

Retain existing column

Existing stair proposed to be retained. Existing modern balustrade proposed to be replaced

Existing steel spiral steps proposed to be removed

Existing defective rendering and pointing to perimeter of lightwell proposed to be repaired as existing

Remove non-original blockwork partitions for new access to store

Existing modern flush door proposed to be replaced with panelled timber door. Apertures proposed to be made in existing brickwork above existing brick doorway arch to allow proposed main services distribution. New screed plinth to create front step

Existing modern flush door proposed to be removed

Existing modern flush door and frame proposed to be replaced

Proposed stud partition for services meters

Proposed bike storage x 2

Existing defective rendering and pointing proposed to be repaired. New ventilated dry lining system to dado rail height proposed to ensure space is well ventilated

Existing sash window proposed to be removed and existing cill proposed to be lowered. New timber french doors proposed.

Existing modern flush door proposed to be replaced

Bathroom's drainage run through wall into adjacent lightwell drainage

Existing modern metal steps proposed to be removed and proposed new replacement wider stair with shallower pitch

Proposed apertures to be made within existing brick vault vertically for proposed services distribution

Existing modern flush door proposed to be removed and opening blocked with masonry with plastered finish

Notes:
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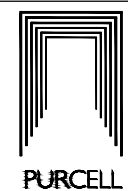
Key Plan
 not to scale

KEY
 ■ New Wall
 - - - Demolitions
 ▒ Existing wall

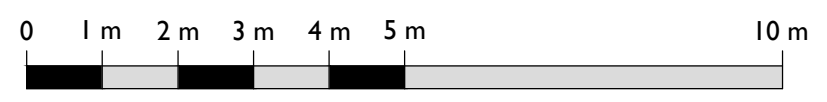
F	01.12.15	VP	RF	Notes revised
E	01.17.15	VT	RF	Increased bike storage
D	17.06.15	VT	RF	Residential to Office
First Issue	25.11.14	HL	RF	

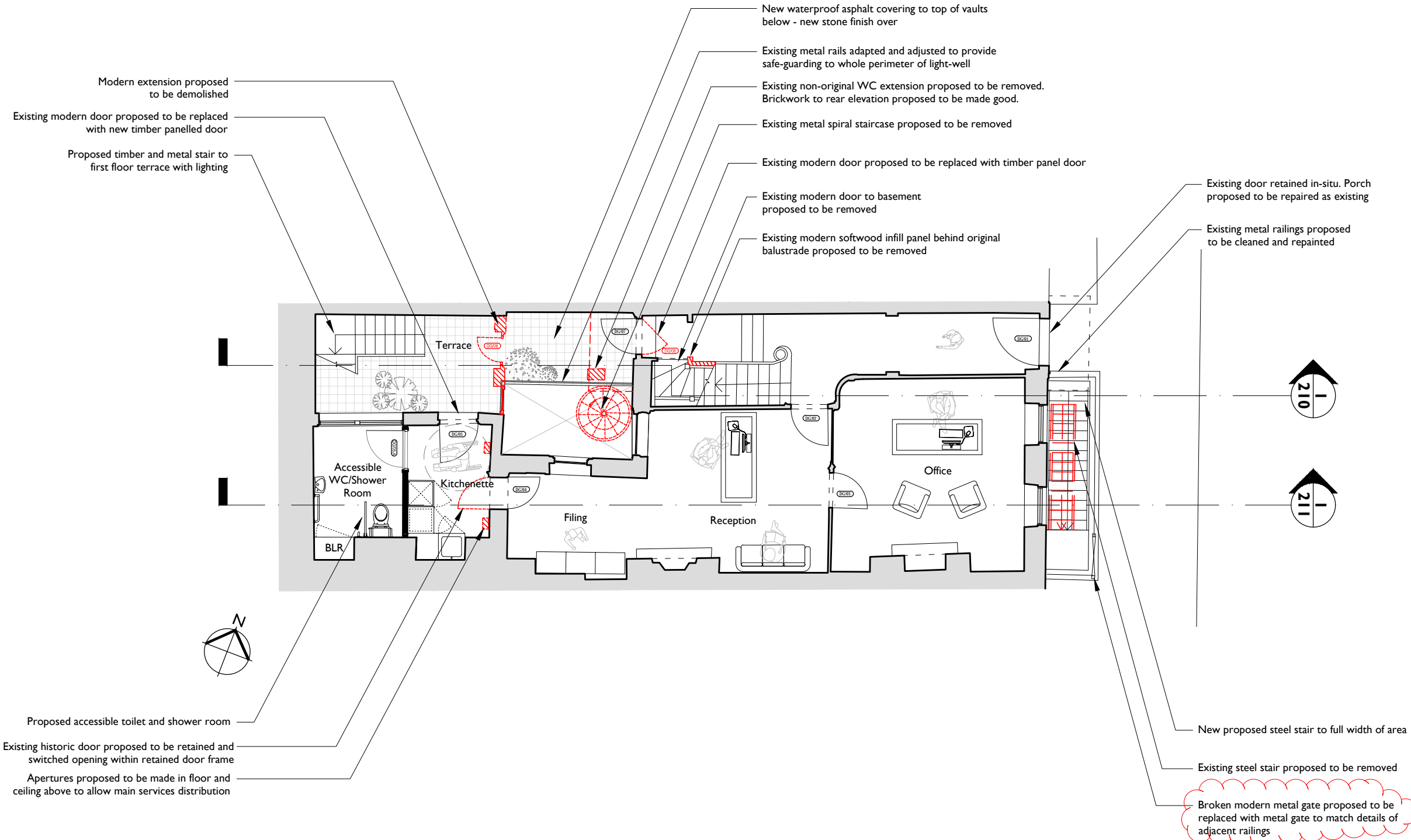
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Basement Plan		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		

JOB NUMBER	235990
DRAWING NO.	L(00)200
REVISION	F



I Proposed Basement Floor Plan
200 1:100 @ A3





Modern extension proposed to be demolished

Existing modern door proposed to be replaced with new timber panelled door

Proposed timber and metal stair to first floor terrace with lighting

New waterproof asphalt covering to top of vaults below - new stone finish over

Existing metal rails adapted and adjusted to provide safe-guarding to whole perimeter of light-well

Existing non-original WC extension proposed to be removed. Brickwork to rear elevation proposed to be made good.

Existing metal spiral staircase proposed to be removed

Existing modern door proposed to be replaced with timber panel door

Existing modern door to basement proposed to be removed

Existing modern softwood infill panel behind original balustrade proposed to be removed

Existing door retained in-situ. Porch proposed to be repaired as existing

Existing metal railings proposed to be cleaned and repainted

Proposed accessible toilet and shower room

Existing historic door proposed to be retained and switched opening within retained door frame

Apertures proposed to be made in floor and ceiling above to allow main services distribution

New proposed steel stair to full width of area

Existing steel stair proposed to be removed

Broken modern metal gate proposed to be replaced with metal gate to match details of adjacent railings

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Key Plan
not to scale

KEY

- New Wall
- Demolitions
- Existing wall

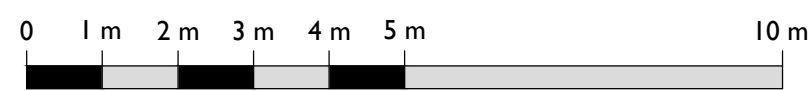
C	02 Dec 2015	VP	RF	Notes revised
B	26.05.15	VT	RF	
A	01.05.15	VT	RF	
First Issue	24.11.14	HL	RF	

