



4.1 Response to Pre-application

SHH received a response via email from Camden Council officer Nanayaa Ampoma regarding the pre-application scheme (2015/0869). The points discussed are outlined below:

- "The proposed rear extension is likely to be acceptable."

The volume, style and form style have had minimal changes since the pre-application scheme.

- "The proposed alterations to the front gate is acceptable. However, unusually, please note that the area's conservation appraisal states that local street furniture and general materials (I.e paving stones, kerbs, boundary walls, boundary gates etc.) should also be protected as they are an important part of the whole character of the area. Therefore any works would need to ensure that these elements are replaced like for like or the originals are reused where possible. Should the application be submitted for male approval I would recommend that these concerns are reflected in your plans by way of identified materials."

All proposed materials are labelled on the the 200 series elevations accompanying this application.

- "Relocation of outbuilding likely to be supported."

The location of the summer house has remained in the same location since the pre-application scheme.

- "Basement is likely to be acceptable subject to the submission of a Basement Impact Assessment that passes the independent verification process. Please note that your client would be liable for the fees for the independent assessment which ranges from 2000-4000. The allocated officer would normally gain a few quotes and then your client would choose which company to use. There may be further follow up assessments as well for any additionally information required. This can extended the application process by 4 weeks."

The basement footprint has be slightly altered around the proposed plant room to avoid the root protection area of the neighbouring tree at 3 Wadham Gardens. Please see the accompanying "Arboricultural Impact Assessment" and architectural drawing "(680)020_PL01" for details. A basement impact assessment and ground movement analysis have both been carried out and accompany this application.

- "Plant room will require the submission of a noise assessment to show that any noise would not affect neighbouring properties or future occupants."

An acoustic report can be found accompanying this application.

- "The proposed alterations to the property's front elevation is not acceptable given that it is in a conservation area and there is no real benefit to the works in terms of the character of the property. The conservation team have also commented that the proposal would remove original window detailing/style, front entrance and general detailing at roof level. Therefore it would not respect what is there. In addition, the cumulative impact of all the proposed works would mean that much of the property was rebuilt. Some of the drawings show that there would be an alteration to the rear chimneys and that the roof would be raised. However as I spoke to you on site and you confirmed that one would be removed and the other would stay as it, I have assumed that one of the plans is just incorrect. Let me know if I am wrong."

"The conservation area statement refers to the development of Harley Road as being widely recognised as meeting the highest design standards in 1909. The property is part of what has been termed the Willett developments. The conservation appraisal states "the Willett development forms an important and unmistakeable group within the Conservation Area that cannot be understated.basement (p:21). The conservation appraisal highlights no.9 as a Positive Contributor (p:66). There is a strong presumption in favour of protecting those buildings that make a positive contribution to the area. In light of this we are unlikely to support the proposed works."

As per the comments above, the changes proposed to create 'hexagonal' front bays and the rearrangement of the first floor windows have been removed from this application. The proposed minor changes to the 'sharp' entrance portico and the second floor dormer have remained in this application and these elements have adopted curved features to soften the overall front facade. Please refer to the 'Design Approach' page of this document for further details. No changes are proposed to the existing chimneys.

- "Please note that it is likely that as the new gate entrance would be altered and a new crossover required, the Highways team may require your client to pay for another crossover fee."

The proposed vehicle entrance will make use of the existing crossover that extends the full width of the front boundary between the two existing street trees.

4.2 Proposal - Site

The application proposes to rationalise the rear extension of the property whilst adding an additional lower ground floor/basement level located toward the rear of the site. As the character of the original Willet development is still evident in the front facade, limited cosmetic alternations are proposed to emphasise this character rather than to transform it.

To avoid potential collisions with the existing tree street, vehicle access to the site is now located on the opposite side of the Harley Road on the site's south western corner. This new entrance will take advantage of the existing crossover already available in this location. The proposed boundary fence has added some softer materials such as treated cedar timber to break up the heavily masonry material palette that dominates the front elevation of the house.

