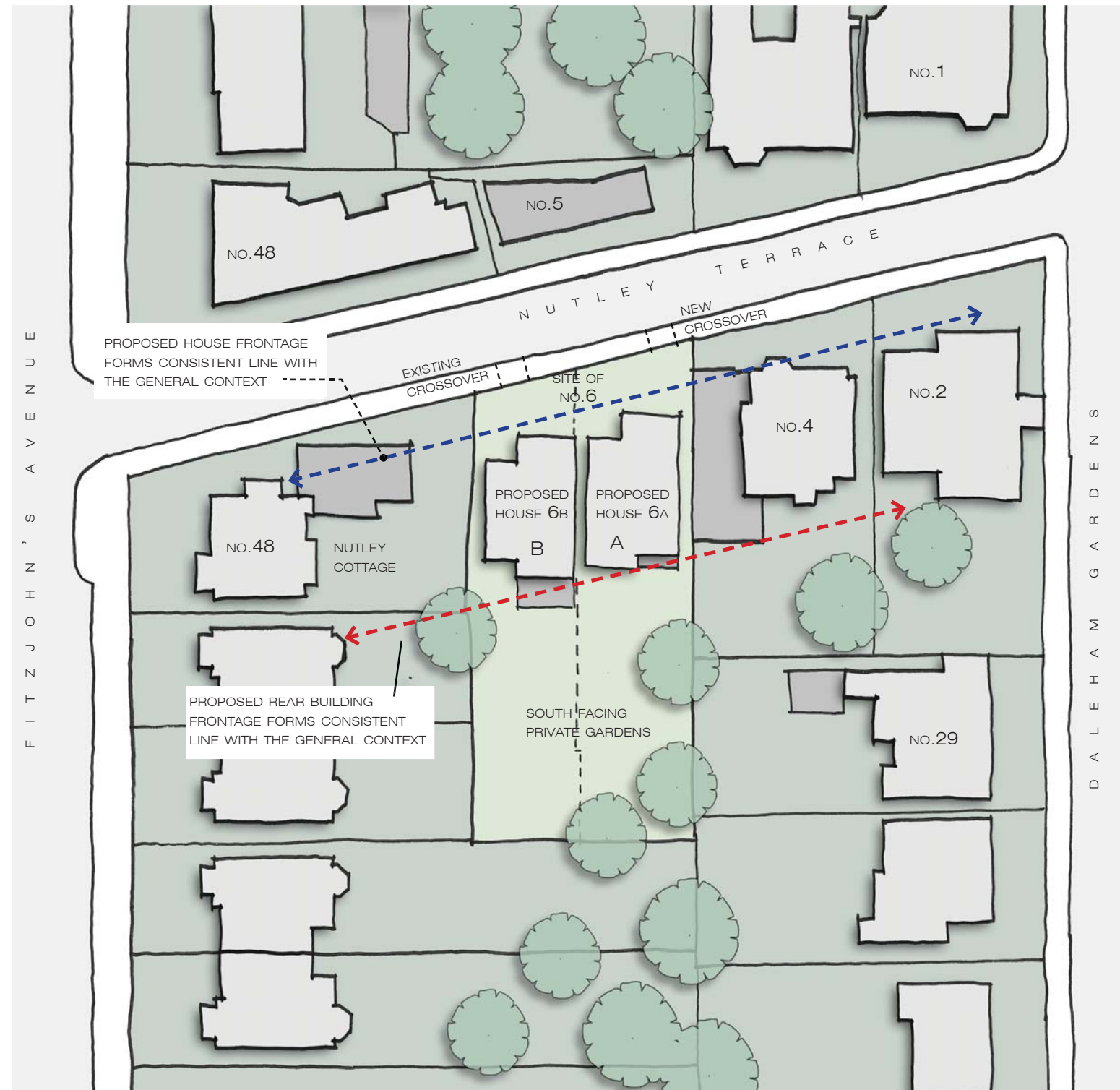


VIEW 5 - No.6 VIEW TOWARDS REAR GARDEN



VIEW 6 - No.6 VIEW TOWARDS BOTTOM CORNER OF GARDEN





3.1 LAYOUT

The proposed redevelopment of the site provides two polite, well-proportioned houses on the site of one unremarkable single house. The site is large enough to accommodate these two houses with ease and in keeping with the grain of the area.

As is typical of the area, the buildings are set back from the road behind an existing wall creating a small front garden. The general building line at front is maintained with the stepped frontages relating to the line of the road, giving articulation to the buildings and preserving views of the adjoining properties.

The existing vehicle crossover and gate opening through the wall has been maintained for House B. A new crossover and gate is proposed at the north east of the site as the entrance for House A.

The general building line is also maintained at the rear, facing the large verdant gardens. The houses sit comfortably within the site and include a modest basement under each building, extending under the rear terrace. They are respectful of their setting, in particular in the proximity to trees. An arboricultural report has been prepared by Landmark Trees which demonstrates that full consideration has been given to trees on and around the site and confirms that the new proposals do not have any significant impact on the trees.

A separate Geo-Technical report is also submitted which demonstrates that there is no adverse impact on underground water.

