

**6-10 CAMBRIDGE TERRACE
AND 1 & 2 CHESTER GATE**
REGENTS PARK. LONDON. NW1

Design and Access Statement to accompany
a Section 96A Planning and a LBC Application
for

Non-material amendments to the layouts of
extant approvals ref:

2015/1340/P

and

2015/1817/L



Prepared by Moxley Architects Ltd.
for
Project Quad Ltd.

November 2015



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N.B. The numbers of the drawings for determination are shown on the drawing schedule attached at the beginning of the appendix. Generally, the drawing numbers are the same as the approved drawings but with the revision suffix amended to reflect the amendments.

Appendix 02: Sustainability Plan, prepared by Abba Energy Limited.

1.0 EXECUTIVE SUMMARY:

1.01 This application seeks to make non-material amendments to the approved plans for the buildings at 6-10 Cambridge Terrace and 1-2 Chester Gate, London NW1. The proposals relate to the previously approved (and implemented) planning and listed building consents for 6-10 Cambridge Terrace and 1-2 Chester Gate, London NW1.

1.02 The original approvals for these properties are referenced -

Planning	2009/3041/P
Listed Building Consent	2009/3051/L

There have however been subsequent amendments to these approvals that have taken into consideration amendments to the layouts. These amendments are approved, subject to completion of a Deed of Variation to the Section 106 agreement, under references -

Planning (Section 73)	2015/1340/P
Listed Building Consent	2015/1817/L

There is also an application that has been lodged with Camden for amendments to existing vaults that has as yet to be determined. That application has references 2015/5171/P and 2015/6037/L.

1.03 The extant approvals show the site as three residential units, namely -

- a. 6-10 Cambridge Terrace.
- b. 1 Chester Gate.
- c. 2 Chester Gate.

The amendments proposed in this application is to reconfigure these three units as -

- a. 6-8 Cambridge Terrace.
- b. 9 and 10 Cambridge Terrace and 1 Chester Gate.
- c. 2 Chester Gate.

1.04 This application is submitted under Section 96A of the 1990 Planning Act for non-material amendments to the extant approvals. Due to the Grade I listing of the buildings at 6-10 Cambridge Terrace and the Grade II listing of 1-2 Chester Gate, a Listed Building Consent application is also submitted.

1.05 Details of the proposed amendments are given in Section 4.00 and the existing, previously approved and proposed drawings are attached at Appendix 01.

1.06 In assessing the content of this application it must be remembered that the majority of 6-10 Cambridge Terrace is not original material but is in fact rebuilt, concrete framed construction dating from 1986 built as open plan office space.

1.07 Separate information covering planning, heritage, sustainability and energy issues are attached to the application material as individual documents or as appendices to this document.



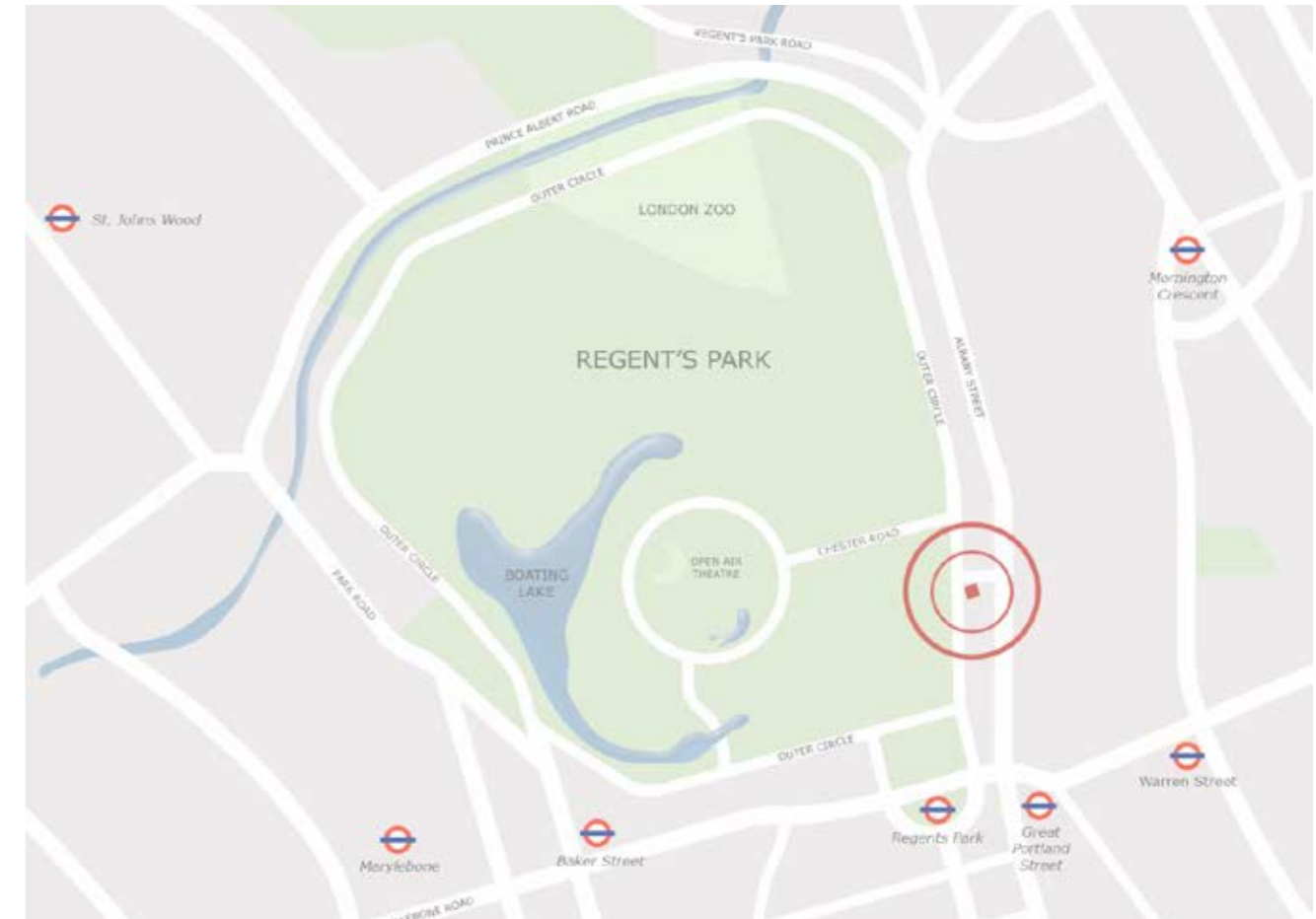
View of Cambridge Terrace looking South-East



View of corner of Cambridge Terrace & Chester Gate

2.0 INTRODUCTION:

- 2.01 This Design and Access Statement has been prepared to provide officers with an insight into the design processes that have been undertaken in the preparation of an application for non-material amendments, under Section 96A of the Planning Act and for listed building consent for amendments to the layouts of 6-10 Cambridge Terrace and 1 and 2 Chester Gate, London NW1.
- 2.02 The format of this statement generally follows that suggested in CABE's Design and Access Statement Guidelines, 2006.
- 2.03 This application is concerned with internal layout amendments of the approved plans to accommodate the reconfiguration of the units into 6-8 Cambridge Terrace, 9 and 10 Cambridge Terrace and 1 Chester Gate and 2 Chester Gate.
- 2.04 Section 4.00 of this document gives a brief outline of the proposals on a floor by floor basis.
- 2.05 The design team are:
- | | |
|------------------------|--------------------------------|
| Project Quad Ltd. | Client / developer. |
| Moxley Architects Ltd. | Architect and lead consultant. |
| Montagu Evans LLP | Planning consultant. |
| Montagu Evans LLP | Historic buildings analysis. |
| ChapmanBDSP | M&E and sustainability. |
| Abba Energy | EcoHomes assessment. |
- 2.06 Each of the above consultant's input to the proposals is described in outline within the main body of this statement. Attached, as appendices to the statement or as stand alone documents are reports from each consultant giving specific details, drawings and other relevant information pertinent to their discipline in relation to this application.