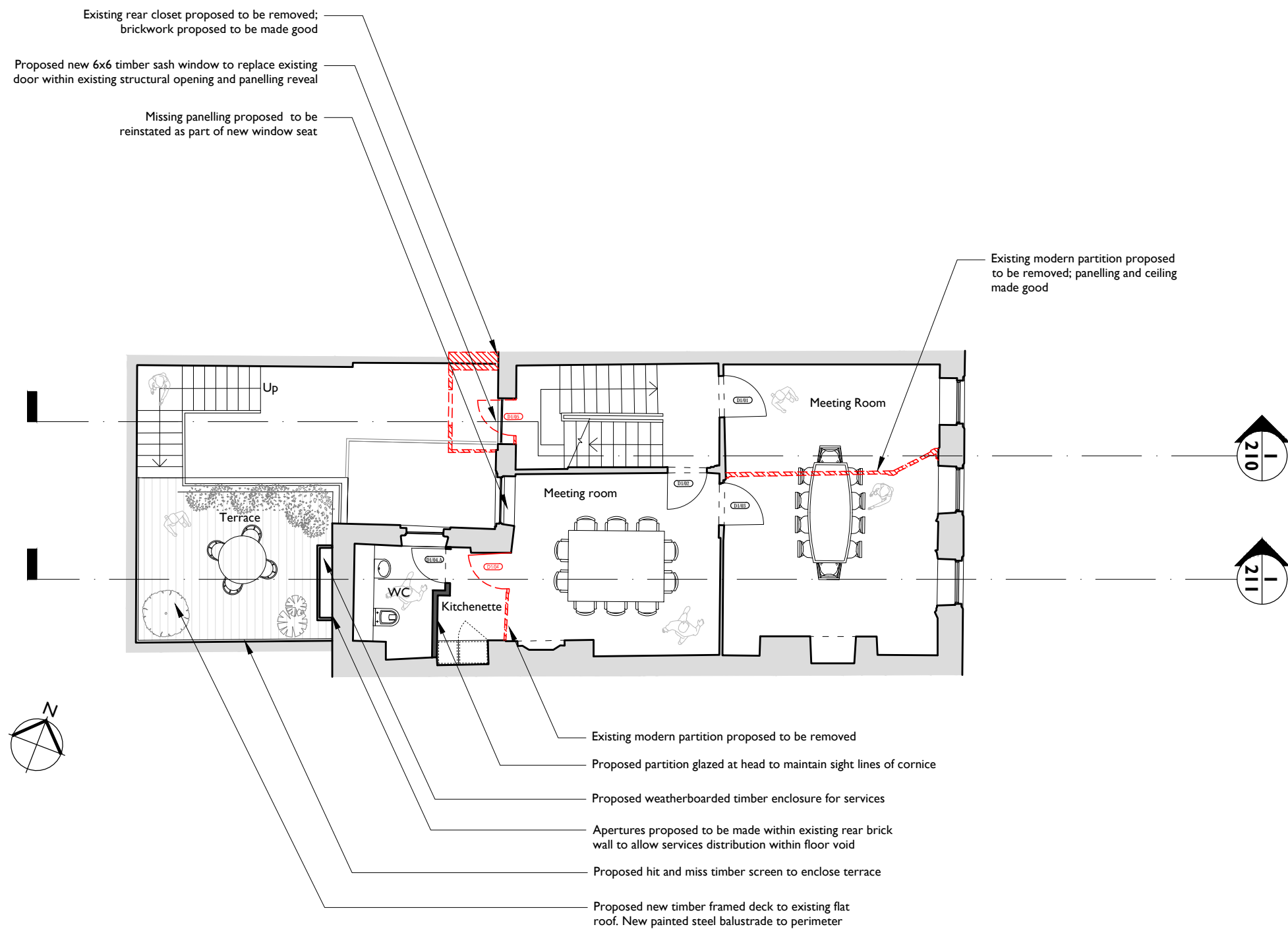
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Ground Floor Plan		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		

JOB NUMBER	235990
DRAWING NO.	L(00)201
REVISION	C



I Proposed Ground Floor Plan
201 1:100 @ A3





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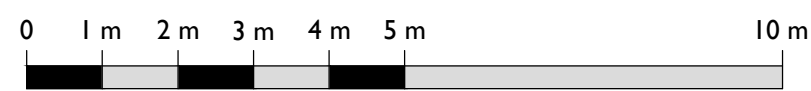
Key Plan
 not to scale

KEY

- New Wall
- Demolitions
- Existing wall



I Proposed First Floor Plan
202 1:100 @ A3



C	02 Dec 2015	VP	RF	Notes revised
B	26.05.15	VT	RF	
A	01.05.15	VT	RF	
First Issue	24.11.14	HL	RF	

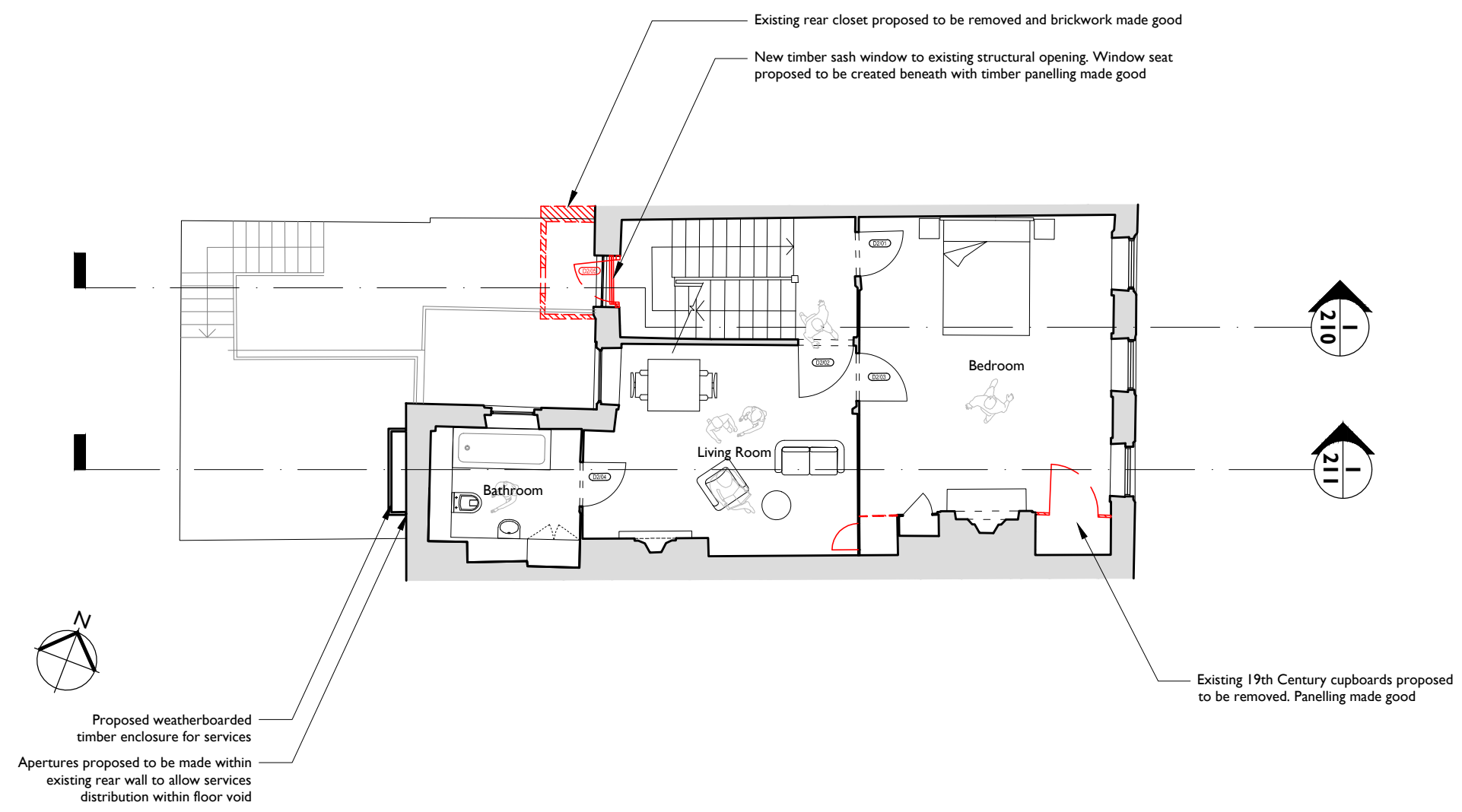
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT	Kay Georgiou Solicitors			
PROJECT	40 Great James Street			
DRAWING TITLE	Proposed First Floor Plan			
SIZE & SCALE	A3L	1:100		
DRAWING STATUS	ISSUED FOR PLANNING			