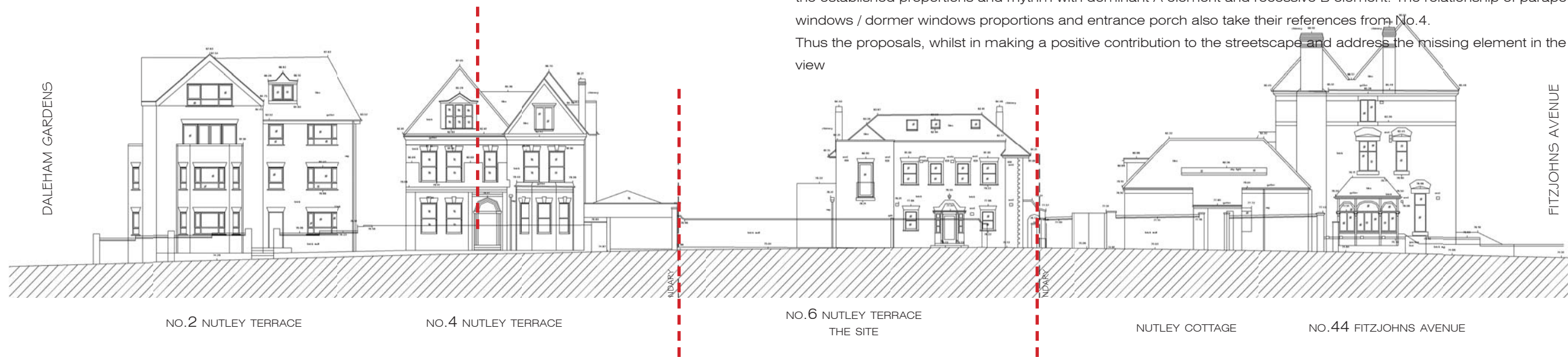
3.2 SCALE AND ARTICULATION

In developing proposals for the site, the massing, height, fenestration, and building style have been carefully considered to be sympathetic to the context.

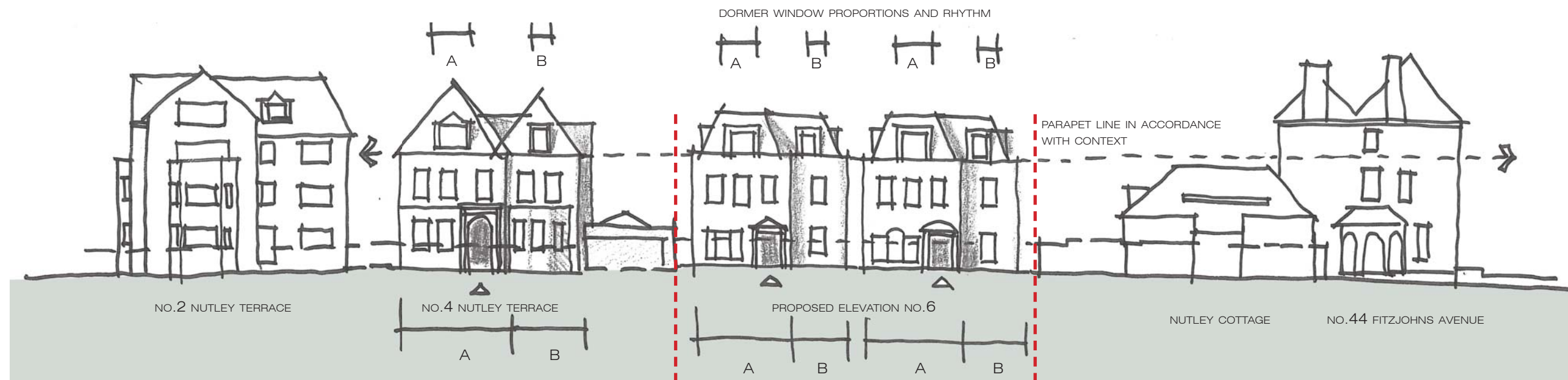
The existing streetscape lacks any order and dominant characteristics, unlike Fitzjohn's Avenue. It deteriorates further opposite the site where a single storey garage building (No.5 Nutley Terrace) sits next to six storey apartment buildings at either end of the road (No.2 Nutley Terrace and No.48 Fitzjohn's Avenue). The existing building at No.6 Nutley Terrace is positioned on the western side of the site, resulting in a fractured streetscape and the appearance of a missing building. This breaks the rhythm of the street.

Responding to the context, the proposal adopts the facade proportions of the neighbouring house at No.4, which is a well-proportioned detached property and is recognised as a positive contributor to Nutley Terrace. Therefore the new facades follow the established proportions and rhythm with dominant A element and recessive B element. The relationship of parapet line, windows / dormer windows proportions and entrance porch also take their references from No.4.

Thus the proposals, whilst in making a positive contribution to the streetscape and address the missing element in the street view



STREET ELEVATION EXISTING



STREET ELEVATION PROPOSED

3.3 APPEARANCE AND MATERIALS

The proposed buildings are designed to enhance the Conservation Area by blending into their setting. The neoclassical designs pick up on the characteristic palette of the Fitzjohn's Netherhall Conservation Area, being clad in rubbed red brickwork and incorporating traditional details including gauged brick flat arches, cornice, expressed brick quoins, stone porticos and bottle balustrades.