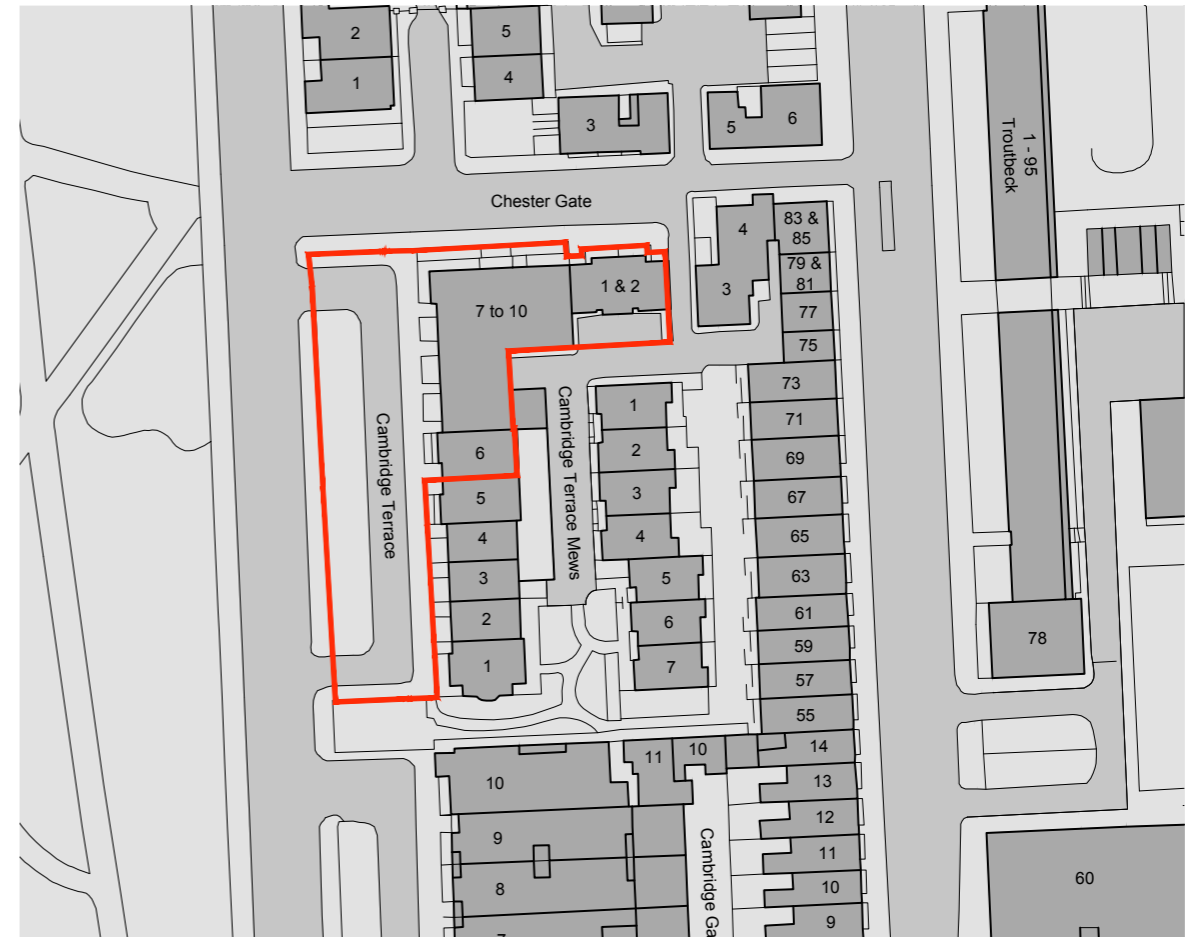
Location Map



Aerial photograph

3.0 SITE CONTEXT:

- 3.01 The site is located to the south east side of Regent's Park within the London Borough of Camden and is within the designated Regent's Park Conservation Area and the Camden Electoral Ward of the same name - Regent's Park.
- 3.02 6-10 Cambridge Terrace are Grade I Listed by virtue of their group value with other Nash buildings facing Regent's Park and 1&2 Chester Gate are listed Grade II.
- 3.03 The original 1-10 Cambridge Terrace and 1-2 Chester Gate were constructed circa 1826. However, World War II bomb damage and a subsequent fire in 1947 resulted in 7 to 10 Cambridge Terrace being lost. These buildings together with the remnants of no 6 Cambridge Terrace were left derelict for many years until they were re-built some 39 years later in 1986 with a piled concrete frame behind replica Nash facades.
- 3.04 The remainder of Cambridge Terrace – no's 1 to 5, are original 1826 fabric and are in residential use in lateral apartment format.
- 3.05 The buildings form an 'L' shaped plan with 6-10 Cambridge Terrace orientated north / south and 1-2 Chester Gate east west. The principal façade of 6-10 Cambridge Terrace faces due west towards Regent's Park and 1-2 Chester Gate due north.
- 3.06 The site location plan, at right, shows the red line that encompasses the extent of the application site. For clarification whilst not a planning issue, areas within this line form part of the Crown Estate.
- 3.07 Should it be required, the Heritage Assessment prepared by Montagu Evans that accompanied the original application gives further details of the historic background and development of the site.



OS plan showing site location



Aerial view showing corner of Cambridge Terrace and Chester Gate

4.0 DESIGN RATIONALE:

4.00 Core Objectives:

4.01 To reconfigure the three units of the extant approvals from -

- a. 6-10 Cambridge Terrace.
- b. 1 Chester Gate.
- c. 2 Chester Gate.

To -

- a. 6-8 Cambridge Terrace.
- b. 9 and 10 Cambridge Terrace and 1 Chester Gate.
- c. 2 Chester Gate.

The description of the various properties for this section of the design and access statement have for ease, been referred to as 6-8CT, 9/10CT+1CG and 2CG. Where amendments are proposed to individual properties these are annotated as 6CT, 1CG, etc.

4.02 The above reconfiguration is required to meet the aspirations and needs of the new owner of the site.

4.03 The amendments proposed in this application will not affect the schemes ability to achieve the overall sustainability targets imposed by the planning permissions S106.

4.04 Below we have given a brief outline, on a floor by floor basis, of the proposed non-material amendments and where appropriate, considered these against the approved and implemented scheme. The notes cover the salient points only. Reference to the approved and proposed plans should be made for a more detailed analysis of the proposals.