The single storey rear extension deliberate modest design aims to compliment the features of the existing building whilst acknowledging its place as subservient to the main structure. As opposed to the large roof form of the current conservatory, the flat, green roof sits more appropriately in its garden sitting. A light well is also proposed to create a visual gap between the building's "new and old" elements to emphasise its role as a later addition to the property and allow additional daylight into the lower floor.

The basement addition will take advantage of the detached nature of the building and make best use of site large area to the rear of the site. The footprint of the basement will be located underneath the proposed extension and not underneath the building's original main structure. A light well will run parallel to the proposed terrace which will provide both light and access into the lower level.



Figure 4.2.1: Proposed street elevation (NTS)

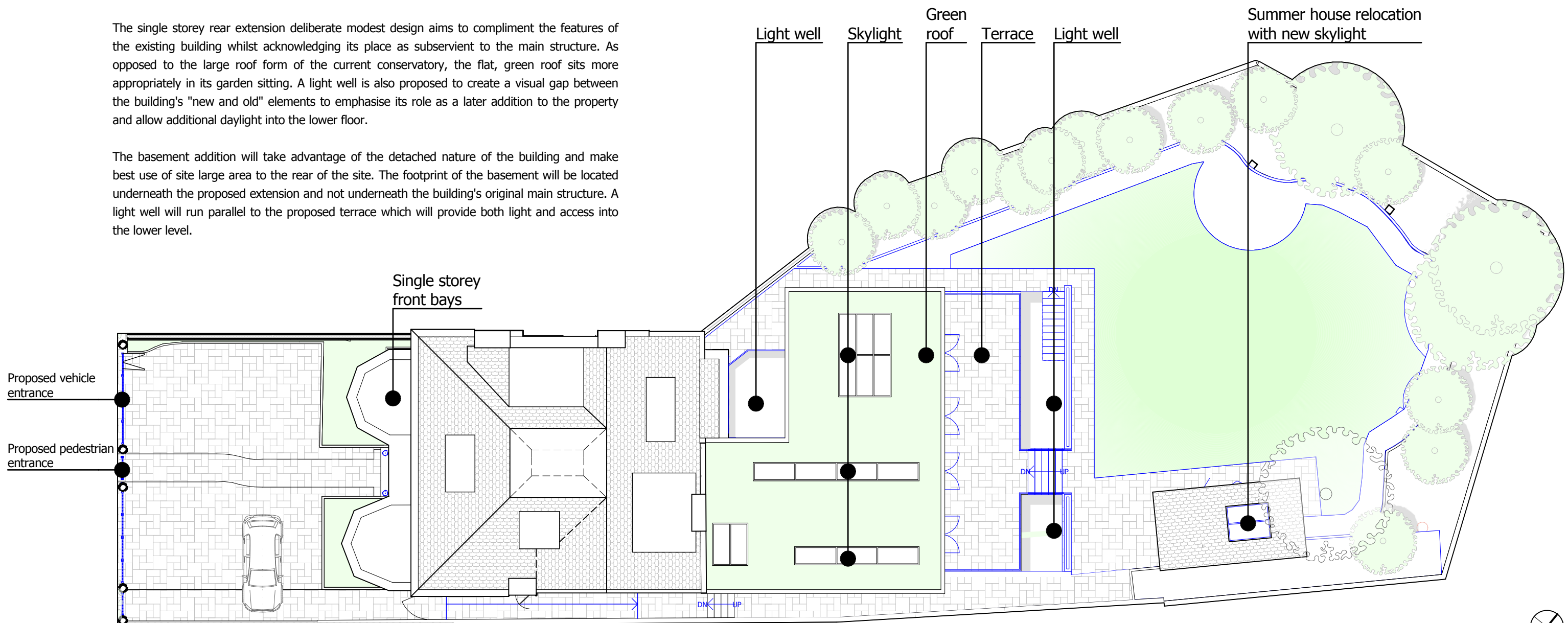


Figure 4.2.2: Proposed site plan (NTS)



4.3 Proposal - Design

The design approach to the existing building seek to subtly enhance the original Willet design and re-correct the extensions and changes that have been made to the property since its completion. The proportions and massing of the front facade will remain relatively untouched while the extensions at the rear of the property will be rationalised and to be in more in keeping with the style of the existing house.