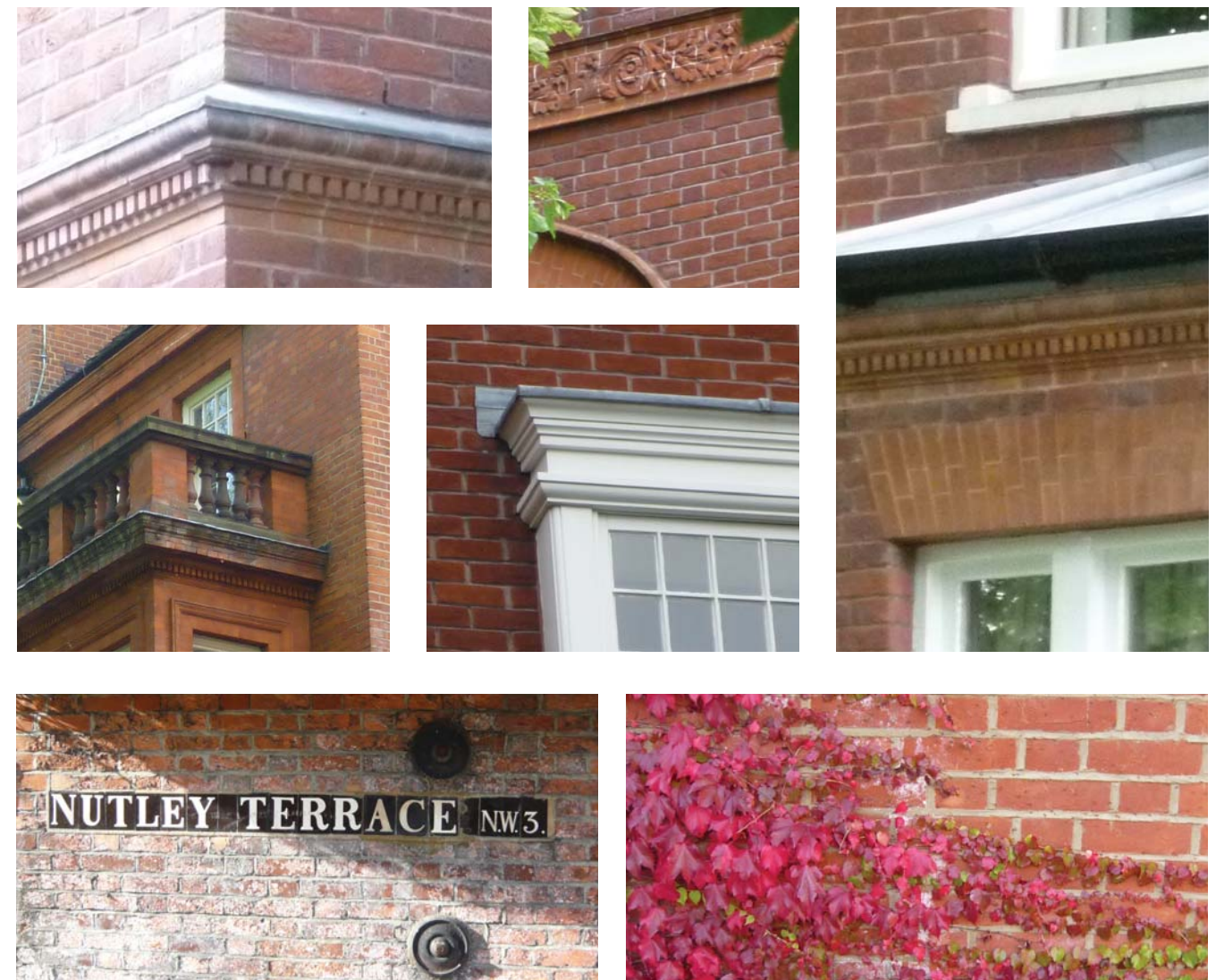
The two buildings are similarly proportioned and of a consistent palette however each has an individually detailed cast stone front portico with imposing hardwood front door and principal ground floor window to give subtle distinction.

Windows are typically traditional timber framed double glazed sash windows to give enhanced environmental performance.

The traditional slate roof is a prominent feature of the houses and includes appropriately proportioned lead clad dormer windows.



FRONT PART ELEVATION - HOUSE A



LOCAL PALETTE

3.4 STREET PERSPECTIVE



NO. 4 NUTLEY TERRACE

PROPOSED HOUSE A

PROPOSED HOUSE B

VIEW FROM NUTLEY TERRACE

3.5 LANDSCAPE DESIGN



Landscape proposals prepared by Bowles & Wyer

The main focus of the two gardens is the clients desire to create a green and open landscape that creates a practical space for family living, with terrace spaces and access to areas of open lawn. These activity orientated spaces are softened by proposed tree, shrub and herbaceous planting that create year-round seasonal interest whilst improving the diversity and quality of planting in the garden. The Existing trees on site are taken into account and the design accommodates the RPAs set out in Landmark Trees arboricultural report.

Both gardens are designed with a dining terrace forming a connection between the internal and external spaces. The main gardens, accessed via steps from the terraces, are created on the existing levels of the site. Existing trees coupled with additional specimen trees added at points along the boundary will provide screening to the gardens. Several clipped hedges amongst planting define space within the rear while stepping stone pathways lead across the lawns and planting beds to provide a flow to the garden and easy access. Focal features are placed at key points to create interest within the garden. Composting areas and sheds are to be included so the gardens can be maintained easily. The property 6A has lower level access that will lead onto a separate terrace and garden area that connects to the main garden. Property 6B has a lower level terrace that will be paved, planters and climbers against the wall will 'green' the space. Access to the main garden will be via external steps.

The front of the properties will be predominantly for vehicular use, allowing for off street parking. Boundary walls and planting beds present the opportunity to soften the landscape with decorative planting, along with planters along the front of the proposed buildings. External bin enclosures will also been incorporated into the landscape. Access between the front and the rear of the properties will be gained via paved pathways that will also provide areas for cycle storage.