4.05 To assist we have shown by coloured shading to walls, etc., where amendments to the plans have occurred.

4.06 Plant enclosure level:
(refer approved drawing no. 6392-2.920)

4.07 No amendments proposed to the approved plans for this level.

4.08 Proposed non-material amendments to the approved basement plan:
(refer approved drawing no. 6392-2.001A)

4.09 No amendments proposed to the approved plans for this level.

4.10 Proposed non-material amendments to the approved lower ground floor plan:
(refer approved drawing no. 6392-2.002B and proposed drawing no. 6392-2.002C)

4.11 The proposed drawing highlights the location of the recently discovered vaults that are the subject of a separate application that is shortly to be determined. This application has references 2015/6037/L and 2015/5171/P.

4.12 9CT - dumb waiter added to the well of the approved back of house stair. Runs from lower ground to 2nd floor.

4.13 10CT - kitchen and laundry room located to lightwell side on CG.

4.14 1CG - opening in wall between kitchen and dining room shown.

4.15 1CG - existing lift shaft restored and new lift car installed.

4.16 2CG - bedroom and ensuite replace kitchen (moved to ground floor).

4.17 Proposed non-material amendments to the approved ground floor plan:
(refer approved drawing no. 6392-2.003A and proposed drawing no. 6392-2.003B)

4.18 6CT - draught / security lobby added.

4.19 6CT - dining room and kitchen linked with pair of pocket doors and dumb waiter to first floor added.

4.20 7CT - existing entrance re-used and central stair and lift added.

4.21 9CT - approved link to 8CT replaced with larder to kitchen and wc added.

4.22 9CT - dumb waiter added to the well of the approved back of house stair. Runs from lower ground to 2nd floor.

4.23 Existing link door between 10CT and 1CG retained.

4.24 1CG - existing lift shaft restored and new lift car installed.

4.25 2CG - approved lift removed and rear infill area reconfigured.

4.26 Proposed non-material amendments to the approved first floor plan:
(refer approved drawing no. 6392-2.004A and proposed drawing no. 6392-2.004B)

4.27 6CT - kitchen, servery and dining room relocated to this level.

4.28 7CT - approved corridor replaced with stair and lift core for new unit.

4.29 9CT - approved link to 8CT incorporated in enlarged reception room.

4.30 9/10CT - dining, bar, wc and reception layout reconfigured.

4.31 9CT - dumb waiter added to the well of the approved back of house stair. Runs from lower ground to 2nd floor.

4.32 1CG - existing lift shaft restored and new lift car installed.

4.33 1CG - door off stair landing repositioned.

4.34 1CG - wc removed from rear infill.

4.35 2CG - approved lift removed and rear infill area reconfigured.

4.36 Proposed non-material amendments to the approved second floor plan:
(refer approved drawing no. 6392-2.005B and proposed drawing no. 6392-2.005C)

4.37 6CT - door opening through the party wall to 7CT repositioned.

4.38 7/8 CT - approved corridor through removed and new stair and lift core added.

4.39 9CT - approved link to 8CT incorporated in dressing room and study facilities.

4.40 9CT - dumb waiter added to the well of the approved back of house stair.

4.0 DESIGN RATIONALE: (Continued)

- 4.41 1CG - existing lift shaft restored and new lift car installed.
- 4.42 1CG - store configuration at stair landing reconfigured.
- 4.43 2CG - approved lift removed and rear infill area reconfigured.
- 4.44 Proposed non-material amendments to the approved third floor plan:**
(refer approved drawing no. 6392-2.006A and proposed drawing no. 6392-2.006B)
- 4.45 6CT - bedroom and ensuit layout reconfigured.
- 4.46 6CT - door opening through the party wall to 7CT repositioned.
- 4.47 7/8 CT - approved corridor through removed and new stair and lift core added.
- 4.48 9CT - approved link to 8CT replaced with additional storage space.
- 4.49 1CG - wc removed from rear infill.
- 4.50 1CG - existing lift shaft restored and new lift car installed.
- 4.51 2CG - approved lift removed and rear infill area reconfigured.
- 4.52 Proposed non-material amendments to the approved fourth floor plan:**
(refer approved drawing no. 6392-2.007A and proposed drawing no. 6392-2.007B)
- 4.53 6CT - space to front of building enlarged.
- 4.54 7CT - lift terminated at 3rd floor level and lift overrun incorporated in storage area.
- 4.55 7/8CT - approved decked and planted space replaced with stair and lift core and family accommodation.
- 4.56 10CT - cupboard added to stair landing.
- 4.57 Proposed non-material amendments to the approved roof plan:**
(refer approved drawing no. 6392-2.008A and proposed drawing no. 6392-2.008B)
- 4.58 6-8CT - approved large sliding rooflights to be replaced with two much smaller rooflights to suit the layout of the fourth floor (refer details above). The proposal has heritage benefits in that the extent of the original lead roof (excluding mansards) is increased and the percentage of rooflight reduced considerably from circa 46% of the roof to 6-8CT to 9%. (approx. five times less glazed area than approved).
- 4.59 9CT - the approved lift over run is now smaller by approx. 16% and also repositioned slightly closer to the run of chimney stacks therefore making it less visible from all areas. N.B. the approved over run has been shown with a broken line for ease of reference.
- 4.60 10CT - approved circular rooflight replaced with rectangular rooflight and repositioned on center line of north elevation to suit revised layout of fourth floor.
- 4.61 Roofs generally - all notes relating to services on approved drawing 639-2.008A, apply to the proposed drawing 639-2.008B.

5.0 SUSTAINABILITY:

5.01 SUSTAINABILITY:

This section considers the sustainability aspects of the proposed development in relation to the existing Section 106 targets:

- A minimum EcoHomes rating of Very Good or Excellent;
- Within the EcoHomes 'Energy' category, score at least 25% of the credits and use reasonable endeavours to attain 60%;
- Within the EcoHomes 'Water' category, use reasonable endeavours to attain 60% of the credits;
- Within the EcoHomes 'Materials' Category, score at least 70% of the credits;
- Target a reduction in carbon energy emissions by 33% through use of combined heat & power (CHP) and other approved initiatives

Preliminary design stage analysis confirms that the targets are achievable and will be demonstrated by post construction EcoHomes assessments.

5.02 ECOHOMES:

Attached at Appendix 02 is a report from Abba Energy Ltd that gives details of the 'Sustainability Plan', including :

- The routes to compliance for all three properties in the development, with the overall target of EcoHomes Very Good and associated Planning targets;
- EcoHomes preliminary report.
- Compliance matrix.
- Flood risk and surface water run off report.
- Ecology report.

5.03 CARBON DIOXIDE (CO₂) EMISSIONS ASSESSMENT:

This section describes the methodology used to evaluate the carbon dioxide (CO₂) emissions reductions proposed by the development.

CO₂ emissions are assessed using the Building Research Establishment (BRE) Standard Assessment Procedure (SAP) tool.

SAP 2005 is used to model the units to demonstrate their contribution to the BRE EcoHomes Assessment Energy Category.

At least 60% of the credits in the Energy category are targeted for each individual unit.

SAP 2012 is used to demonstrate the CO₂ emissions reductions for each dwelling when compared to a notional base case derived using Part L and BRE guidance.

Each unit will target at least 33% reductions in CO₂ emissions by implementing appropriate energy efficiency measures.

The mix of energy efficiency measures proposed for each individual unit is unique and limited by feasibility and heritage.

Proposed mix of energy efficiency measures includes the following:

- Performance improvements to the existing thermal envelope.
- Completely new building services systems and controls.
- Air source heat pumps.
- Ground source heat pumps.
- Combined heat and power.
- Heat recovery ventilation systems.
- Energy efficient lighting.