JOB NUMBER	235990	
DRAWING NO.	L(00)202	
REVISION	C	

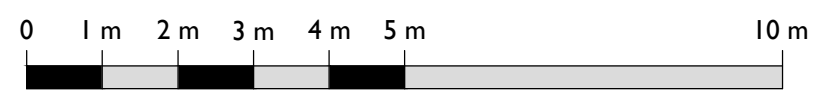
Notes:
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Key Plan
 not to scale

KEY
 ■ New Wall
 - - - Demolitions
 ■ Existing wall

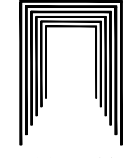


I Proposed Second Floor Plan
203 1:100 @ A3



D	02.12.2015	VP	RF	Notes revised
C	17.06.15	VT	RF	Office to Residential
B	26.05.15	VT	RF	
First Issue	24.11.14	HL	RF	

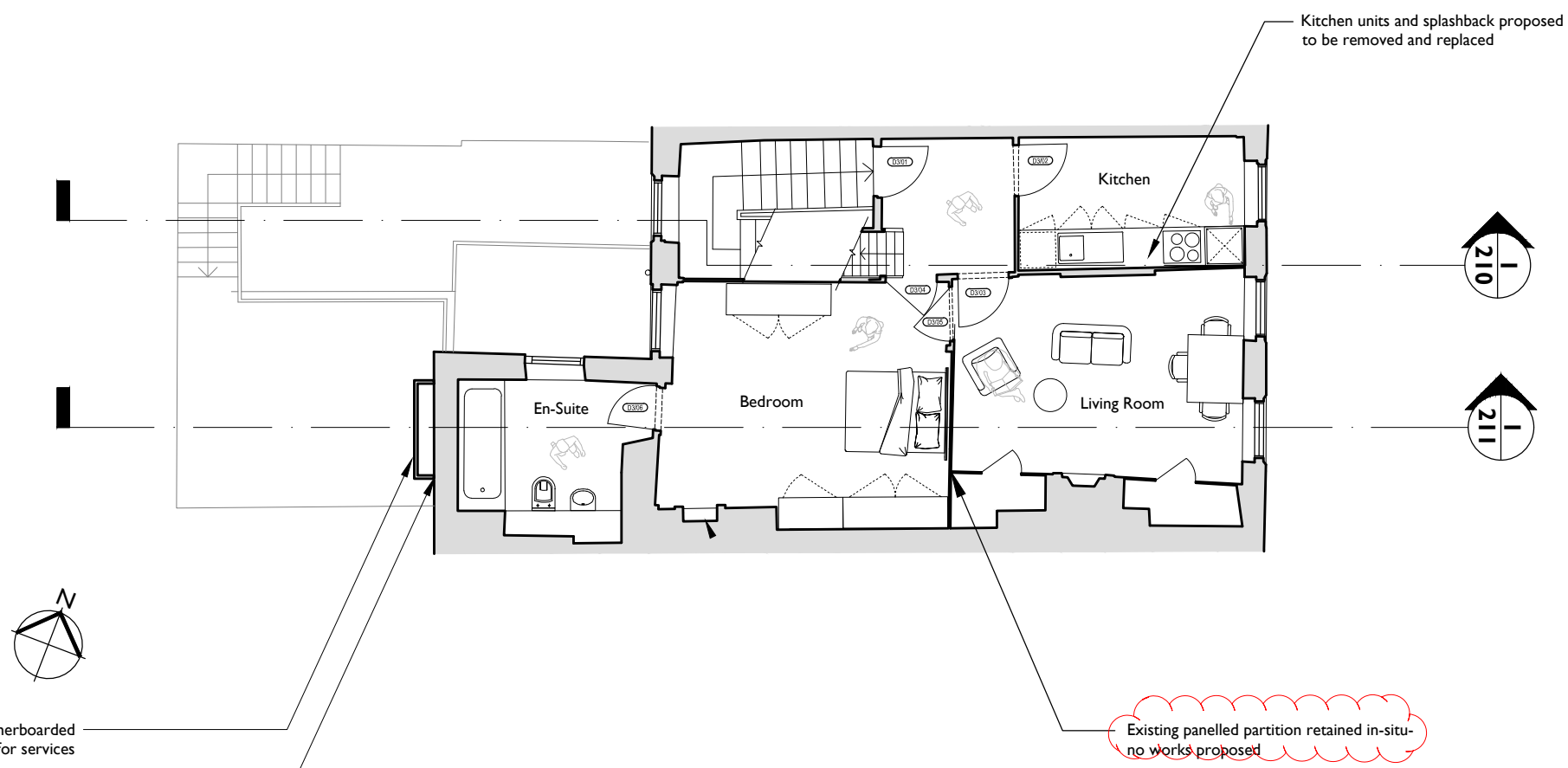
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT				Kay Georgiou Solicitors
PROJECT				40 Great James Street
DRAWING TITLE				Proposed Second Floor Plan
SIZE & SCALE				A3L 1:100
DRAWING STATUS				ISSUED FOR PLANNING

JOB NUMBER	235990	
DRAWING NO.	L(00)203	
REVISION	D	

Notes:
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Key Plan
 not to scale

KEY
 ■ New Wall
 - - - Demolitions
 ■ Existing wall



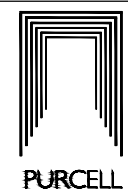
Proposed weatherboarded timber enclosure for services
 Apertures proposed to be made within existing brick rear wall to allow distribution of services within floor void

Existing panelled partition retained in-situ - no works proposed

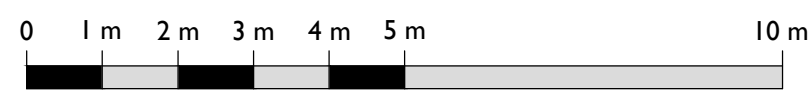
C	02 Dec 2015	VP	RF	Notes revised
B	26.05.15	VT	RF	
A	01.05.15	VT	RF	
First Issue	25.02.2015	VT	RF	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Third Floor Plan		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		