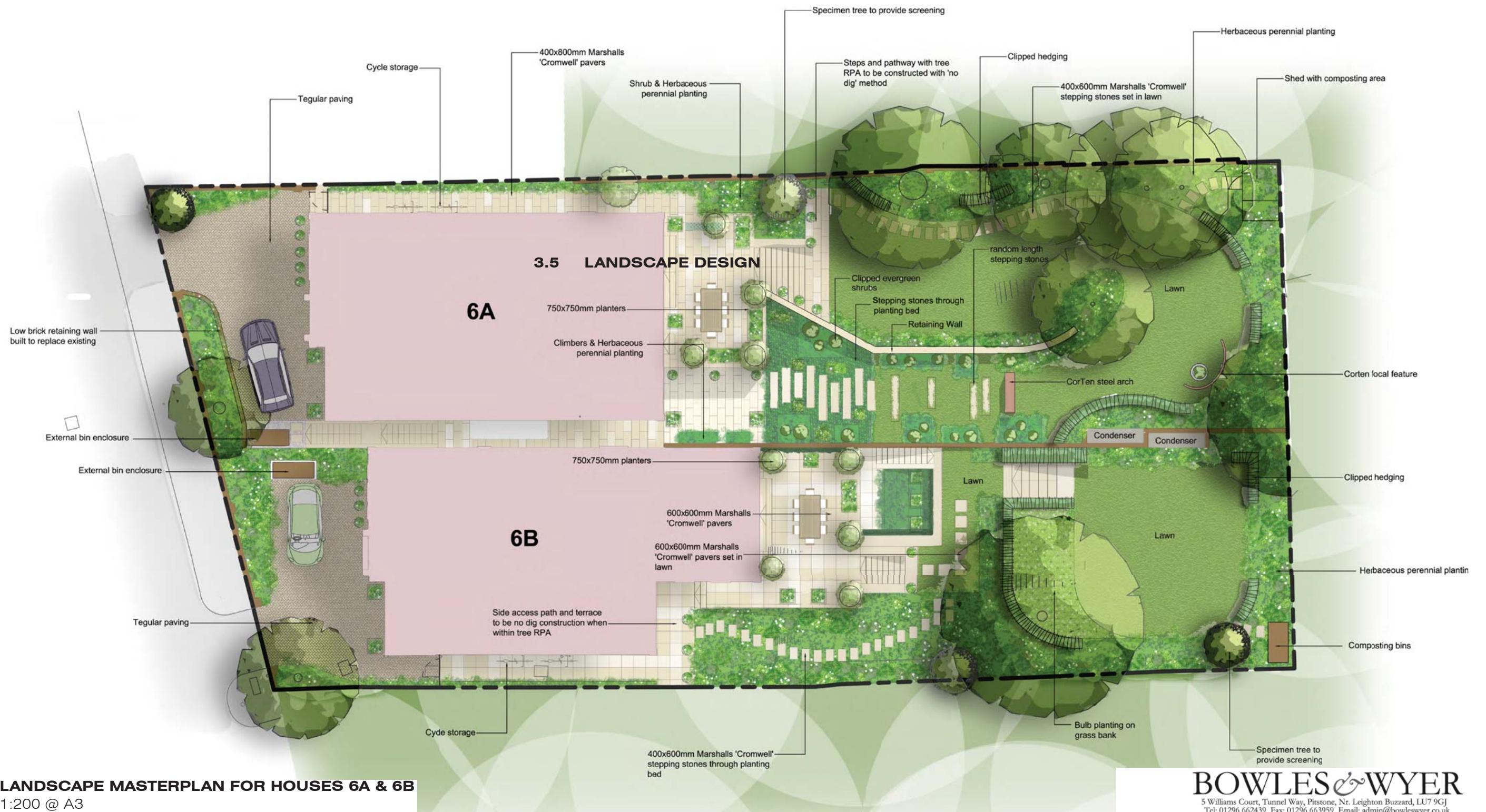
Refer to Landscape Masterplan for further details of proposed hard and soft landscape elements.

BOWLES & WYER
 5 Williams Court, Tunnel Way, Pistone, Nr. Leighton Buzzard, LU7 9GJ
 Tel: 01296 662439 Fax: 01296 663959 Email: admin@bowleswyer.co.uk

3.5 LANDSCAPE DESIGN

KEY:

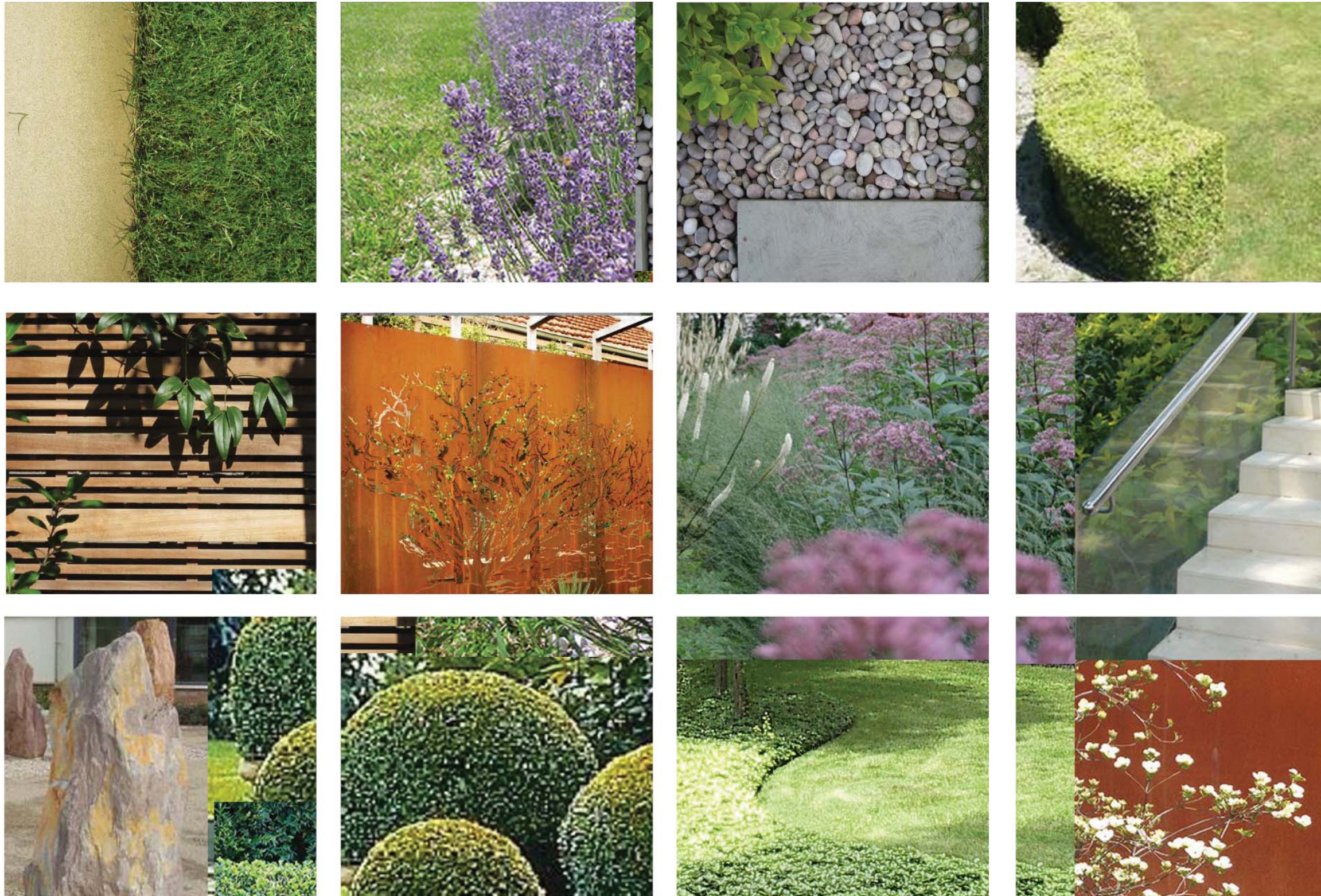
	EXISTING TREES TO BE RETAINED		HEDGING		PLANTERS		TEGULAR SETS		YORKSTONE PAVING
	PROPOSED TREES		SHRUB AND HERBACEOUS PLANTING		BULB PLANTING		SCOTTISH BEACH PEBBLES		STEPPING STONES