5.04 PROPOSED BUILDING SERVICES SYSTEMS:

9-10 Cambridge Terrace + 1 Chester Gate:

A ground source system comprising vertical bore holes installed below basement level will provide for 100% of cooling demands and contribute to the heating demands through the use of a warm and cold thermal store. To support the ground source installation on the heating a micro CHP engine will be installed with thermal store. Gas fired condensing boilers will provide further top up during periods of peak demand associated with the domestic hot water system. Heating for the pool water and pool ventilation systems are derived from the ground source system. Ventilation systems include heat recovery.

6-8 Cambridge Terrace:

An air source heat pump will be provided with gas boiler back up for providing hot water and heating services. A VRF system will be installed to provide comfort cooling. MVHR units will be provided for ventilation.

2 Chester Gate:

An air source heat pump will be provided with gas boiler back up for providing hot water and heating services. A VRF system will be installed to provide comfort cooling. MVHR units will be provided for ventilation.

Appendix 01: Application Drawings:

SITE DRAWINGS

639-1.001	Site Location Plan	1:1250	A3
639-1.002	Existing Site Plan	1:500	A3
639-1.003	Proposed Site Plan	1:500	A3

GENERAL ARRANGEMENT DRAWINGS

Existing

6392-2.120	Existing Lower Ground Floor Plan	1:200	A3
6392-2.121	Existing Ground Floor Plan	1:200	A3
6392-2.122	Existing First Floor Floor Plan	1:200	A3
6392-2.123	Existing Second Floor Plan	1:200	A3
6392-2.124	Existing Third Floor Plan	1:200	A3
6392-2.125	Existing Fourth Floor Plan	1:200	A3
6392-2.126	Existing Roof Floor Plan	1:200	A3

Approved

6392-2.920	Approved Basement Plant Enclosure Plan	1:200	A3
639-2.001A	Approved Basement Plan	1:200	A3
639-2.002B	Approved Lower Ground Floor Plan	1:200	A3
639-2.003A	Approved Ground Floor Plan	1:200	A3
639-2.004A	Approved First Floor Plan	1:200	A3
639-2.005B	Approved Second Floor Plan	1:200	A3
639-2.006A	Approved Third Floor Plan	1:200	A3
639-2.007A	Approved Fourth Floor Plan	1:200	A3
639-2.008A	Approved Roof Plan	1:200	A3

Proposed (please note: these drawings supersede the approved drawings listed above)

639-2.002C	Proposed Lower Ground Floor Plan	1:200	A3
639-2.003B	Proposed Ground Floor Plan	1:200	A3
639-2.004B	Proposed First Floor Plan	1:200	A3
639-2.005C	Proposed Second Floor Plan	1:200	A3
639-2.006B	Proposed Third Floor Plan	1:200	A3
639-2.007B	Proposed Fourth Floor Plan	1:200	A3
639-2.008B	Proposed Roof Plan	1:200	A3

SECTIONS

Existing

6392-3.120	Existing Sections A-A	1:200	A3
6392-3.121	Existing Sections B-B	1:200	A3
6392-3.123	Existing Sections E-E	1:200	A3

Approved

639-3.001B	Approved Sections A-A	1:200	A3
639-3.002A	Approved Sections B-B	1:200	A3
639-3.005A	Approved Sections D-D	1:200	A3
639-3.006A	Approved Sections E-E	1:200	A3

Proposed (please note: these drawings supersede the approved drawings listed above)

639-3.001C	Proposed Sections A-A	1:200	A3
639-3.002B	Proposed Sections B-B	1:200	A3
639-3.005B	Proposed Sections D-D	1:200	A3
639-3.006B	Proposed Sections E-E	1:200	A3

ELEVATIONS

Existing

6392-4.010	Existing Cambridge Terrace Front Elevation	1:200	A3
6392-4.011	Existing Cambridge Terrace Rear Elevation	1:200	A3
6392-4.012	Existing Chester Gate Front Elevation	1:200	A3
6392-4.013	Existing Chester Gate Rear Elevation	1:200	A3

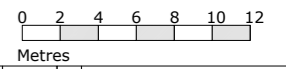
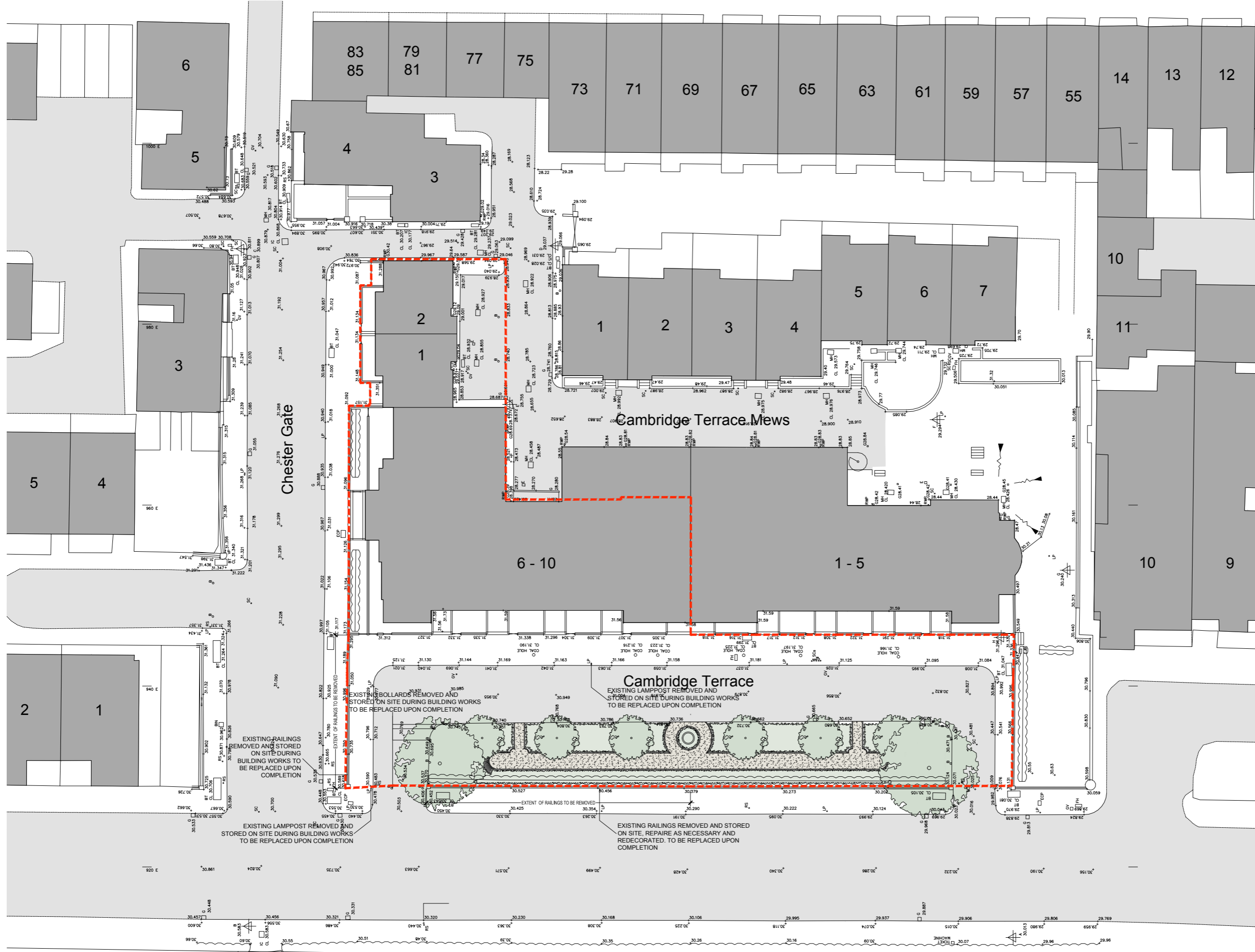
Approved

