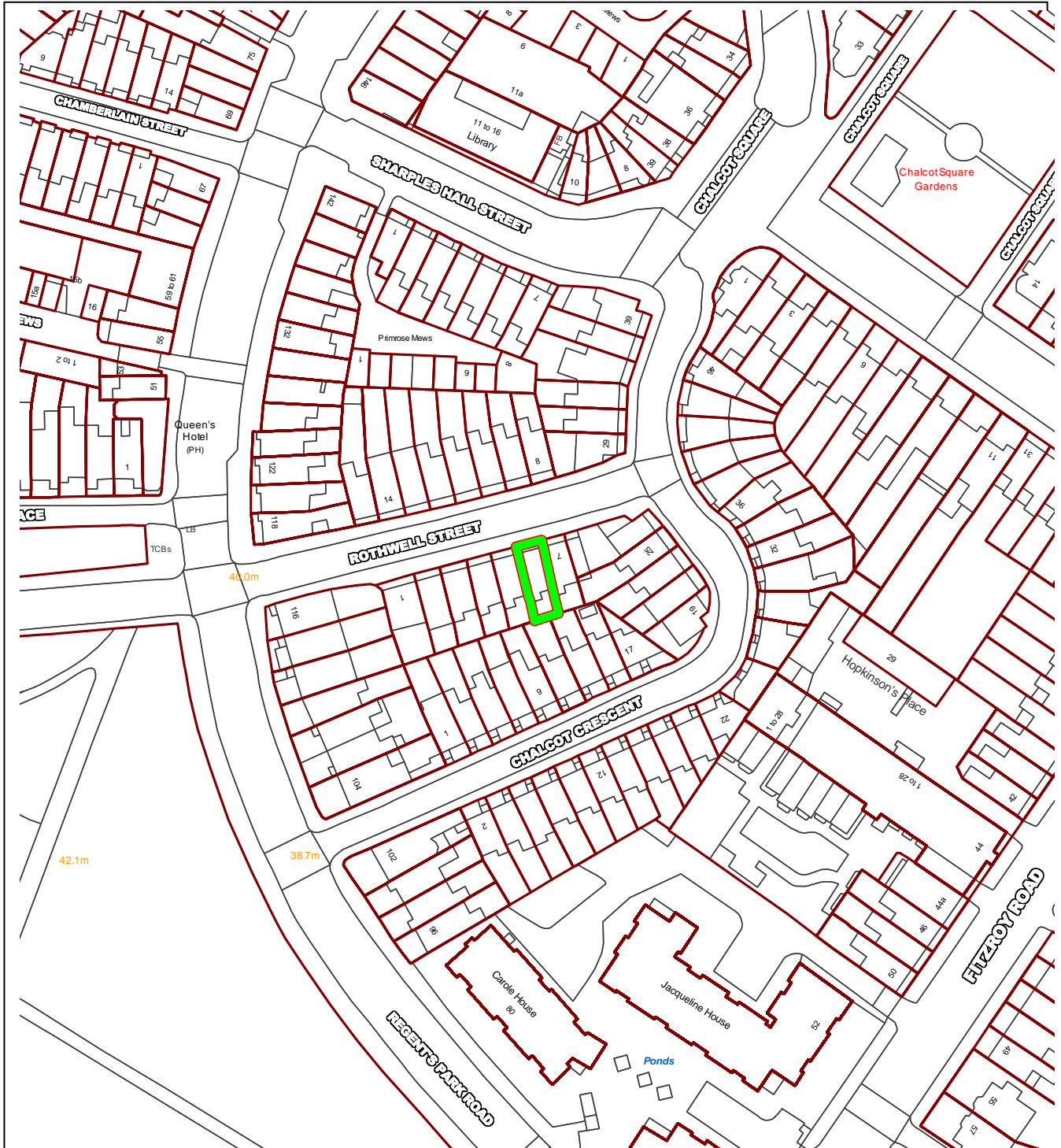


# 6 Rothwell Street - 2015/4596/P & 2015/5579/L



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5.3 REAR ELEVATION



Door in closet wing



View from house opposite showing modern extensions.



Modern french doors to garden.



Party wall and next door closet wing.