The current triangular pediment that sits atop the current front entrance is sharp and at odds with the facade's other features. Curved elements therefore have been introduced in both the entrance portico and the first floor dormer are proposed to soften the street elevation and reaffirm the identity of the family home. The style and detail of the minor alterations is to be of similar design and proportion of examples found in the adjacent Wadham Gardens. The front boundary fence has been redesigned with a softer material palette to again further soften the street elevation.

The mixture of pitched and flat roofs used on the rear extensions lacks a coherent language and are as a result of a number of extensions over the life of the building. The proposed replacement is a green, flat roof extension made in similar brickwork that provides a more appropriate response to the main house. The flat roof now does not clash or compete with the primary gable roof of the building and aims to reinforce the subservient role of the rear extension. Its darker brickwork and modern use of glazing also clearly distinguishing itself as a later addition to the house whilst also maintain a relationship with it through its choice of materials.



Figure 4.3.2: Rendered view of rear extension



Figure 4.3.1: Existing fence at 11 Wadham Gardens



Figure 4.3.3: Rendered view of proposed street fence



4.4 Proposal - Ground Floor

The ground floor hosts both the formal and family living areas of No 9 Harley Road. The major works to the ground floor occur towards the rear of the floor however some minor alterations occur within the original house to allow greater circulation on the floor.

As the entrance portico has been extended, the front door has also been brought forward to allow for greater internal space for the hallway. Various doors have also been removed in the hallway to allow for easier movement through to the floors living areas. Double doors have been introduced into the reception room and study as is appropriate for the grandeur and hierarchy of these spaces.

The lack of light that enters the formal dining room has now been addressed with the addition of a light well between the formal dining and the proposed living area. This visual gap also helps to emphasise the rear extension as a later addition to the building. The small kitchen has been moved further into the open plan extension as is appropriate for its use and the living and dining areas are now centred around it. In the existing kitchen's place is a boot room and additional wet area that takes accommodates the proposed side entrance to the home.

The rear extension houses the primary family uses with an open plan layout proposed for greater circulation and visual connections. The kitchen, living and dining areas can all spill out onto the proposed terrace which takes full advantage of the site's large garden. The living room in particular benefits from both views to the garden and additional light created by the proposed light well. Access to the lower ground floor/basement addition is located in the rear extension and away from the existing circulation stair. This is to encourage connectivity between the main hub of the home and uses below and to also emphasise the floor as a later addition to the house by separating the existing staircase from the proposed.