639-4.001	Approved Cambridge Terrace Front Elevation	1:200	A3
639-4.002	Approved Cambridge Terrace Rear Elevation	1:200	A3
639-4.003	Approved Chester Gate Front Elevation	1:200	A3
639-4.004	Approved Chester Gate Rear Elevation	1:200	A3

Proposed (please note: these drawings supersede the approved drawings listed above)

639-4.001A	Proposed Cambridge Terrace Front Elevation	1:200	A3
639-4.002A	Proposed Cambridge Terrace Rear Elevation	1:200	A3
639-4.003A	Proposed Chester Gate Front Elevation	1:200	A3
639-4.004A	Proposed Chester Gate Rear Elevation	1:200	A3

Site Drawings



No	Date	By	Comments

PLANNING	
Client: Project Quad Ltd	
Job: 6-10 Cambridge Terrace Regents Park London NW1	
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Date: Feb 2015	Drawn: Chkd:

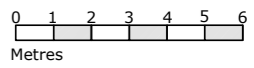
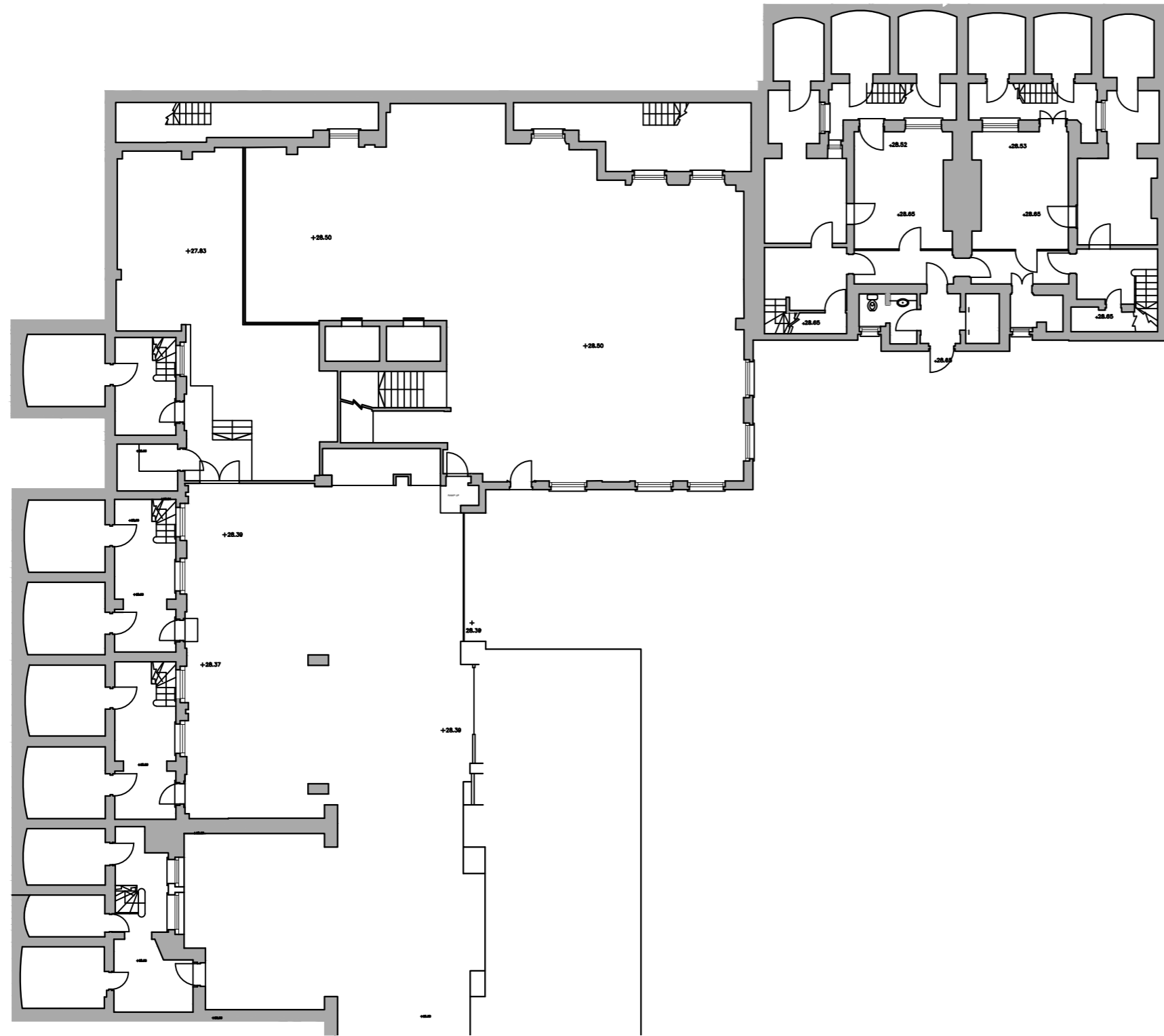
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Existing Plans



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Revision Notes

PLANNING

Client:
Project Quad Ltd

Job:
6-10 Cambridge Terrace
Regents Park
London NW1

Drawing Title:
LOWER GROUND
EXISTING

Scale: 1:100 @ A1 - 1:200 @ A3
Date: March 15 Drawn: Chkd:

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Job No: 6392 Drawing No: 2.120 Rev:

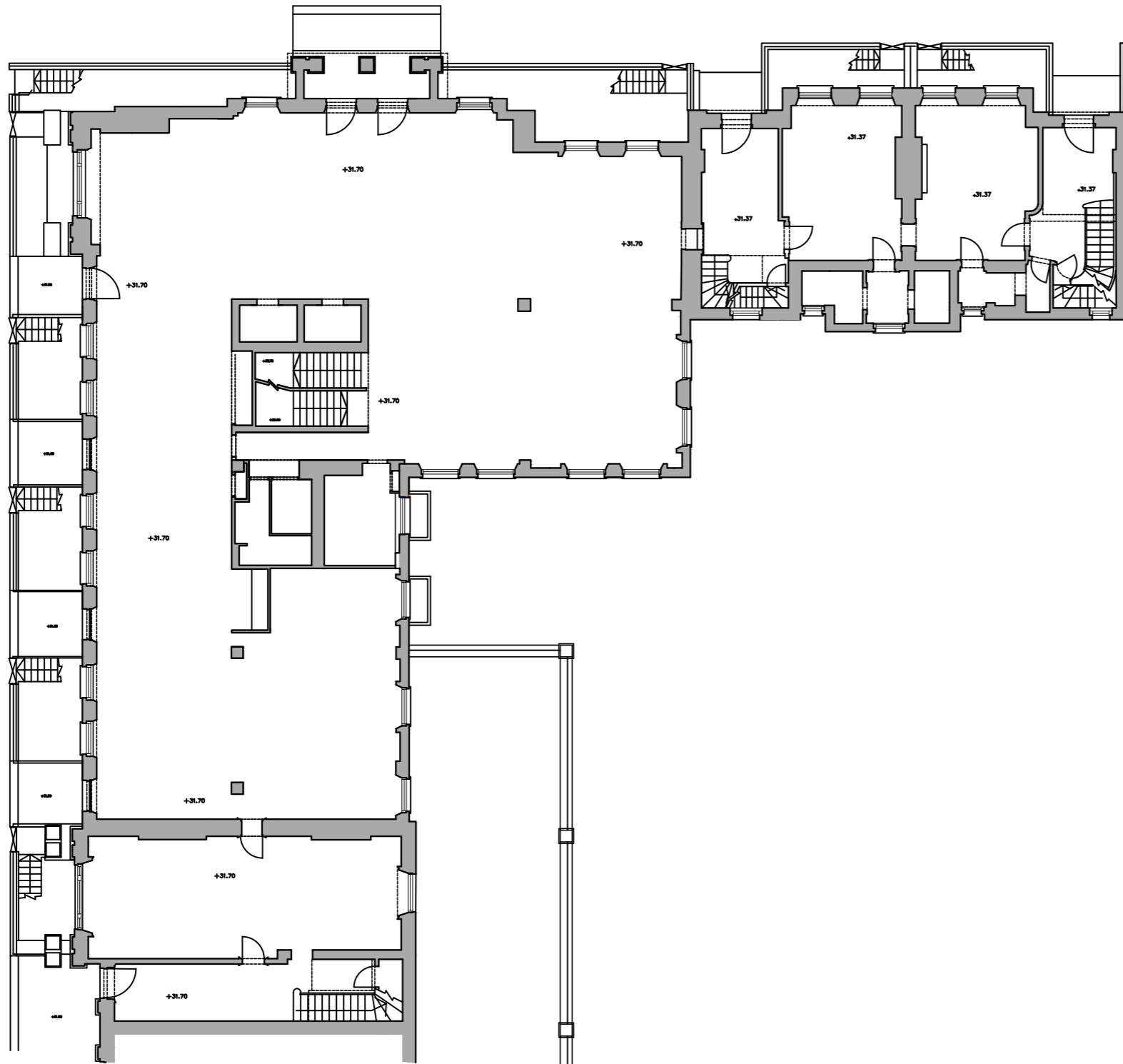
NB: This plan shows the building as existing
having now completed the internal
demolitions approved under:

2009/3041/P and 2009/3051/L



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No	Date	By	Comments

Revision Notes

PLANNING

Client:
Project Quad Ltd

Job:
6-10 Cambridge Terrace
Regents Park
London NW1

Drawing Title:
GROUND FLOOR
EXISTING

Scale: 1:100 @ A1 - 1:200 @ A3
Date: March 15 Drawn: Chkd:

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Job No: 6392 Drawing No: 2.121 Rev:

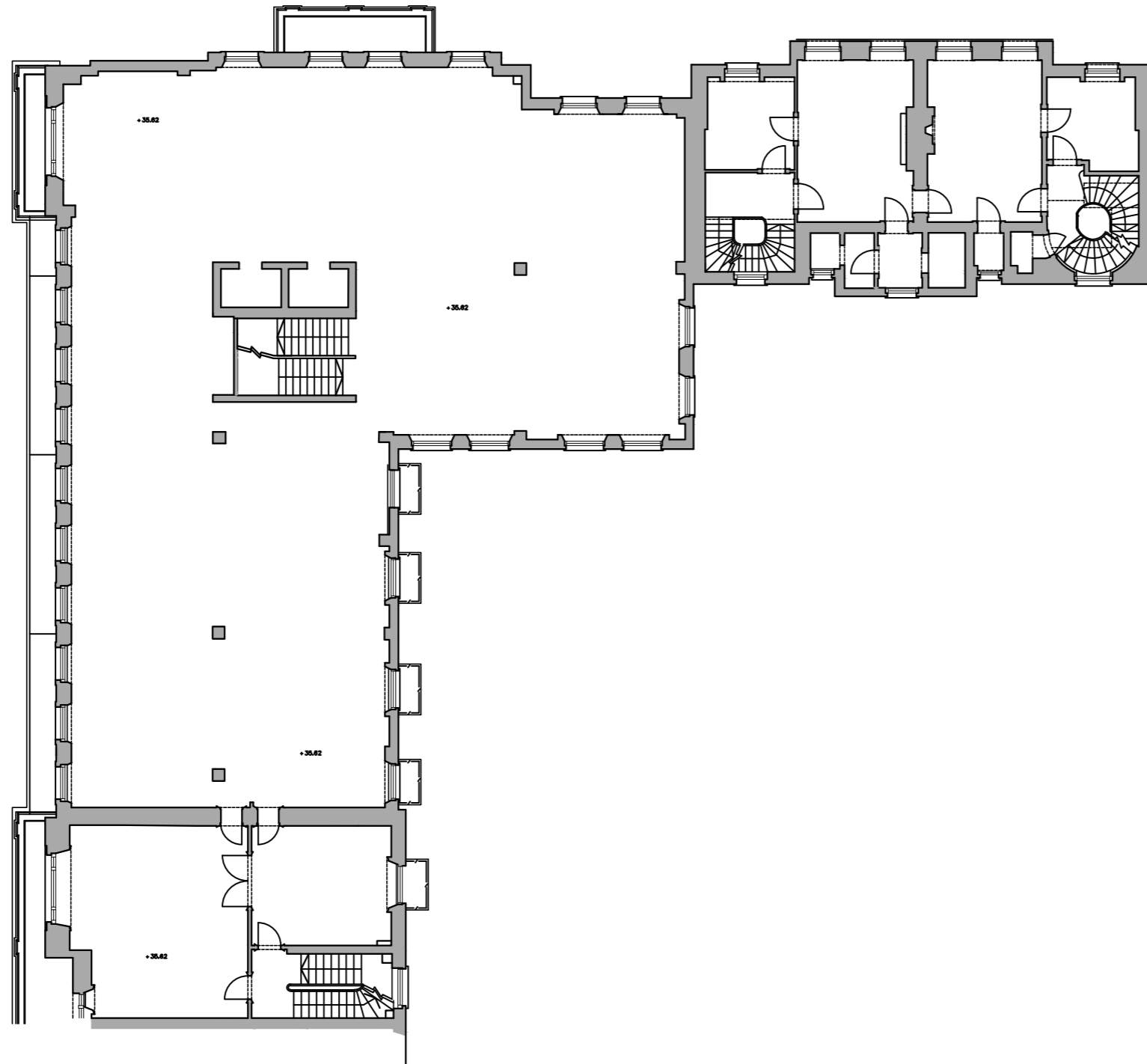
NB: This plan shows the building as existing
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demolitions approved under:

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THIS APPLICATION.