<b>Delegated Report</b>		<b>Analysis sheet</b>	<b>Expiry Date:</b>	<b>27/11/2015</b>
<b>(Members Briefing)</b>		N/A / attached	<b>Consultation Expiry Date:</b>	<b>29/10/2015</b>
<b>Officer</b>			<b>Application Number(s)</b>	
Gideon Whittingham			1) 2015/4596/P 2) 2015/5579/L	
<b>Application Address</b>			<b>Drawing Numbers</b>	
6 Rothwell Street London NW1 8YH			Refer to Draft Decision Notice	
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>				
1) Erection of infill extension located at rear basement floor level and associated elevational alterations 2) Erection of infill extension located at rear basement floor level and associated elevational and internal alterations				
<b>Recommendation(s):</b>		1) Grant Planning Permission subject to Conditions 2) Grant Listed Building Consent subject to Conditions		
<b>Application Type:</b>		Householder Application		

<b>Conditions or Reasons for Refusal:</b>	<b>Refer to Draft Decision Notice</b>					
<b>Informatives:</b>						
<b>Consultations</b>						
<b>Adjoining Occupiers:</b>	No. notified	<b>09</b>	No. of responses	<b>00</b>	No. of objections	<b>00</b>
			No. Electronic	<b>00</b>		
<b>Summary of consultation responses:</b>	Site notice: 07/10/2015 – 28/10/2015 Press notice: 08/10/2015 – 29/10/2015					
<b>Primrose Hill CAAC</b>	<p><i>"The Committee noted that this is a Listed Building where the plan form at the rear is substantially original.</i></p> <p><i>The proposed infill conservatory. We have no objection of principle to an infill conservatory at this location, but advise that the following issues be amended / addressed. Until they are we formally object. The issues are:</i></p> <ul style="list-style-type: none"> <li><i>– the proposed infill should be set back, perhaps by 150mm, from the rear building line of the existing back addition better to respect the plan form of the Listed Building.</i></li> <li><i>– a downstand beam should span the opening in the rear wall at lower ground floor better to represent the original rear elevation wall. (see paragraph 2.6)</i></li> <li><i>– we wish to see proposals effectively to address problems of light pollution through the glazed roof . (see paragraph 3.2)</i></li> <li><i>– we object to the narrow pattern of the glazed framing, which is alien to the proportions of the surviving original fenestration, and appears fussy and too 'busy' in this location in terms of the impact of the new work on the character of the Listed Building. . (see paragraph 2.4)</i></li> </ul> <p><i>In the basement, we advise there should be a downstand beam spanning the new opening in the centre cross wall, better to represent the plan of the original building. We note that any opening in this wall originally would have been a door or pair of doors set in a frame within the wall. We also request that a nib be restored to the corner of the junction of the cross wall land the line of the former partition wall between the front room and the passageway. (see paragraph 2.6)</i></p> <p><i>Rear elevation: the proposed re-glazing of the first floor rear window to the back addition should follow the traditional pattern of glazing bars, so in 4s not 6s. The present proposal is over fussy and disruptive to the proportions of the Listed Building." (see paragraph 2.5)</i></p>					

## Site Description

The application site is located on the south side of Rothwell Street. The application building is a 3 storey (excluding basement floor level) terraced dwelling.

The predominant character of the surrounding area is residential in nature.

The application site is Grade II Listed, located within the Primrose Hill Conservation Area.

## Relevant History

Ref: 36149 - The enlargement of the existing first floor rear extension to provide a bathroom. GRANTED 27/06/1983

## Relevant policies

**National Planning Policy Framework 2012**

**London Plan March 2015, consolidated with alterations since 2011**

**LDF Core Strategy and Development Policies 2010**

**CS5** (Managing the impact of growth and development)

**CS14** (Promoting high quality places and conserving our heritage)

**DP24** (Securing high quality design)

**DP25** (Conserving Camden's heritage)

**DP26** (Managing the impact of development on occupiers and neighbours)

**Camden Planning Guidance 2011: CPG6** Amenity

**Camden Planning Guidance 2015: CPG1** Design

**Primrose Hill conservation area statement (2000)**

## Assessment

### 1. Proposal:

1.1 The application proposes:

- The erection of a glazed single storey rear infill extension, (5m wide x 4m in depth x 2.4m in height)
- Reduction of basement floor level by 22cm and front vault
- Alteration of rear basement floor and first floor level window
- Internal wall alterations

1.2 Following officer advice regarding the original wall arrangement and the rear French window, the proposal was revised.

1.3 It is noted the limited extent of excavation proposed, namely the reduction of basement floor level by 22cm and front vault would not trigger the policy requirements of a CPG4, namely a Basement Impact assessment.

1.4 The main issues for consideration therefore are:

- Design
- Residential amenity

### 2. Design

2.1 The rear gardens within this terrace maintain an area of approximately 20-30sqm, set behind boundary walls (and associated screening) in excess of 3m in height. Some of these rear gardens have subsequently been in-filled by single storey infill extensions.

2.2 In this instance, the garden area is 24sqm, 20% (5sqm) of which would be covered by the proposed extension. An open area of 18sqm would be retained.

2.3 The extension is therefore adjudged to be of an adequate size and scale and would ensure an appropriate proportion of the garden would remain. The nature and scale of the extension would also be consistent with the pattern of single storey extensions established along this particular terrace.