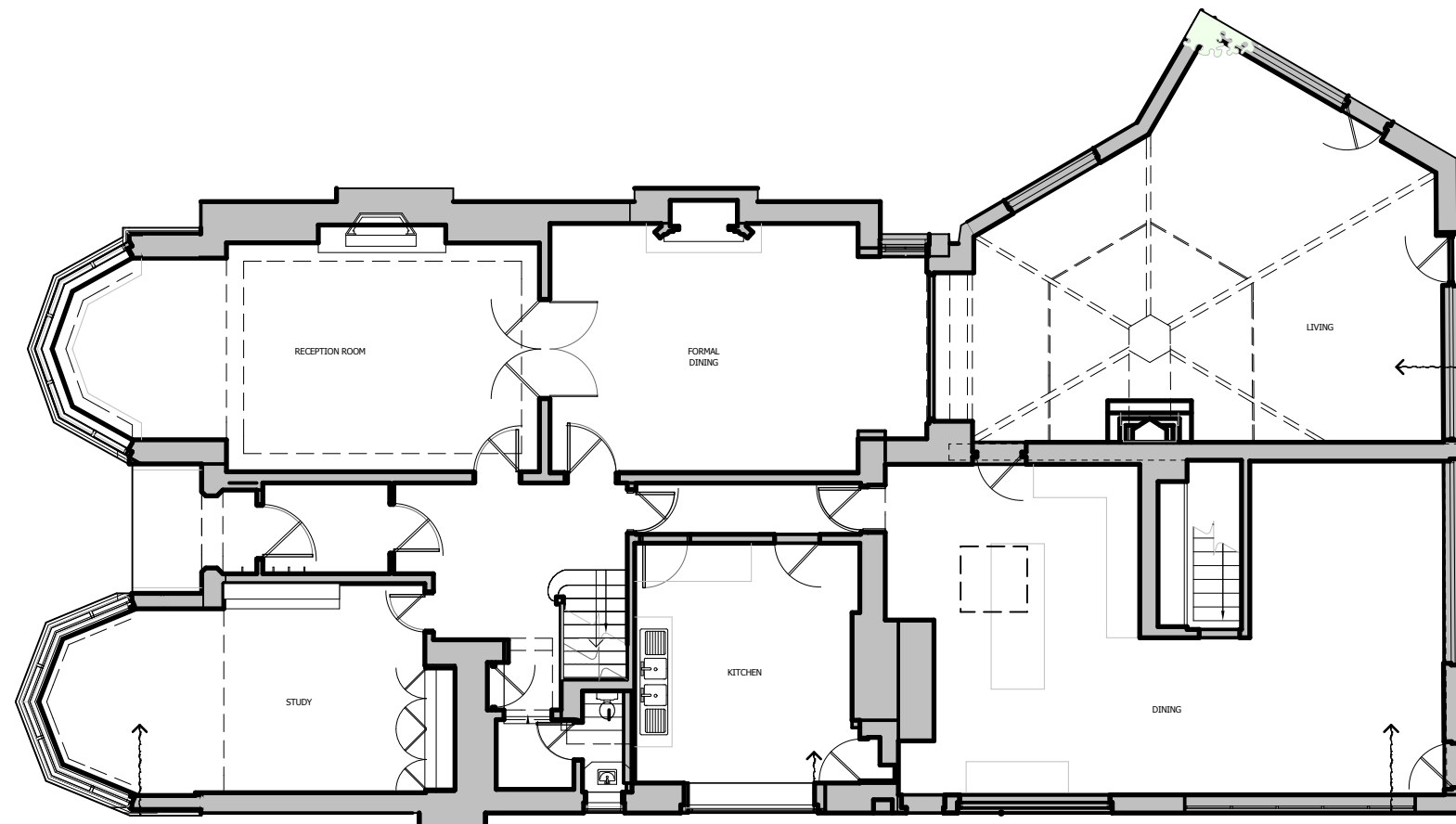


Figure 4.4.1: Existing plan of Ground Floor (NTS)