No	Date	By	Comments

Revision Notes

Status: **PLANNING**

Client:
Project Quad Ltd

Job:
6-10 Cambridge Terrace
Regents Park
London NW1

Drawing Title:
FIRST FLOOR
EXISTING

Scale: 1:100 @ A1 - 1:200 @ A3

Date: March 15 Drawn: Chkd:

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Job No: 6392 Drawing No: 2.122 Rev:

NB: This plan shows the building as existing
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Proposed Plans

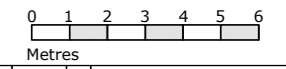
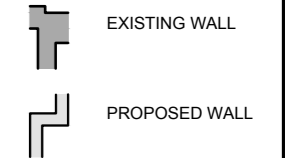
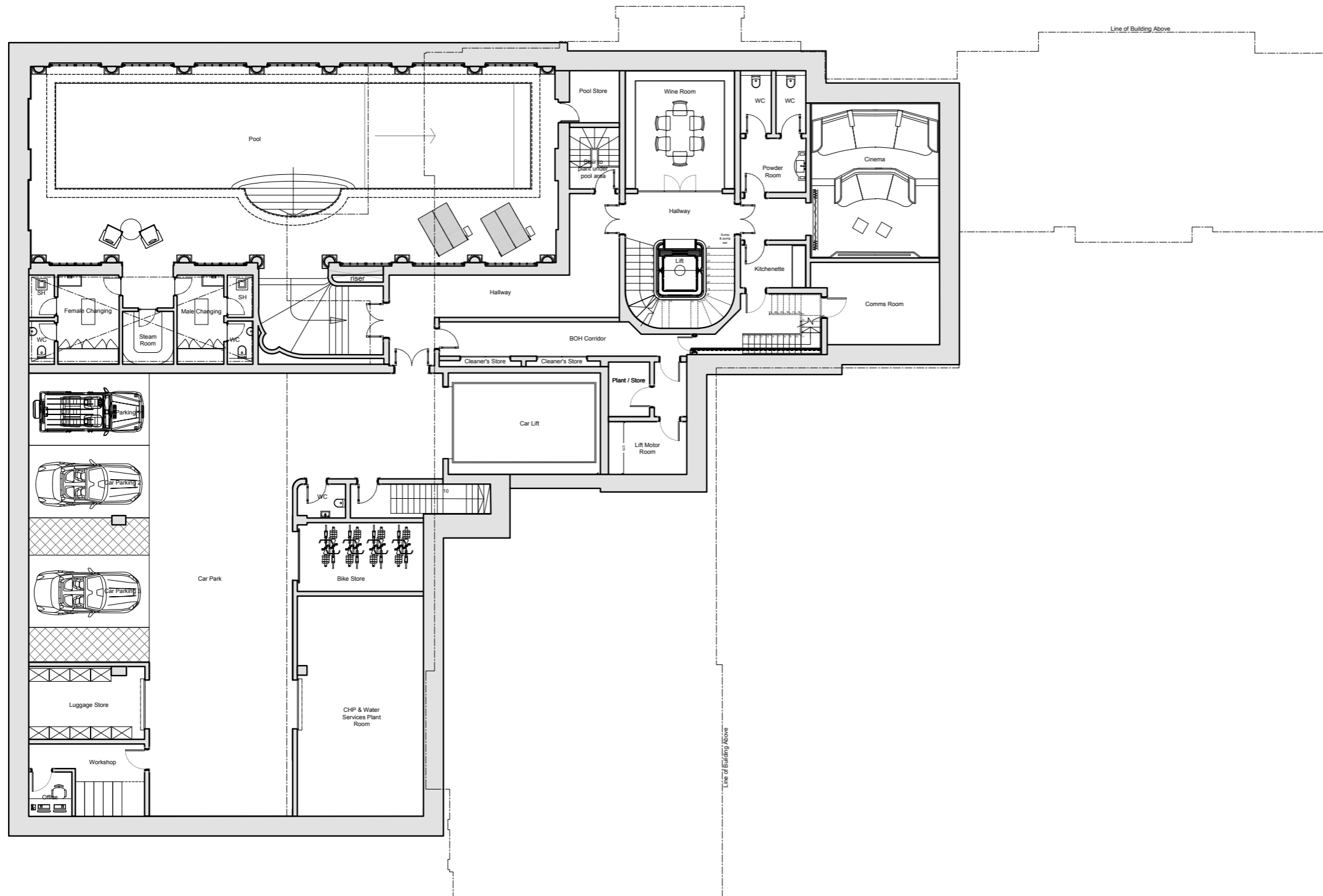
With comparison to the Approved Scheme

PLEASE NOTE: NO AMENDMENTS
MADE FROM PREVIOUS
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DOCUMENTS SUBMITTED WITH
THIS APPLICATION.



No	Date	By	Comments

Revision Notes	
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Job: 6-10 Cambridge Terrace Regents Park London NW1	
Drawing Title: BASEMENT PREVIOUSLY APPROVED	
Scale: 1:100 @ A1 - 1:200 @ A3	
Date: March 2015	Drawn: Chkd:

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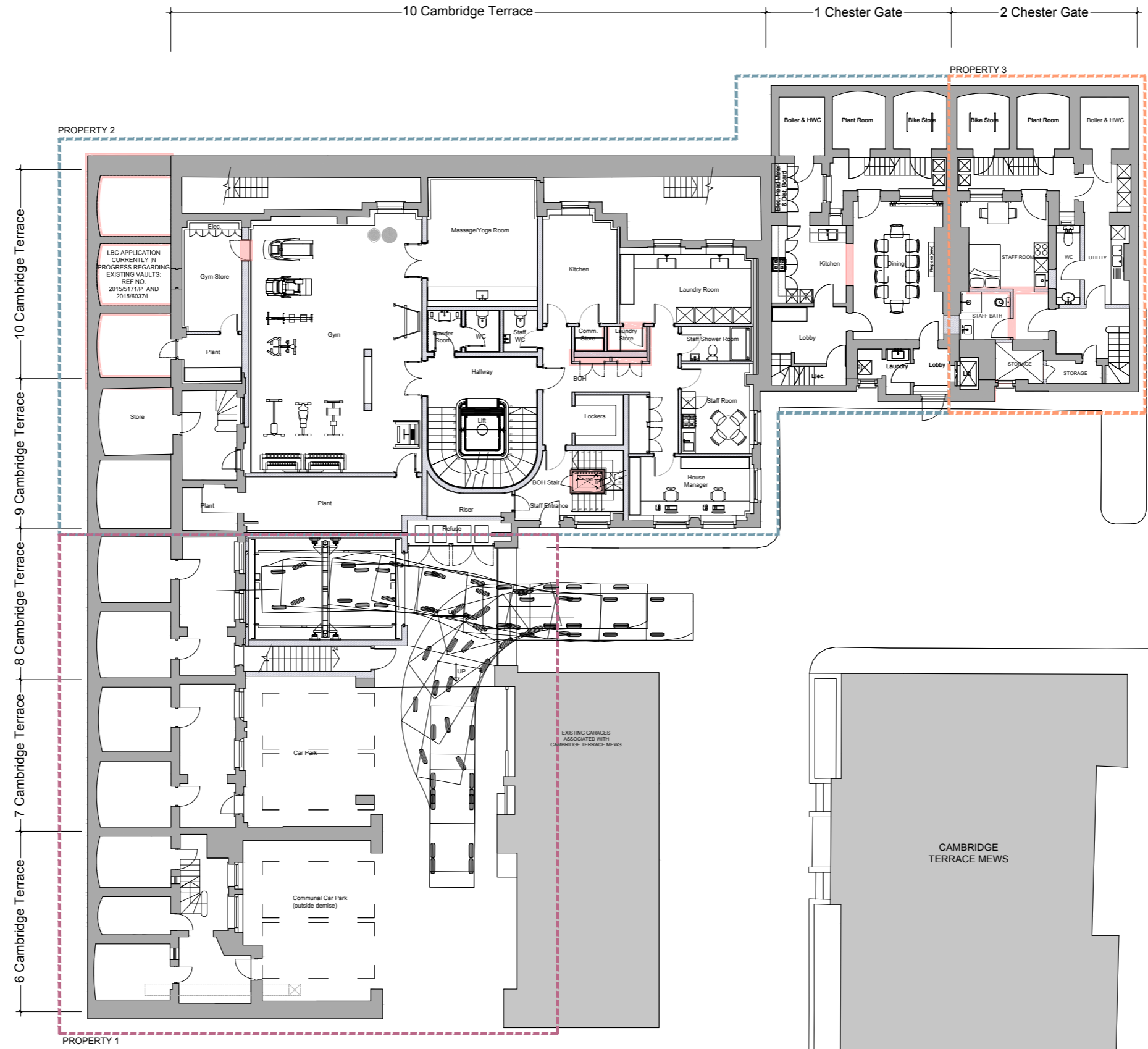
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Job No:	Drawing No:	Rev:
639	2.001	A