LANDSCAPE MASTERPLAN FOR HOUSES 6A & 6B
1:200 @ A3

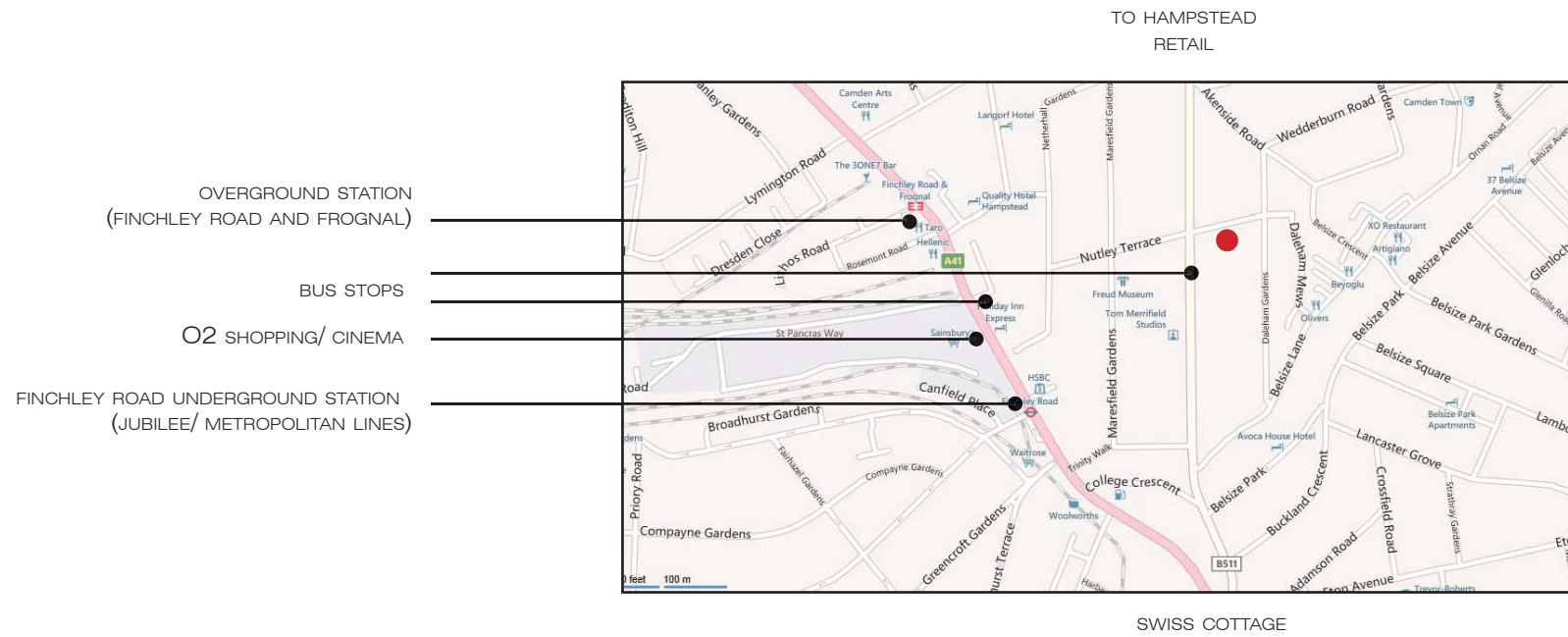
BOWLES & WYER
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Tel: 01296 662439 Fax: 01296 663959 Email: admin@bowleswyer.co.uk

3.5 LANDSCAPE DESIGN



LANDSCAPE PALETTE

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5 Williams Court, Tunnel Way, Pistone, Nr. Leighton Buzzard, LU7 9GJ
Tel: 01296 662439 Fax: 01296 663959 Email: admin@bowleswyer.co.uk



OVERGROUND STATION
(FINCHLEY ROAD AND FROGNAL)

BUS STOPS

O2 SHOPPING/ CINEMA

FINCHLEY ROAD UNDERGROUND STATION
(JUBILEE/ METROPOLITAN LINES)

TO HAMPSTEAD
RETAIL

SWISS COTTAGE

4.1 ACCESS AND SITE CONTEXT

Introduction

The proposal has been developed to comply with relevant legislation including Part M of the Building Regulations, specific local authority requirements and conforms with the requirements of the Disability Discrimination Act (DDA). The proposal meets Lifetimes Homes Standards, being fully accessible for disabled people both internally and externally. An assessment of this is included in this report.

The locality

The site at Nutley Terrace is conveniently located being 350m from the supermarkets and entertainment centre (The O2) on Finchley Road and within 1km of fashionable Hampstead High Street. The locality is not ideally suited for wheelchair users since it has steep hills and high kerbs,

There are bus stops to the east within 100m of the site on Fitzjohn's Avenue, whilst to the west lie the transport facilities of Finchley Road bus stops, Finchley Road Underground Station (Jubilee and Metropolitan Lines) and Finchley Road and Frognal Overground Station.. There is also Hampstead Station (Northern Line) to the north and Swiss Cottage (Jubilee Line) to the south. These provide excellent connections into Central London and to the wider London transport network.