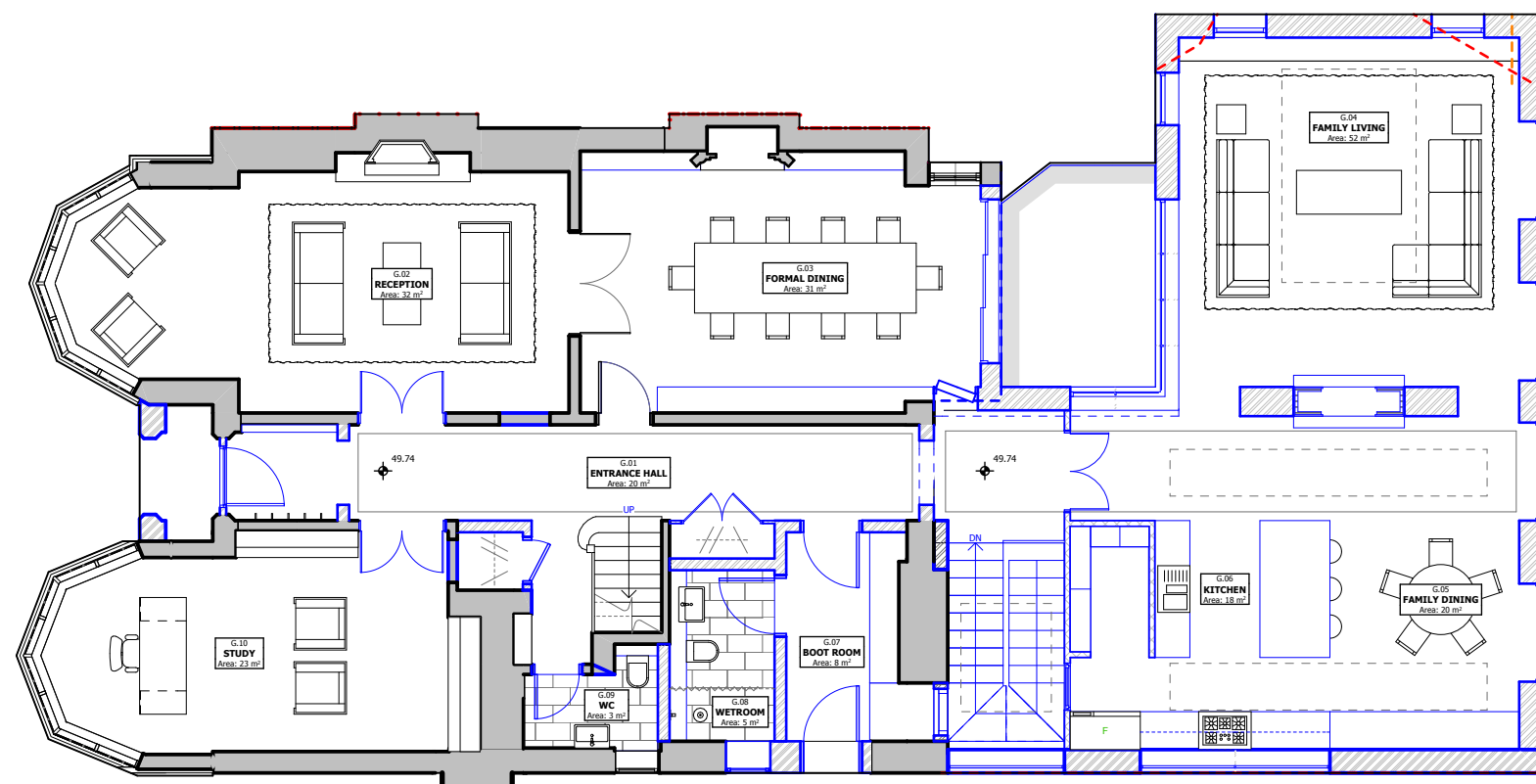


Figure 4.4.2: Proposed plan of Ground Floor (NTS)





4.5 Proposal - Lower Ground Floor

The lower ground floor host the leisure and additional sleeping accommodation for the home. The uses include a guest bedroom, utility room, games room and gym with ancillary facilities.

Access to the floor will be separate from the existing vertical circulation of the building to emphasise the floor as a later addition to the original building. The entrance from the stair is adjacent to the proposed light well that allows for large amounts of daylight into the proposed guest room. Further towards the garden there is an additional light well that runs parallel against the full width of the proposed extension. This light well provides heavy light and heat into the play room and gym as well as ventilation access for the proposed plant room.