2.4 The extension would be detailed with simple Crittal bars, a pitched roof and a recess of 14cm from the adjacent closet wing. In this context, the infill extension and glazing in particular would appear sympathetic in design and subordinate in scale to the building, thereby preserving the building's special architectural and historic interest, as well as the character and appearance of the surrounding conservation area.

2.5 Although not reflecting the existing window pattern, the first floor level window is considered appropriate in terms of glazing bars and would not harm the building's special architectural and historic interest.

2.6 The internal alterations predominately relate to general refurbishment works, internal walls and the floor level of the existing lower ground floor level. Following its revision in mind of Conservation Officer and CAAC comment, the proposal would retain the general plan form of the building (nibs remain), as well as the central chimney breast, staircase and brick arch (opening access for glazed infill extension) which are of significance and are noted by the Primrose CAAC. The lowering of the basement floor level and vault by 22cm would not result in the loss or harm of historic skirting or associated features of interest. As requested by the CAAC, the revised drawings now show a downstand remnant of the basement centre cross wall and a rebuilt brick arch forming a downstand above the French windows in the rear wall. The nibs in the basement cross wall have also been enlarged, the better to retain the basement's plan form.

2.7 The Conservation officer is satisfied that the statutory test is met and the proposal would not harm the special architectural and historic interest of this building in accordance with the requirements of policy CS14.

### **3. Residential amenity**

3.1 The proposed extension, by virtue of its location set against the parent buildings closet wing and adjacent blank party wall would be of no detriment to the amenities of adjoining occupiers in terms of access to sunlight, daylight, visual bulk, sense of enclosure or privacy.

3.2 The impact and associated domestic use of the glazed infill extension, in respect of light pollution, would not be detrimental, particularly given its proximity and orientation to adjacent neighbouring windows.

Recommendation: **Grant Planning Permission and Listed Building Consent subject to Conditions**

### **DISCLAIMER**

**Decision route to be decided by nominated members on Monday 23<sup>rd</sup> November 2015. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.**

Mr. Christian Ducker  
Gundry Ducker Architecture  
No3 Garrick St. London London  
WC2E 9BF United Kingdom

Application Ref: **2015/4596/P**  
Please ask for: **Gideon Whittingham**  
Telephone: 020 7974 5180

16 November 2015

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Householder Application Granted

Address:  
**6 Rothwell Street**  
**London**  
**NW1 8YH**

# DECISION

Proposal:

Erection of infill extension located at rear basement floor level and associated elevational alterations

Drawing Nos: 257. OS\_MAP, 257. Site Plan, 257.EX.01, 257.EX.02, 257.EX.03, 257.EX.04, 257.EX.05, 257.EX.06, 257.EX.07, 257.EX.08, 257.EX.09, 257.GA.01 Rev A, 257.GA.02 Rev A, 257.GA.03 Rev A, 257.GA.04, 257.GA.05, 257.GE.01 Rev A, 257.GE.02, 257.GS.01 and 257.GS.02 Rev A.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans [257. OS\_MAP, 257. Site Plan, 257.EX.01, 257.EX.02, 257.EX.03, 257.EX.04, 257.EX.05, 257.EX.06, 257.EX.07, 257.EX.08, 257.EX.09, 257.GA.01 Rev A, 257.GA.02 Rev A, 257.GA.03 Rev A, 257.GA.04, 257.GA.05, 257.GE.01 Rev A, 257.GE.02, 257.GS.01 and 257.GS.02 Rev A.]

Reason: For the avoidance of doubt and in the interest of proper planning.

#### Informative(s):

- 1 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>



Yours faithfully

Director of Culture & Environment

**DRAFT**

**DECISION**

Gundry Ducker Architecture  
No3 Garrick St.  
London  
WC2E 9BF United KingdomApplication Ref: **2015/5579/L**  
Please ask for: **Gideon Whittingham**  
Telephone: 020 7974 5180

16 November 2015

**DRAFT**

Dear Sir/Madam

**DECISION**

Planning (Listed Building and Conservation Areas) Act 1990

**Listed Building Consent Granted**Address:  
**6 Rothwell Street  
London  
NW1 8YH****DECISION**

## Proposal:

Erection of infill extension located at rear basement floor level and associated elevational and internal alterations

Drawing Nos: 257. OS\_MAP, 257. Site Plan, 257.EX.01, 257.EX.02, 257.EX.03, 257.EX.04, 257.EX.05, 257.EX.06, 257.EX.07, 257.EX.08, 257.EX.09, 257.GA.01 Rev A, 257.GA.02 Rev A, 257.GA.03 Rev A, 257.GA.04, 257.GA.05, 257.GE.01 Rev A, 257.GE.02, 257.GS.01 and 257.GS.02 Rev A.

The Council has considered your application and decided to grant subject to the following condition(s):

## Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



- 2 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Culture & Environment

**DECISION**