A separate Transport Statement is provided giving greater detail.

4.2 ARRIVAL

Pedestrian Access to the Development

The main (and only) entrance to each house is from Nutley Terrace. The existing boundary wall at back of pavement is retained and house 6B uses the existing gates whilst house 6A has new gates to match in a new opening. They are electrically operated by remote control, giving easy access for disabled with an accessible entryphone provided. The main entrance to each house a ramped access suitable for wheelchair users, with level access. Gates to the garden and basement accommodation are provided at both sides of houses. The south facing rear garden is designed to be level, accessible and enjoyable by all.

Vehicular Access to the Development

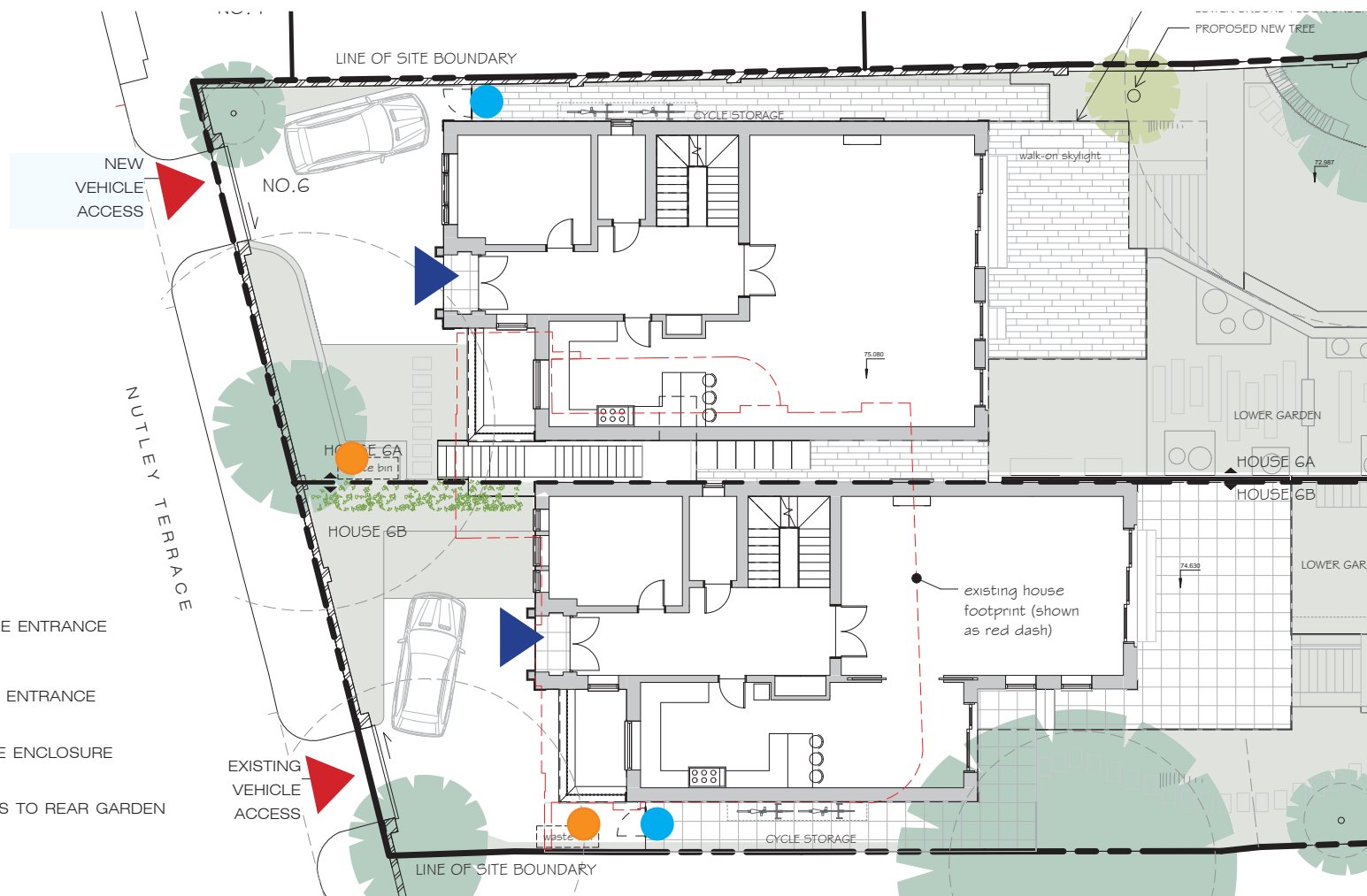
The front garden provides private car parking for each house. This is capable of providing disabled parking if required. A secure cycle store is located at the side of each house in accordance with Camden's requirements.

4.3 EMERGENCY ACCESS

Access to the site in case of an emergency is from Nutley Terrace. It is not envisaged that fire fighting vehicles will enter the site.

4.4 REFUSE/DELIVERY ACCESS

Refuse and recycling storage facilities are in accordance with the Council's requirements with plenty of room for wheelie bins within the front garden. Residents will be responsible for taking the bins to back of pavement on collection day where they will be emptied by the local authority. Day to day deliveries will be via Nutley Terrace, as the existing arrangement.