JOB NUMBER	235990
DRAWING NO.	L(00)204
REVISION	C



I
204 Proposed Third Floor Plan
 1:100 @ A3

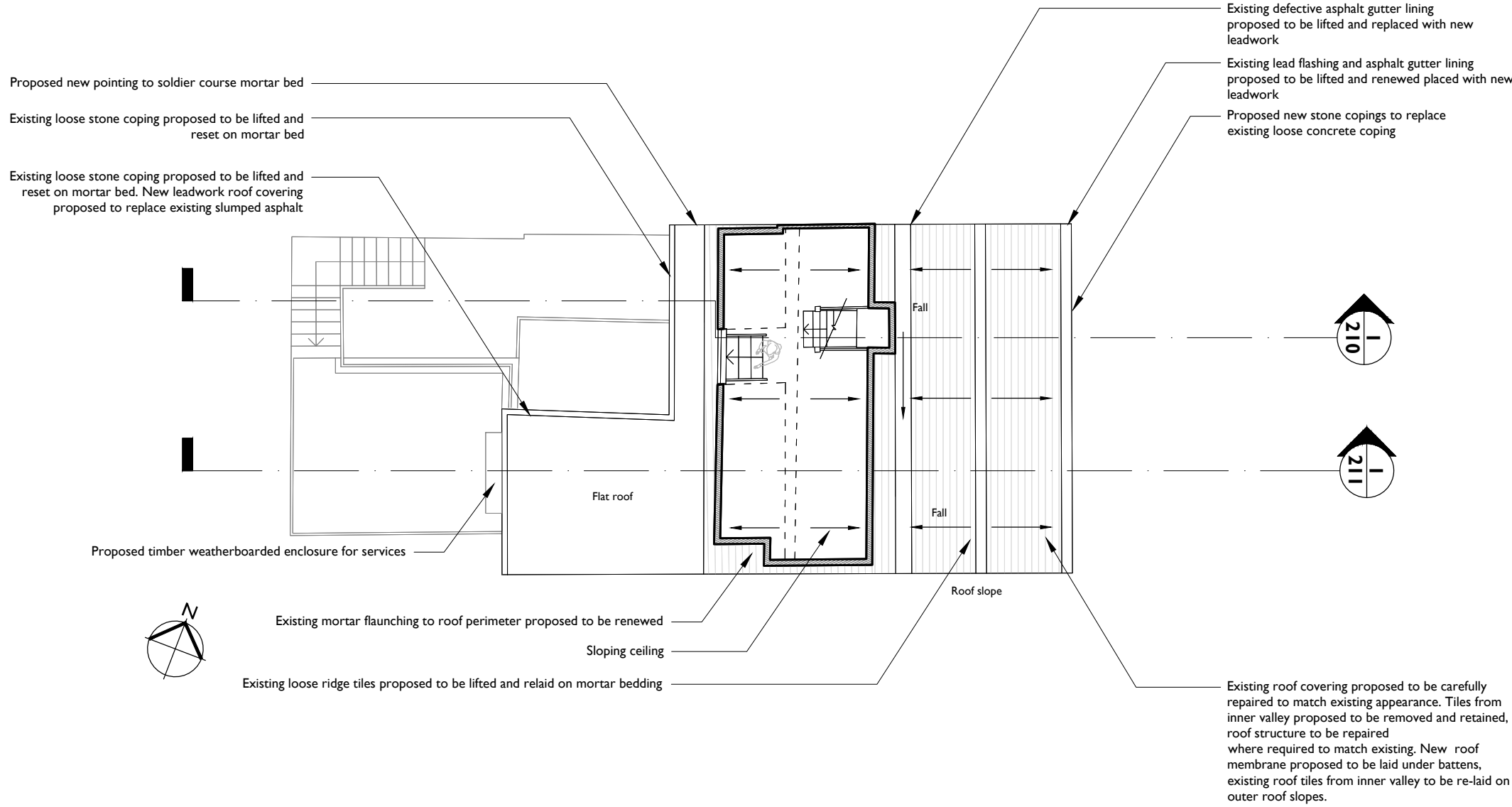


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Key Plan
 not to scale

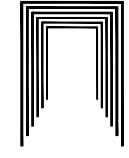
KEY

- New Wall
- Demolitions
- Existing Wall

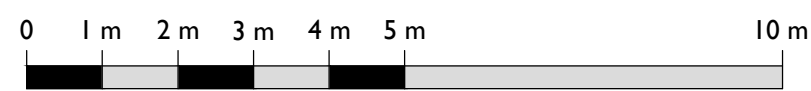


C	02 Dec 2015	LM	RF	notes revised
B	26.05.15	VT	RF	
A	05.05.15	VT	RF	
First Issue	24.11.14	HL	RF	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Fourth Floor Plan		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		



JOB NUMBER	235990	
DRAWING NO.	L(00)205	
REVISION	C	

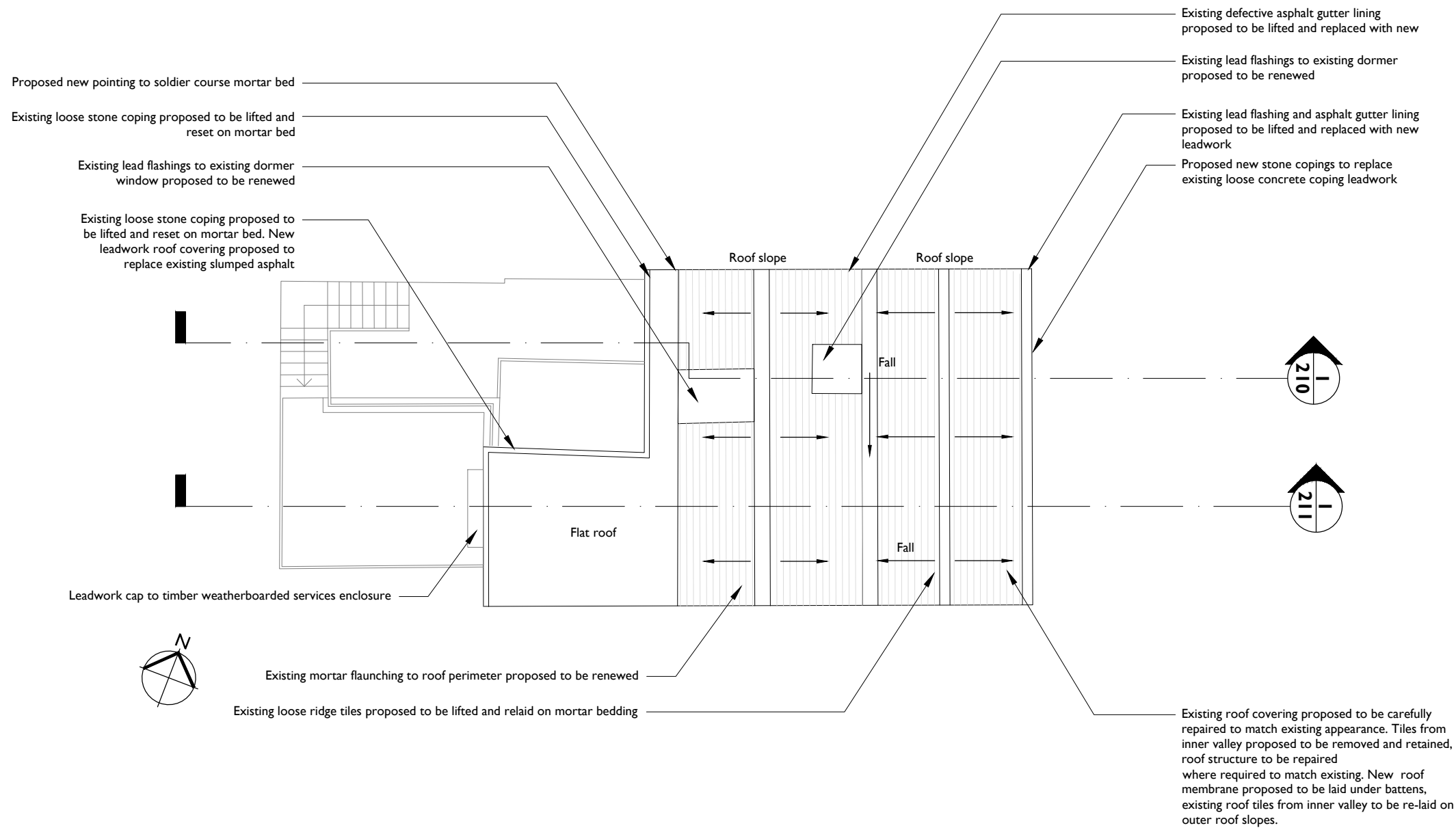
I
205
Proposed Fourth Floor Plan
1:100 @ A3