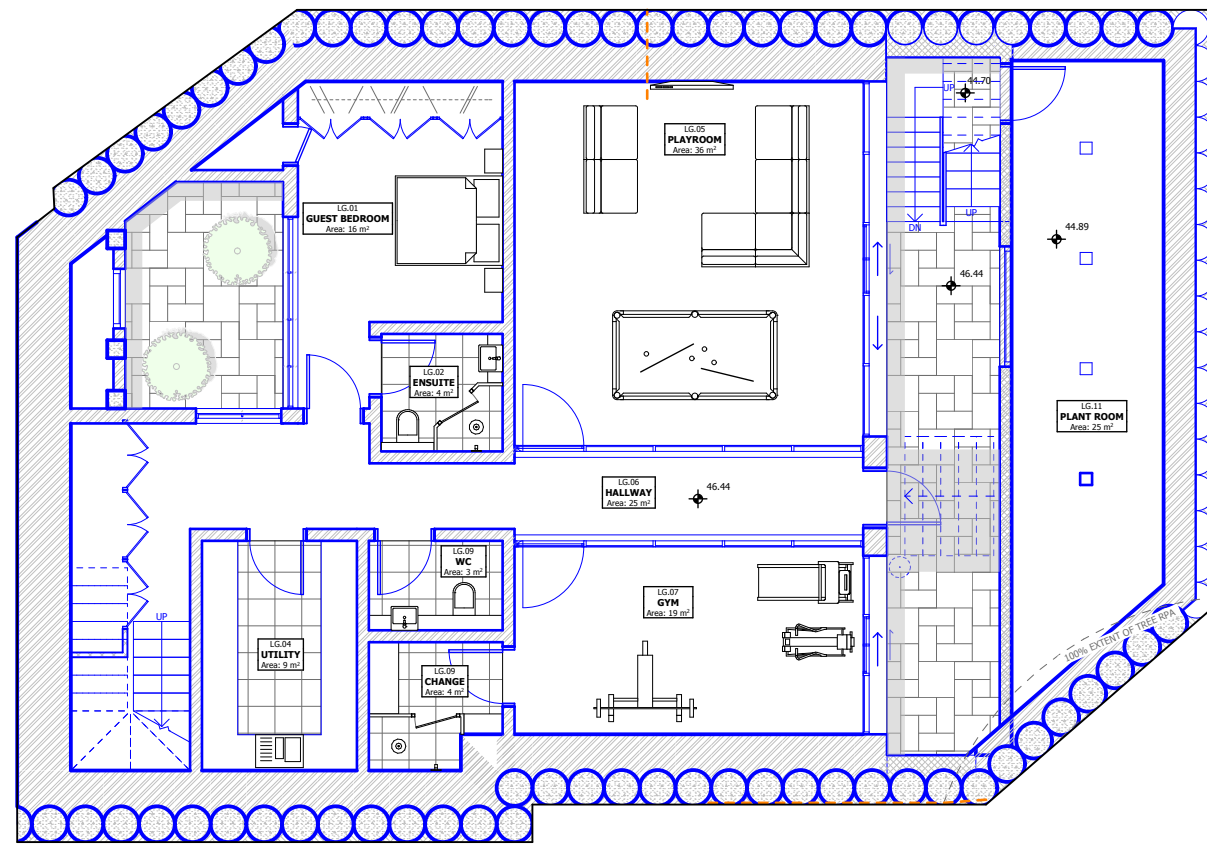
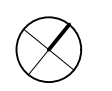


Figure 4.5.1: Proposed plan of Lower Ground Floor (NTS)





4.6 Proposal - First Floor

The first floor hosts the primary sleeping accommodation for the home. The major works to the rear of the site have dictated the rearrangement of the rooms on this floor with the master suite moving towards the front of the house.

The loss of the terrace and its replacement with a green roof allowed the adjacent master suite to be relocated to a larger area of the floor with direct access to the terrace no longer required. The terrace's removal also eliminates the potential overlooking issues into the private garden of 3 Wadham Gardens.

The rearrangement allows for each bedroom to achieve larger spaces with the common area of the hallway is reduced.