NEW VEHICLE ACCESS

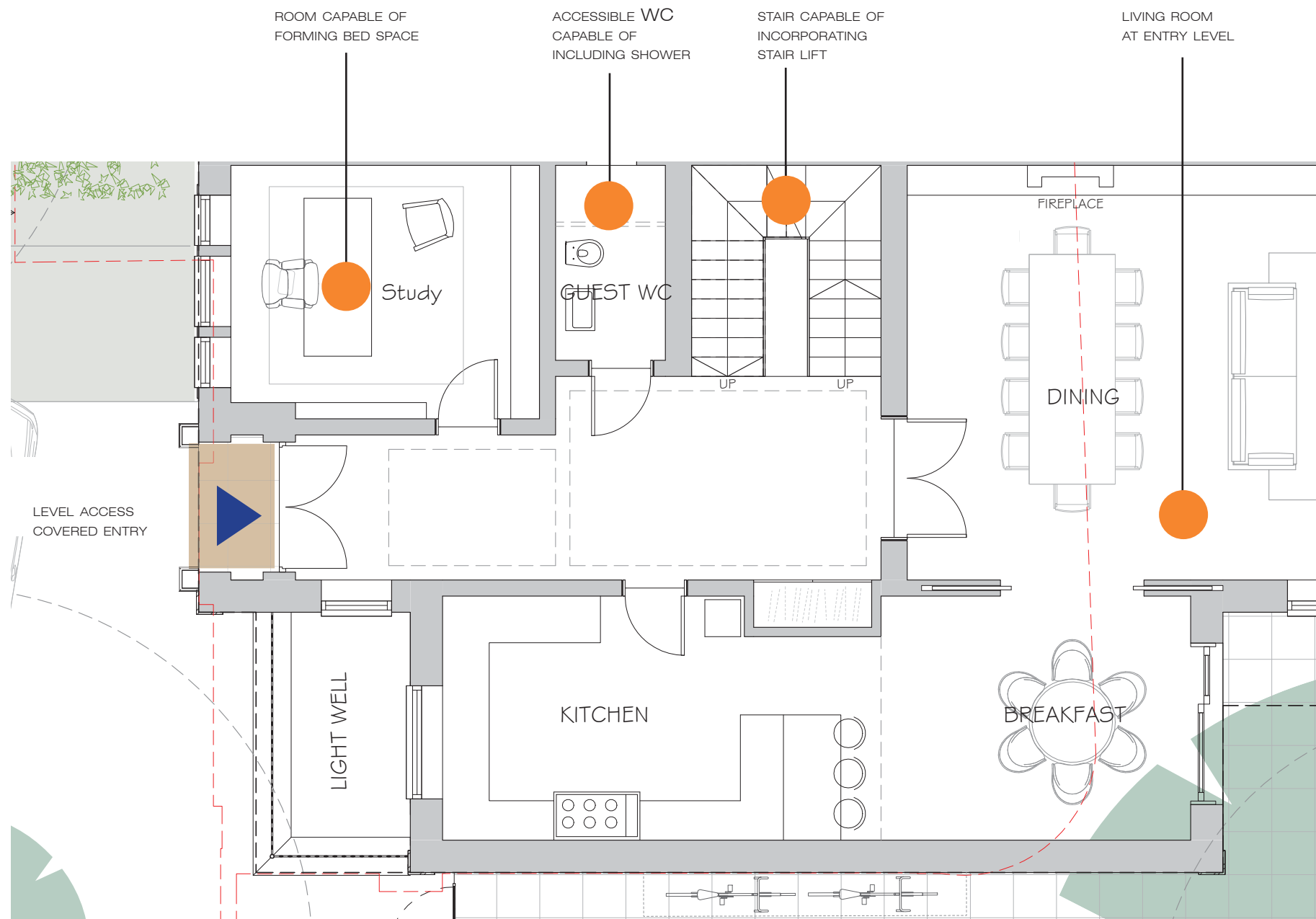
HOUSE ENTRANCE

REFUSE ENCLOSURE

ACCESS TO REAR GARDEN

EXISTING VEHICLE ACCESS

ENTRANCE LEVEL PLAN



ENTRANCE LEVEL PLAN

4.5 INTERNAL LAYOUTS AND INCLUSIVE DESIGN

Both houses are designed to Lifetime Homes Standards, see following chart for compliance.

The Ground floor level is designed to be adaptable for a wheelchair user, in particular:

- The level threshold entrance includes a covered lobby area
- The wc at entrance level complies with Approved Document Part M of the Building Regulations and is capable of including a shower.
- The living room is at entry level
- A study is located at the front of the house adjacent to the accessible WC and is capable of being a bedroom with appropriate manoeuvring space..

The houses are generously planned and are therefore very suitable for a wheelchair user. Whilst there is no lift indicated, it is possible for the stairs to include a stair lift if required.

4.6 MEETING LIFETIME HOMES STANDARDS

The proposed scheme meets Lifetime Homes Standards, being fully accessible for disabled people both internally and externally.

	LIFETIME HOMES STANDARD	COMMENT
1.	Where there is car parking adjacent to the home, it should be capable of enlargement to attain a 3300 mm width	Scheme fully compliant The front garden includes adequate private parking space
2.	The distance from the car parking space to the home should be kept to a minimum and should be level or gently sloping	Scheme fully compliant The front garden includes adequate private parking space
3.	The approach to all entrances should be level or gently sloping	Scheme fully compliant
4.	All entrances should be illuminated, have level access over the threshold and have a covered main entrance	Scheme fully compliant
5.	Communal stairs should provide easy access, and where homes are reached by a lift, the lift should be wheelchair accessible	Not applicable
6.	The width of internal doorways and hallways should conform to Part M, except where the approach is not head on and the corridor width is 900 mm, where the clear opening width should be 900 mm rather than 800 mm. There should be 300 mm to the side of the leading edge of the doors on the entrance level	Scheme fully compliant
7.	There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchair users elsewhere	Scheme fully compliant
8.	The living room should be at entrance level	Scheme fully compliant
9.	In houses of two or more storeys, there should be space on the ground floor that could be used as a convenient bed space	Scheme fully compliant
10.	There should be a wheelchair accessible entrance level toilet with drainage provision enabling a shower to be fitted in the future	Scheme fully compliant
11.	Walls in bathrooms and toilets should be capable of taking adaptations such as handrails.	Scheme fully compliant
12.	The design should incorporate provision for a future stair-lift and a suitably identified space for potential installation of a through the floor lift from the ground to the first floor, for example to a bedroom next to a bathroom	Scheme fully compliant The stair is wide enough to accommodate a stair lift if required
13.	The design should provide for a reasonable route for a potential hoist from a main bedroom to the bathroom	Scheme fully compliant The accessible future bedroom is adjacent to the accessible shower room. It would be possible for a hoist to run between the two.
14.	The bathroom should be designed to incorporate ease of access to the bath, WC and wash basin	Scheme fully compliant
15.	Living room window glazing should begin at 800 mm or lower, and windows should be easy to open/operate	Scheme fully compliant
16.	Switches sockets, ventilation and service controls should be at a height usable by all (i.e. between 450 mm and 1200 mm from the floor)	Scheme fully compliant



5.1 ENERGY AND SUSTAINABILITY

A full Energy Efficiency Statement and Code for Sustainable Homes Pre-assessment is provided by Hoare Lea in a separate report which should be read in conjunction with this report. Their report demonstrates that high standards of environmental sustainability will be achieved for the proposed development at 6 Nutley Terrace.