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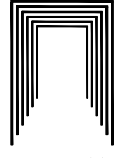
Key Plan
 not to scale

KEY
 New Wall
 Demolitions

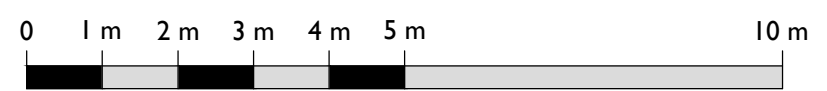


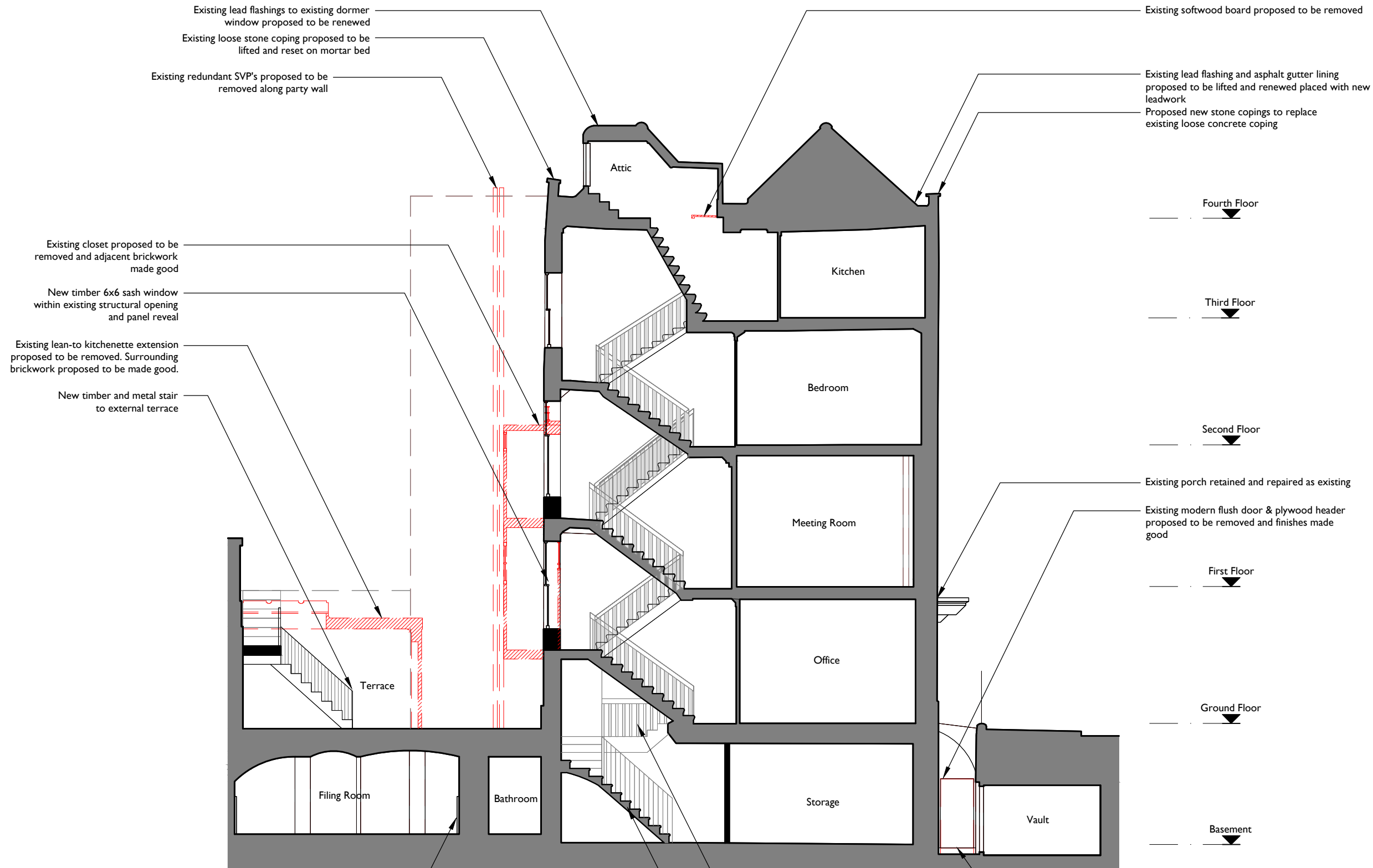
C	02 Dec 2015	VP	RF	re-issued
B	26.05.15	VT	RF	
A	05.05.15	VT	RF	
First Issue	14.04.2015	VT	RF	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Roof Plan		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		

JOB NUMBER	235990	
DRAWING NO.	L(00)206	
REVISION	C	

I
206 Proposed Roof Plan
 1:100 @ A3





Existing lead flashings to existing dormer window proposed to be renewed
 Existing loose stone coping proposed to be lifted and reset on mortar bed
 Existing redundant SVP's proposed to be removed along party wall

Existing softwood board proposed to be removed
 Existing lead flashing and asphalt gutter lining proposed to be lifted and renewed placed with new leadwork
 Proposed new stone copings to replace existing loose concrete coping

Existing closet proposed to be removed and adjacent brickwork made good
 New timber 6x6 sash window within existing structural opening and panel reveal
 Existing lean-to kitchenette extension proposed to be removed. Surrounding brickwork proposed to be made good.
 New timber and metal stair to external terrace

Fourth Floor
 Third Floor
 Second Floor
 First Floor
 Ground Floor
 Basement

Existing porch retained and repaired as existing
 Existing modern flush door & plywood header proposed to be removed and finishes made good

Existing defective rendering and pointing proposed to be repaired. New drylining system to dado rail height proposed to ensure space is well ventilated. Lining to dado height shown.

Existing 20th Century softwood backing boards to original balustrade proposed to be removed
 Existing stair proposed to be retained. Existing modern balustrade proposed to be replaced.

New screed step proposed to entrance to basement flat

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Key Plan
 not to scale

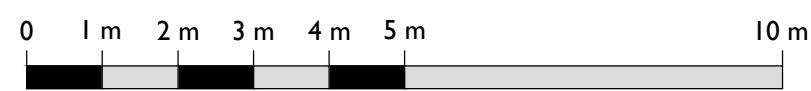
KEY
 ■ New Wall
 - - - Demolitions
 ■ Existing Wall

D	02.12.15	VP	RF	notes revised
B	26.05.15	VT	RF	
A	01.05.15	VT	RF	
First Issue	07.11.14	HL	RF	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Section A-A'		
SIZE & SCALE		A3L	1:100	
DRAWING STATUS		ISSUED FOR PLANNING		

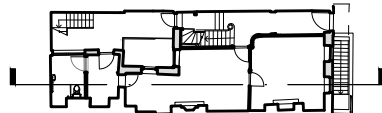
JOB NUMBER	235990	
DRAWING NO.	L(00)210	
REVISION	D	