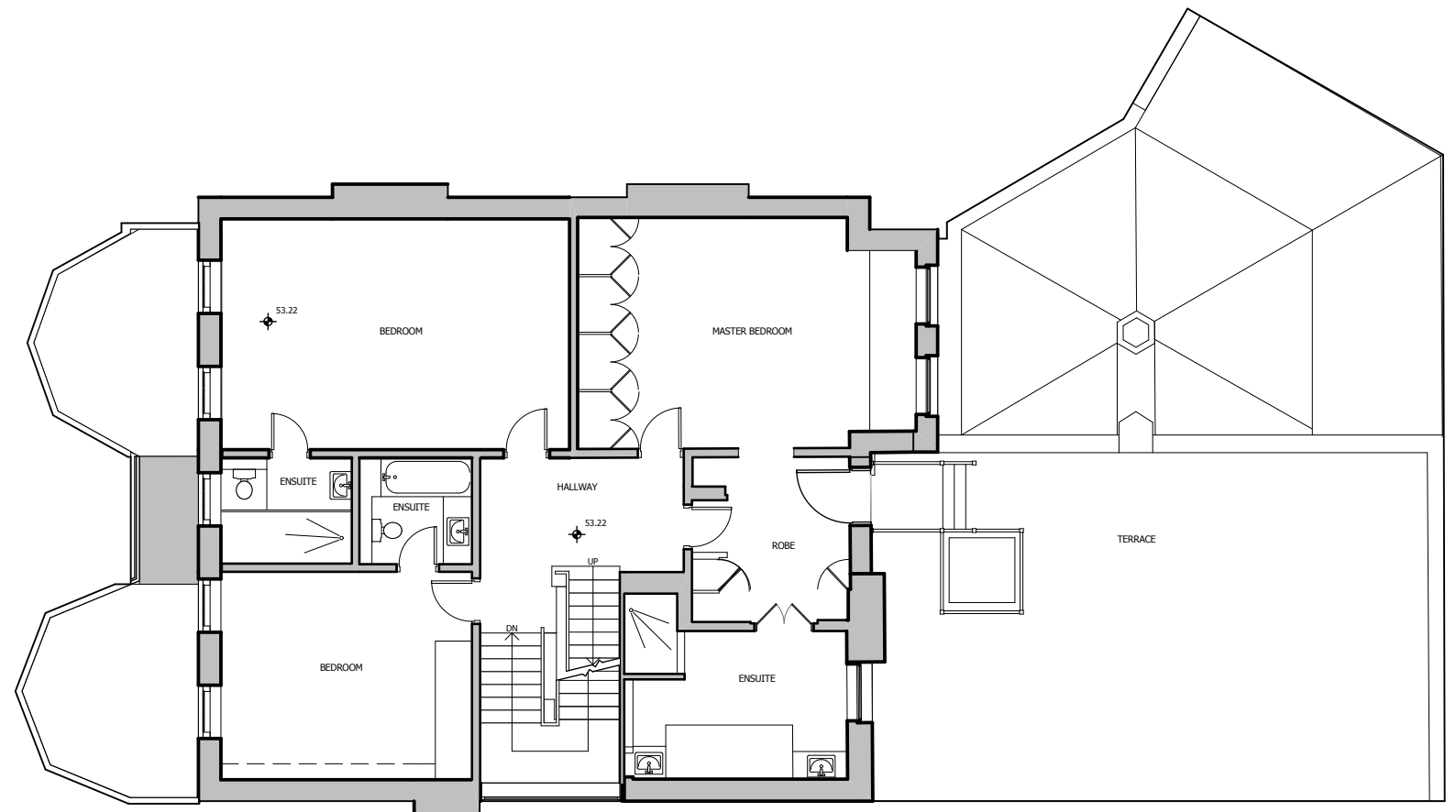


Figure 4.6.1: Existing plan of First Floor (NTS)