The project is designed to be a low carbon development and meet the minimum requirements of the Building Regulations Approved Document Part L1A 2010 and Code for Sustainable Homes minimum of Level 3 through the adoption of appropriate strategies. The Code for Sustainable Homes targets will ensure that the development incorporates a wide range of measures to minimise impact on the local environment both during and after construction, as well as providing two dwellings which will incorporate sustainable benefits throughout their design.

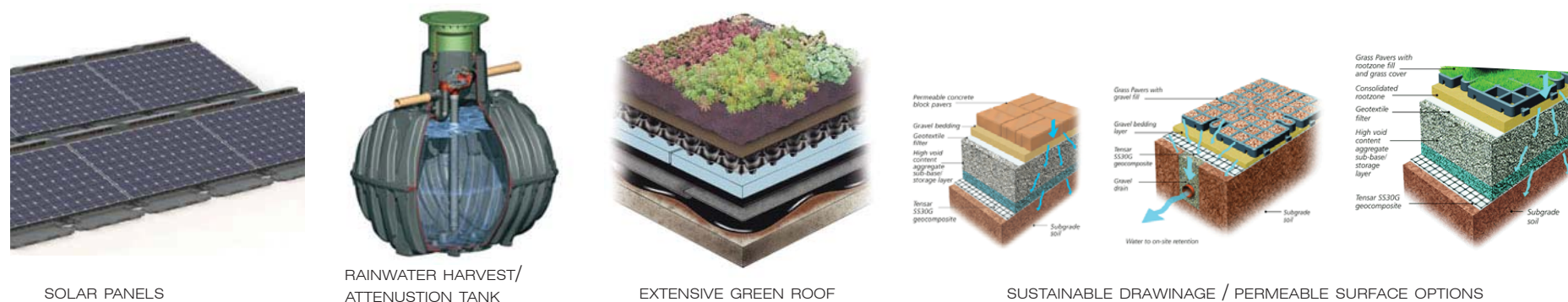
In summary the following measures are proposed:

- Enhanced building fabric performance
- Enhanced buildings services performance
- Use of air source heat pumps and underfloor heating
- Inclusion of solar panels

The houses are in a Low Flood Risk area and will incorporate a sustainable drainage system (SUDS) to attenuate and minimise surface water flows into the public sewer.

5.2 ECOLOGY

The proposal maintains a large existing area of mature soft landscape with its diverse species of plants, shrubs and mature trees and supplements this with new native trees and shrubs. With the inclusion of green roofs, the proposals will not impact on the biodiversity of the area.



INTRODUCTION

6 NUTLEY TERRACE : 2 FAMILY HOMES

WELCOME

Welcome to our public exhibition on the redevelopment of no.6 Nutley Terrace, Hampstead, to create 2 new family houses.

The purpose of the exhibition is to introduce you to the proposals and to seek your views. Feel free to discuss this with us if you have any queries or comments about any aspect of the scheme.

The site is located at the eastern end of Nutley Terrace, between Fitzjohns Avenue and Daleham Gardens.

Currently the site accommodates a single family house with large rear garden.

The site falls within Fitzjohns Netherhall Conservation Area (map below, highlighted in orange) which is characterised by diverse architectural styles from traditional Arts & Crafts style semi-detached houses and Georgian houses to newly built modern homes.

The panorama below shows the site in its existing street context and the relationship with the adjacent houses.

A new driveway is to be provided to one of the new houses whilst the other house will be accessed by the existing driveway.



6.1 CONSULTATION WITH NEIGHBOURS

On 30th January 2012, some 60 households nearest to the site were invited to an evening presentation of the draft proposals, where they had the opportunity to view the plans, to ask questions and to provide feedback. In the case of two neighbours who wished to attend but were unable to, a separate presentation was held on 2nd February 2012.

A total of 12 individuals from 12 neighbouring households attended these two events and provided overwhelmingly positive feedback. A number of specific suggestions were incorporated into the design as a consequence."

■ Left and below: 3 panels presented to the neighbours

THE PROPOSAL

6 NUTLEY TERRACE : 2 FAMILY HOMES

The street elevation diagram illustrates the proposed massing, height, fenestration and style, in context with the adjacent properties.

The proposal reproduces the rhythmic A,B proportions on facades from No.4 Nutley Terrace, keeping parapet line, windows/ dormer window proportions and entrance porch locations in a similar way to No.4.



LANDSCAPING & GARDENS

6 NUTLEY TERRACE : 2 FAMILY HOMES

The proposal maintains large areas of soft landscape with diverse species of shrubs, plants, mature trees and water feature. This will benefit many kinds of small animals and improve the biodiversity of the area.

The Code for Sustainable Homes targets will ensure that the development incorporates a wide range of measures to minimise impact on the local environment both during and after construction, as well as providing dwellings which will incorporate sustainable benefits throughout its design.

Materials will be suitable to the neighbouring context, adopting a Neo Classic Style with redbricks and slate roofing.

Key aspects of the proposal will include dormer windows, timber sash windows, timber hardwood doors, cast stone entrance porch and brick details on the edges, parapet, cornice ect.