I Proposed Section A-A'
210 1:100 @ A3



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Key Plan
 not to scale

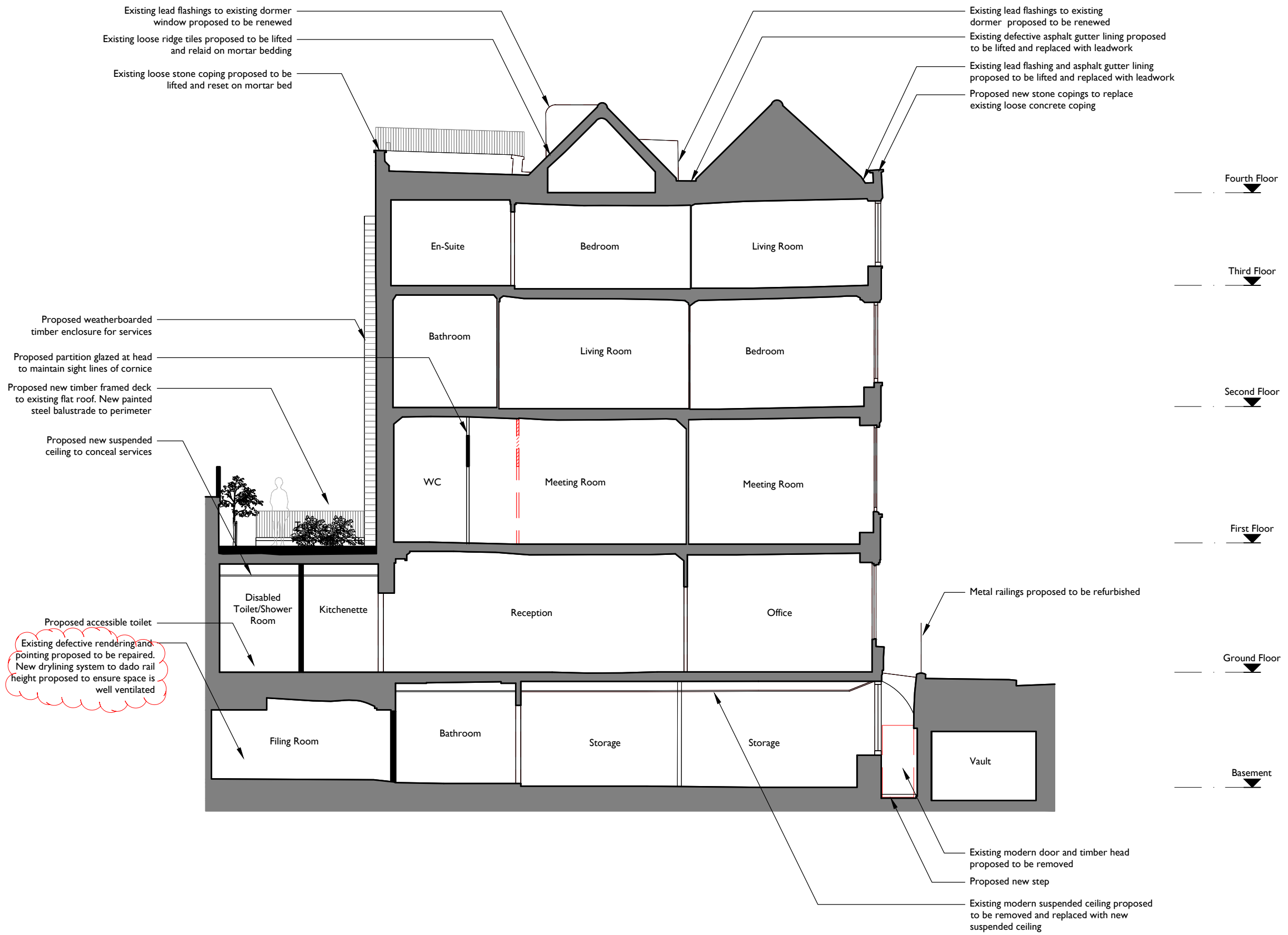


KEY
 ■ New Wall
 - - - Demolitions
 ■ Existing Wall

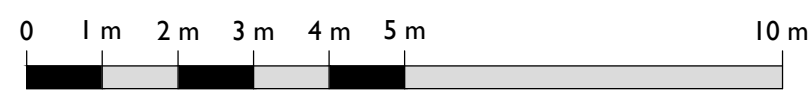
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
D	03.12.15	VP	RF	Notes revised
B	26.05.15	VT	RF	
A	01.05.15	VT	RF	
First Issue	07.11.14	HL	RF	

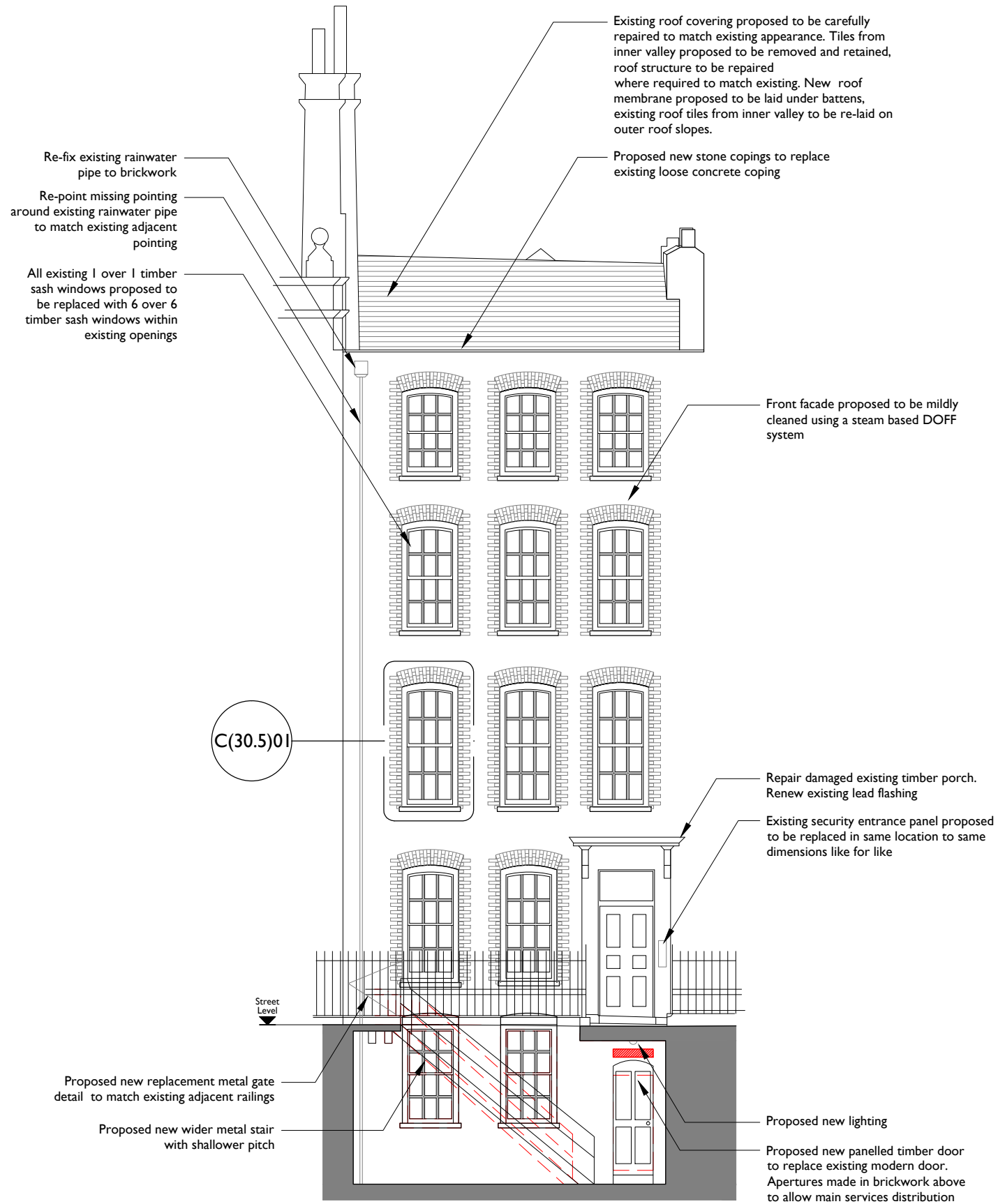
CLIENT	Kay Georgiou Solicitors
PROJECT	40 Great James Street
DRAWING TITLE	Proposed Section B-B'
SIZE & SCALE	A3L 1:100
DRAWING STATUS	ISSUED FOR PLANNING