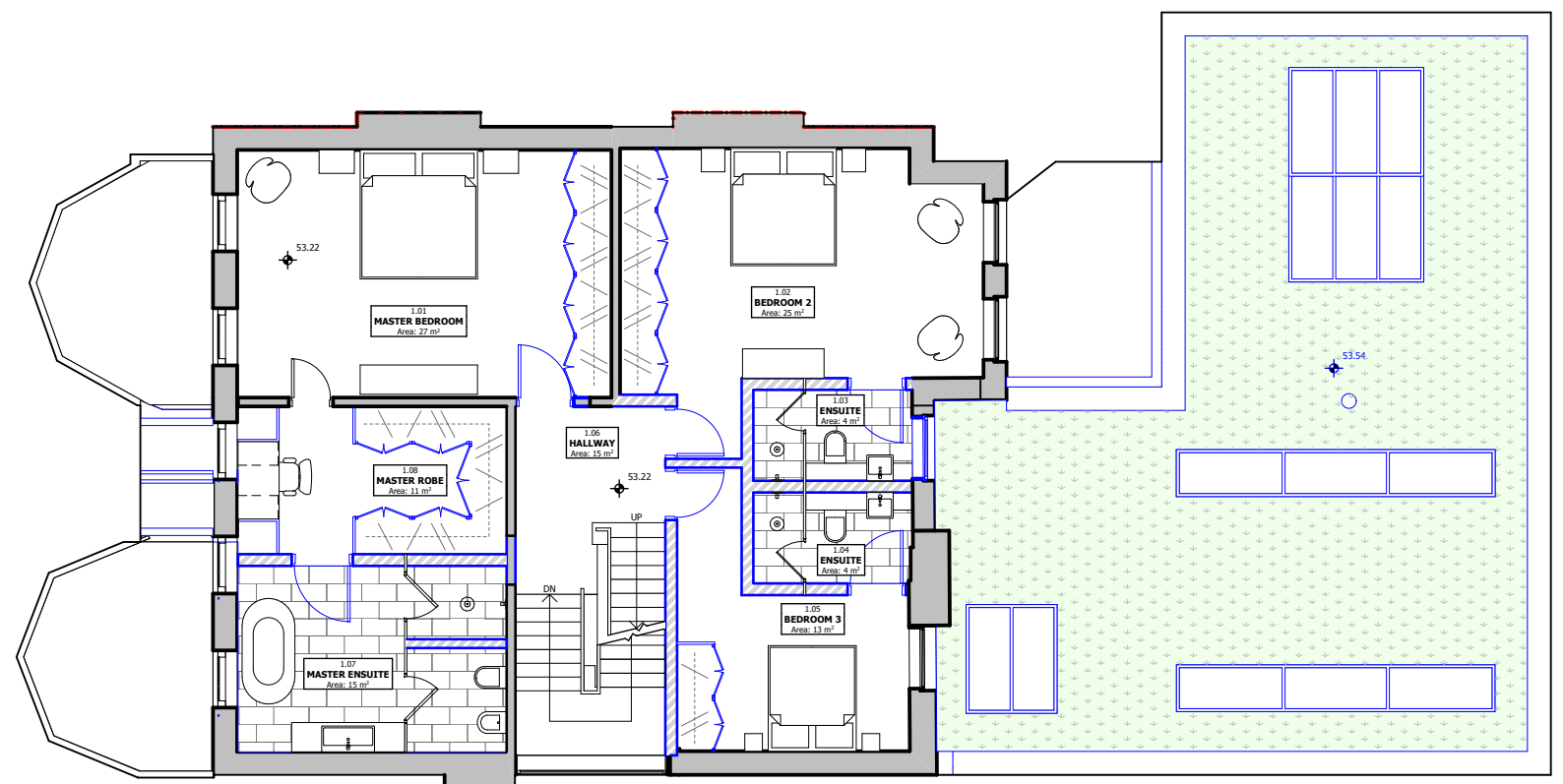


Figure 4.6.2: Proposed plan of First Floor (NTS)





5.1 Access Statement

The site is well located in relation to a range of public transport options. It is within comfortable walking distance of Swiss Cottage (c.500m), St. John's Wood (c.800m) and Chalk Farm Underground Stations (c.1.15km). Seven bus services also pass in the vicinity of the site on Finchley Road and Adelaide Road.

Existing vehicle access will change from entry on the site's southern corner to the opposite end of the street elevation on the site's western corner. This change takes advantage of an existing cross-over located on the sites western corner and also moves further away from the significant tree adjacent to the existing vehicle entrance.

The existing pedestrian entry at the centre of the street elevation will remain in its current location. A path will be clearly distinguished within the property to delineate this as a pedestrian walkway. A side gate has been introduced on the site's southern corner and will provide access to the side and rear of the property.



Figure 5.1.1: Map showing transport links from 9 Harley Road



6.1 Conclusion

After consultation with Camden council through a pre-application, we believe our proposed changes to the existing family home at No. 9 Harley Road improve the standard of living for current occupiers and enhance and maintain the building's contribution to the Elsworthy Conservation Area.

After respecting the advice given from Camden Council in regards to the proposed changes to the front facade we believe the reduced scope of alterations have been a fair compromise between the local authority and the current family tenants that has now produced the most appropriate response for the application.

All requested documentation accompanies this application, including a;

- Basement impact assessment produced by SAS Analytical Services,
- Ground movement analysis produced by SAS Analytical Services,
- Structural method statement produced by engineersHRW
- Renewable Energy Statement and Sustainability Report produced by ME7
- Drainage, Cooling and Ventilation layouts produced by ME7
- Construction Management Plan produced by Construction Management Associates
- Arboricultural Impact Assessment Report produced by Landmark Trees.

In summary, the proposed alterations to No. 9 Harley Road are an appropriate response to improve all aspects of the building and its broader context and the sensitivity in which it has been approached has been with both the immediate neighbours and the wider community in mind.