APPROVED BASEMENT FLOOR PLAN UNDER REFERENCE NO. 2015/1817/L & 2015/1340/P



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THIS APPLICATION.



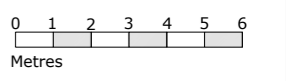
PROPOSED LOWER GROUND FLOOR PLAN

- PROPERTY 1
- PROPERTY 2
- PROPERTY 3

AREA WITH AMENDMENTS FROM PREVIOUSLY APPROVED APPLICATION

EXISTING WALL

PROPOSED WALL



C 06.11.15 LW To accompany Section 96A Application
No Date By Comments

Revision Notes
Status: **PLANNING**

Client:
Project Quad Ltd

Job:
6-10 Cambridge Terrace
and 1-2 Chester Gate
Regents Park
London NW1

Drawing Title:
LOWER GROUND FLOOR
PROPOSED

Scale: 1:100 @ A1 - 1:200 @ A3
Date: August 2015 Drawn: Chkd:

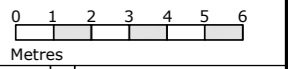
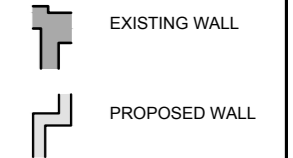
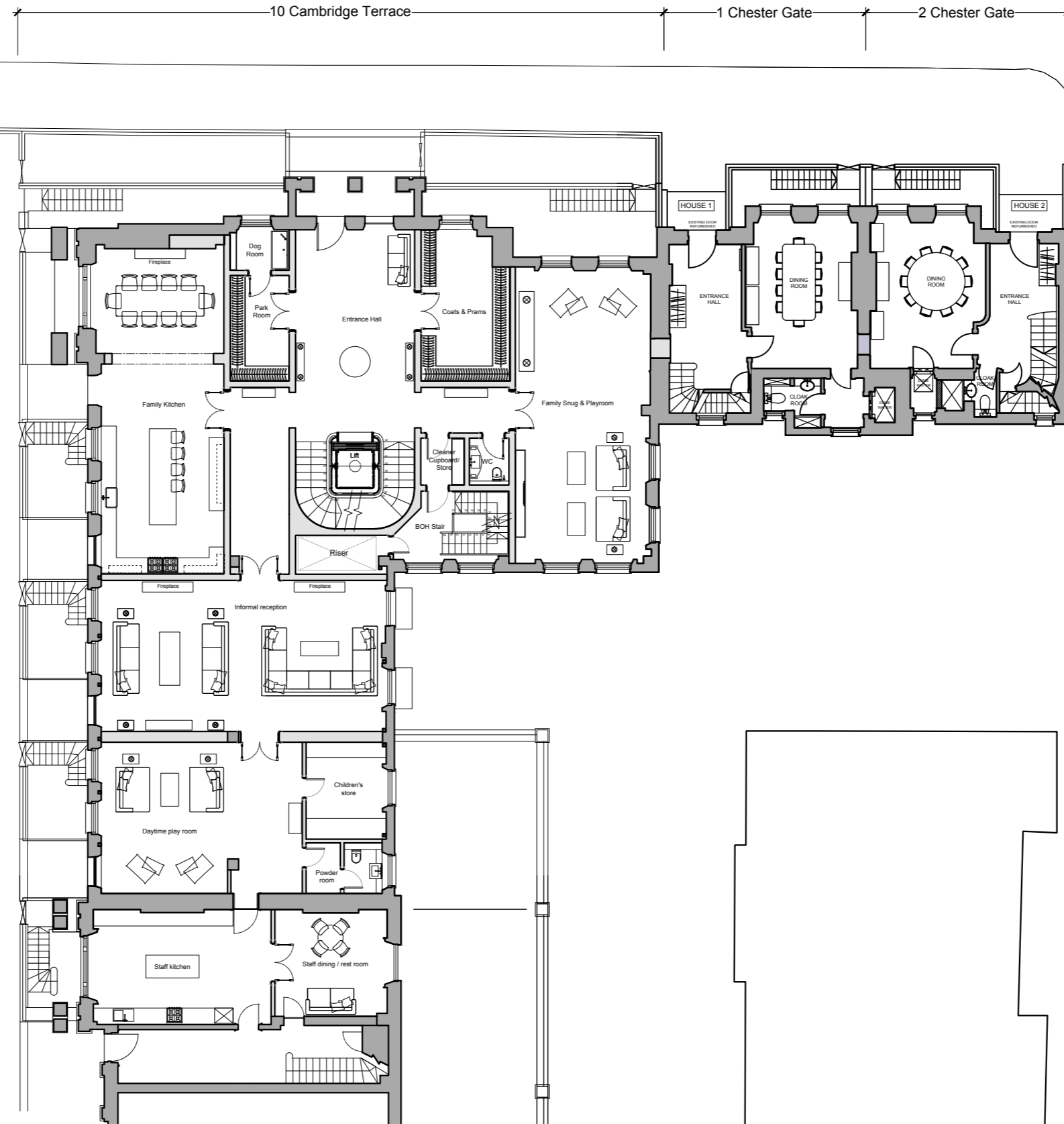
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Job No:	Drawing No:	Rev:
639	2.002	C



DO NOT SCALE OFF THIS DRAWING
REPORT ANY ERRORS OR
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ARCHITECT PROMPTLY

PLEASE NOTE: THIS DRAWING IS
TO BE READ IN CONJUNCTION
WITH ALL OTHER DRAWINGS AND
DOCUMENTS SUBMITTED WITH
THIS APPLICATION.



No	Date	By	Comments

Revision Notes	
Status: PLANNING	
Client: Project Quad Ltd	
Job: 6-10 Cambridge Terrace	
Regents Park London NW1	
Drawing Title: GROUND FLOOR PREVIOUSLY APPROVED	
Scale: 1:100 @ A1 - 1:200 @ A3	
Date: March 2015	Drawn: Chkd:

APPROVED GROUND FLOOR PLAN UNDER REFERENCE NO. 2015/1817/L & 2015/1340/P

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Job No:	Drawing No:	Rev:
639	2.003	A