JOB NUMBER	235990	
DRAWING NO.	L(00)211	
REVISION	D	
<small>15 Bermondsey Square, Tower Bridge Road, London, SE1 3UN · T: +44(0)20 7397 7171, E: london@purcella.com © PURCELL 2012. PURCELL IS THE TRADING NAME OF PURCELL MILLER TRITTON LLP</small>		

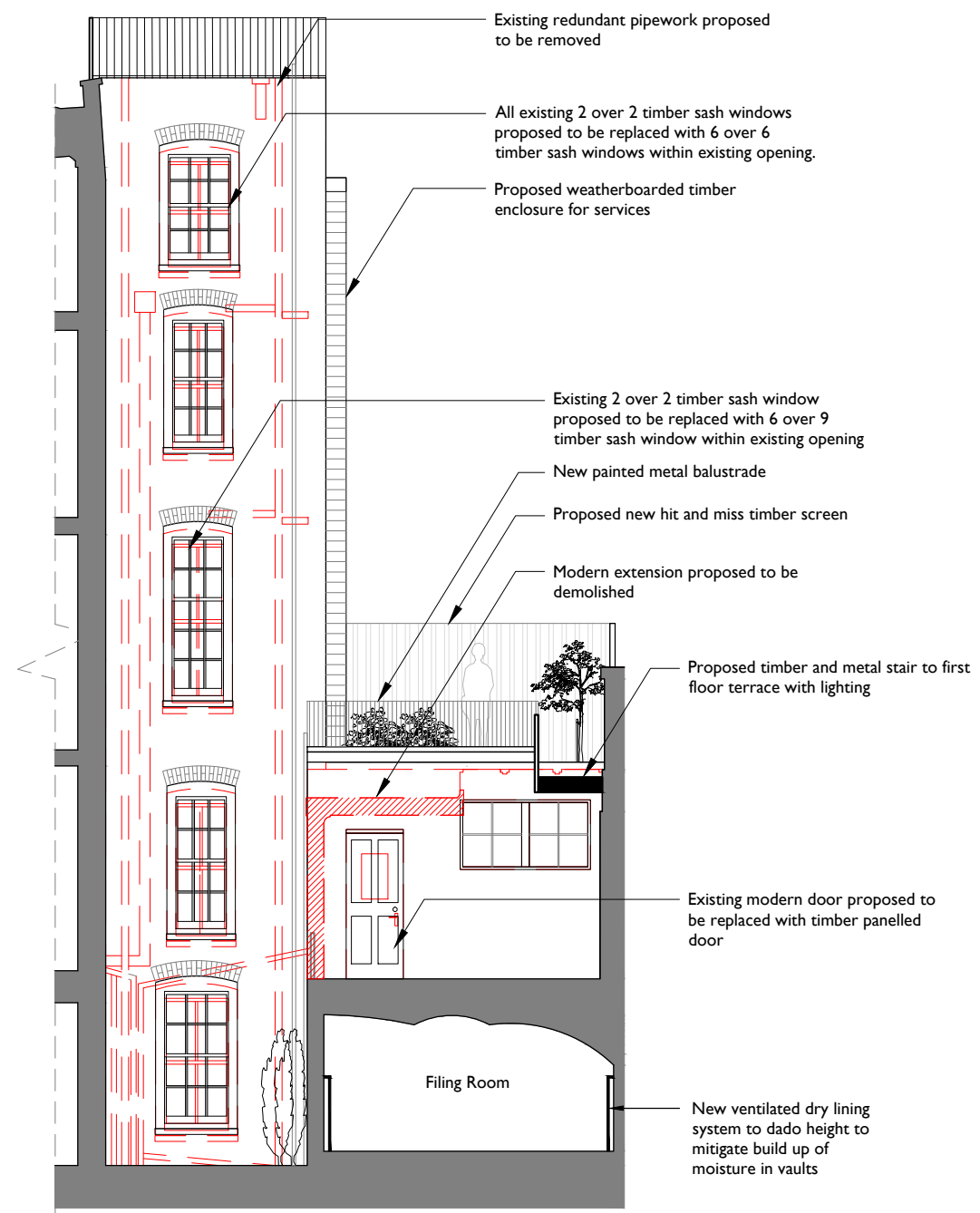


I Proposed Section B-B'
211 1:100 @ A3

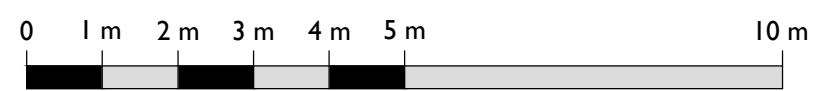




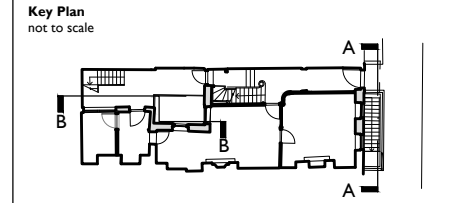
1 Proposed Front Elevation
220 1:100 @ A3



2 Proposed Side Elevation
220 1:100 @ A3



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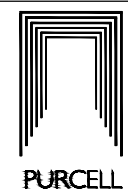


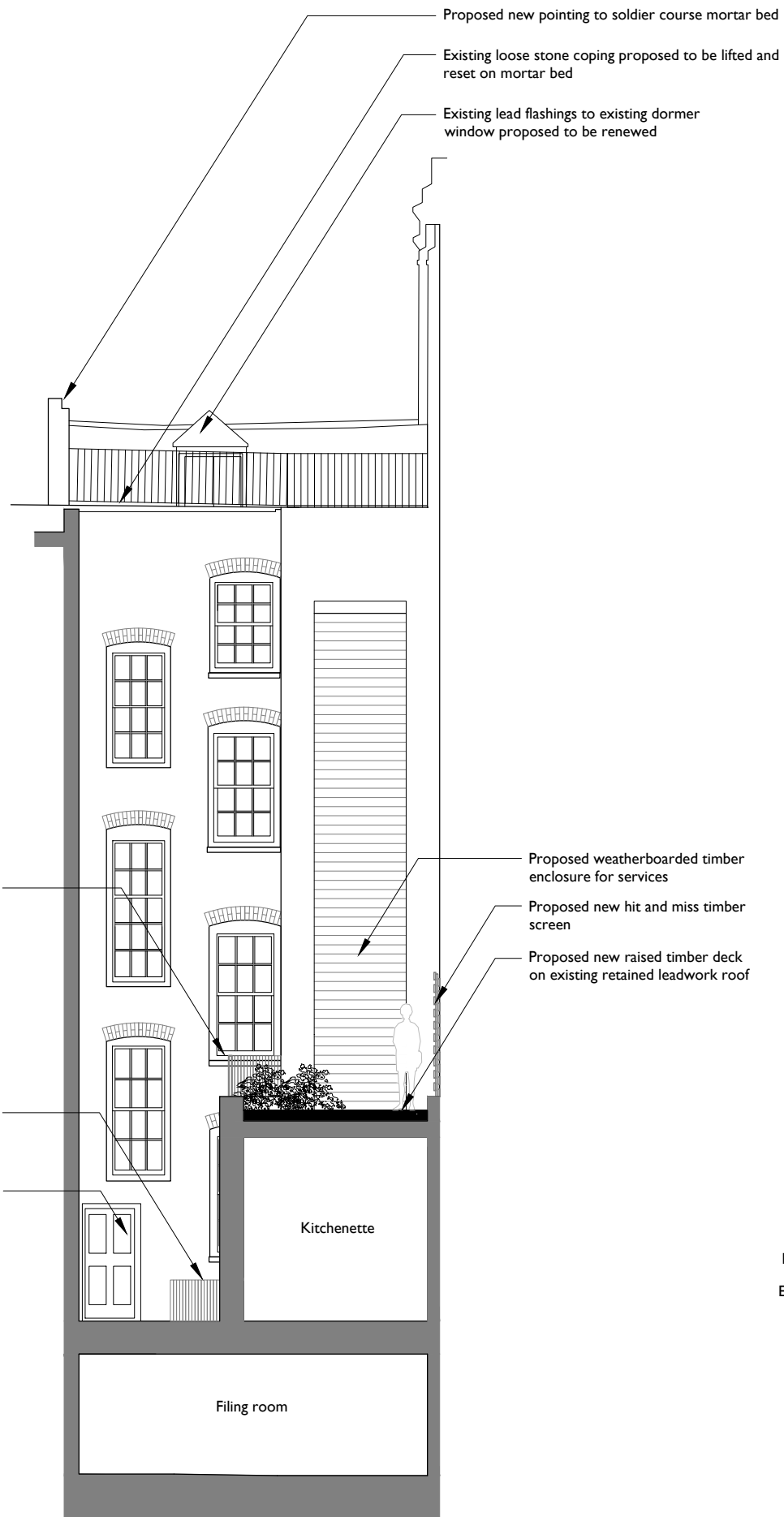
KEY
 New Wall
 Demolitions
 Existing wall

C	02 Dec 2015	VP	RF	Notes revised
B	26.05.15	VT	RF	
A	07.05.15	VT	RF	
First Issue	08.04.15	HL	RF	

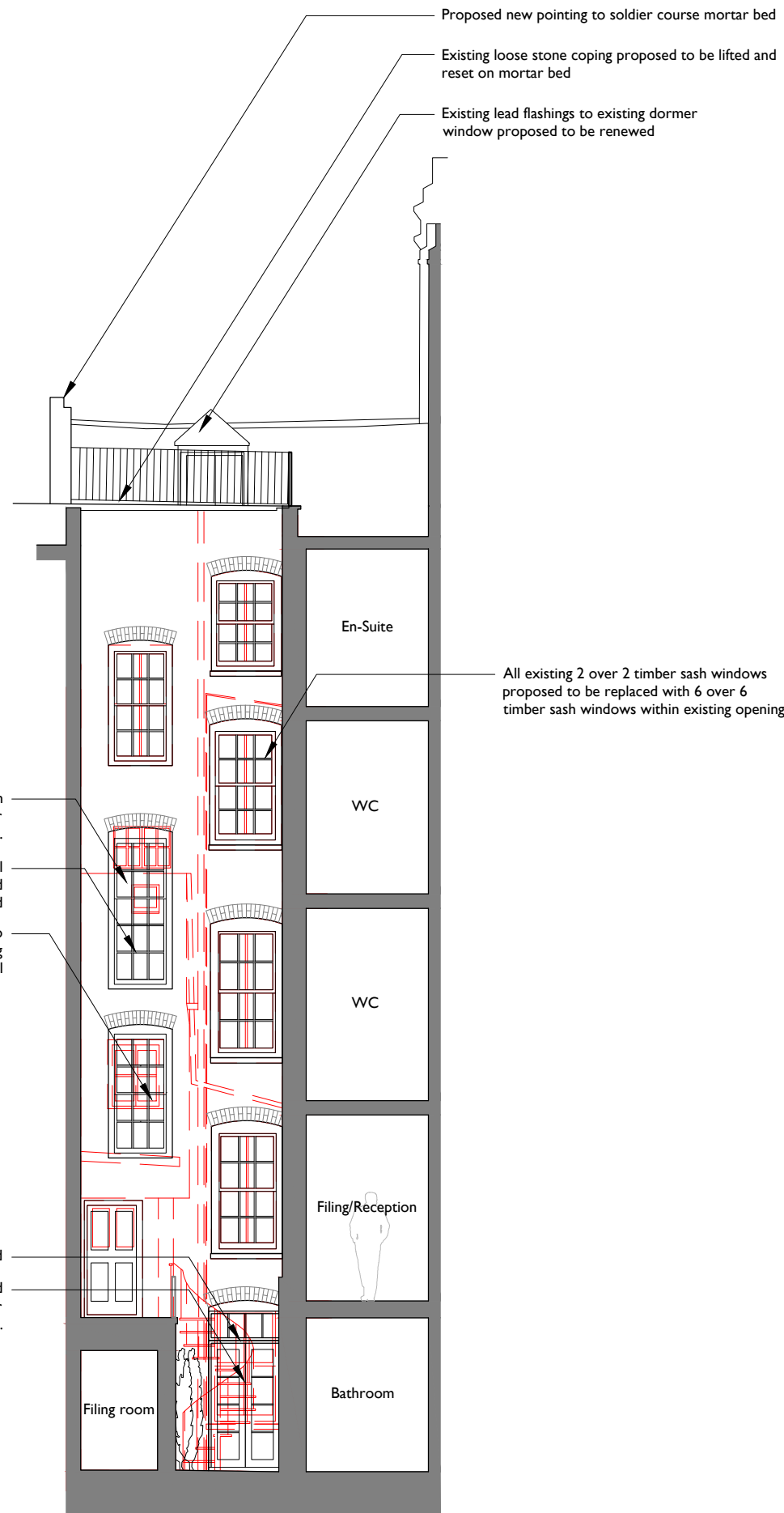
ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Front and Side Elevations		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		

JOB NUMBER	235990
DRAWING NO.	L(00)220
REVISION	C





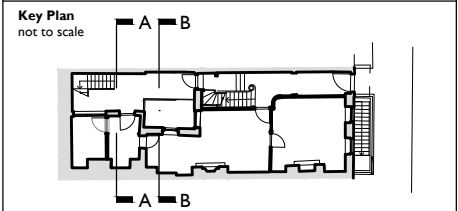
1 Proposed Rear Elevation and Section AA
221 1:100 @ A3



2 Proposed Rear Elevation and Section BB
221 1:100 @ A3



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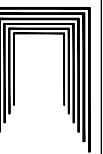
KEY
 ■ New Wall
 - - - Demolitions
 ■ Existing Wall

All existing 2 over 2 timber sash windows proposed to be replaced with 6 over 6 timber sash windows within existing opening.

C	02.12.15	VP	RF	Notes revised
B	16.06.15	VT	RF	Residential to Office
A	26.05.15	VT	RF	
First Issue	07.05.15	VT	RF	

ISSUE	DATE	DRAWN	CHECKED	DESCRIPTION
CLIENT		Kay Georgiou Solicitors		
PROJECT		40 Great James Street		
DRAWING TITLE		Proposed Rear Elevation		
SIZE & SCALE		A3L 1:100		
DRAWING STATUS		ISSUED FOR PLANNING		

JOB NUMBER	235990
DRAWING NO.	L(00)221
REVISION	C



PURCELL