

197 ALBANY STREET, REGENT'S PARK, LONDON, NW1 4AB

DESIGN AND ACCESS STATEMENT & HISTORICAL ASSESSMENT



1.00 Summary

Submission of Listed Building Consent for:

The variation of the associated internal amendments to the granted Listed Building Consent number 2013/7050/L

The application proposes a slight alteration to the previously approved internal distribution of 197 Albany Street. We do not wish to modify the existing permissions for the Mansard or Roof Terrace which will have no material changes from the original proposal.

In the original application there were extensive changes to the existing internal layout of the house. We would likely to keep the existing distribution of the LG, Ground Floor and First Floor and this proposal seeks Listed Building Consent to **alter the distribution to the Second Floor**. Whilst the majority of the partitions we would like to move already have permission, through LBC 2013/7050/L, to be removed and new partitions build, we are now requesting the movement of one additional partition wall. We would also like to keep the existing family bathroom in its current location but to make it slightly smaller to accommodate the approved proposed staircase from the second to the third floor.

As per the feedback from the Conservation Officer as part of the consultation process for 2013/7050/L:

*“The layout **at second floor level** has also previously been altered, with modern bedrooms and bathrooms. The current proposals include yet further remodelling of new bathrooms to the bedrooms. However, it is considered that as the original layout and historic fabric has been long lost, and the fact that this is not a principle floor, the Conservation Officer is satisfied that the works would not harm the special interest of the building.”*

We therefore trust that these new amendments will not be significant either. Our proposal for the reconfiguration of the second floor is not as extensive as previously requested and granted

2.00 Existing Site

The site is located in the London Borough of Camden within the Regents Park Conservation Area. The site, which is on Albany Street, is in close proximity to Regents Park. There are good transport links to other parts of London via bus, underground and road. The nearest Underground stations to the site are Camden Town (Northern Line) and Great Portland Street (Metropolitan, Circle & Hammersmith lines).



Legend

- 1. 197 Albany Street
- 2. Albany Street
- 3. Regents Park
- 4. St Katherine's Precinct
- 5. Park Village West
- 6. Royal Artillery Barracks

Site Context

Both sides of Albany Street are predominantly residential. Most residential properties are terraced. The architectural style of the properties is predominantly Georgian. They vary slightly from house to house but they all form a unique grain with complementary proportions and uniform materials.

St Katherine's Precinct is nearby in Regents Park. Park Village West is over Albany Street, neighbouring the Royal Artillery Barracks.

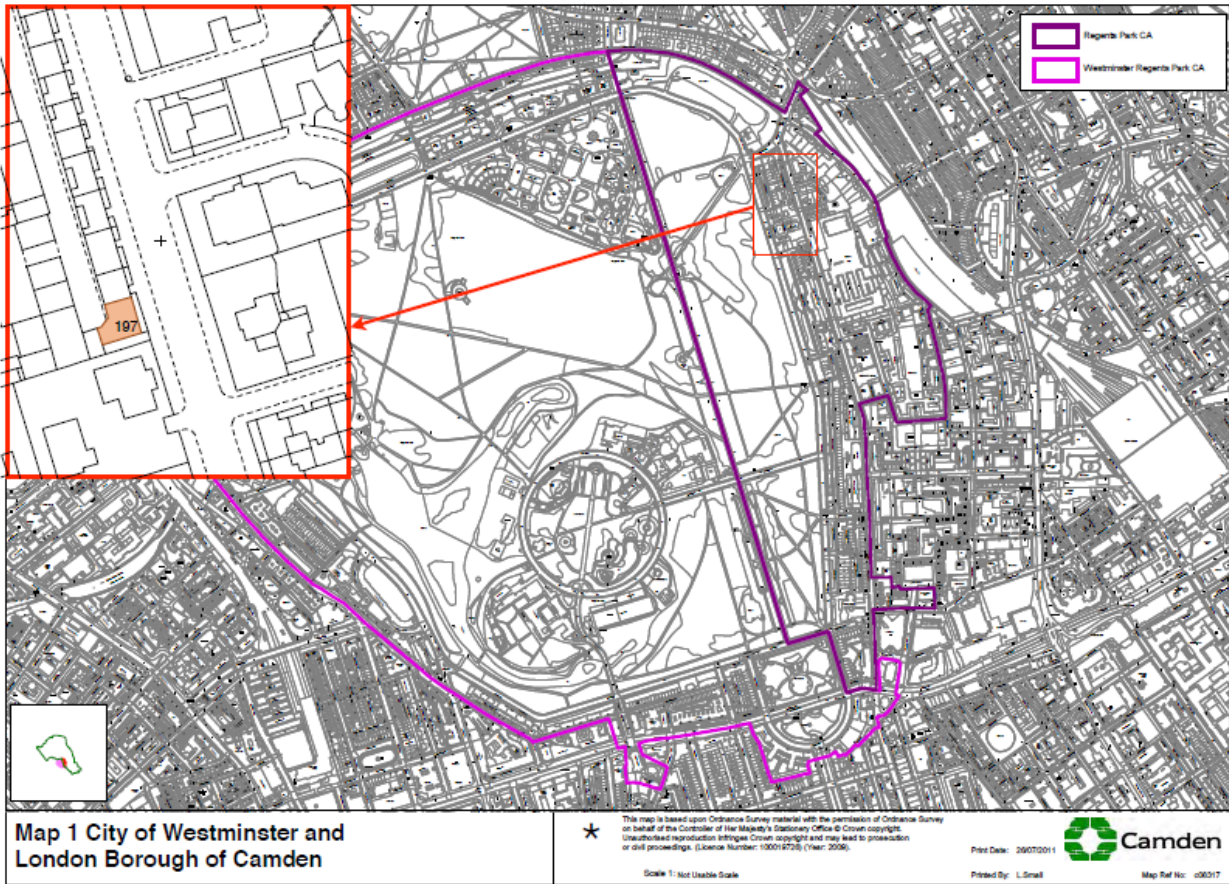
Conservation Area Analysis

The Regent's Park Conservation Area covers the eastern segment of John Nash's early 19th century Regent's Park development. It is a small part of a greater scheme that extends to the west into the City of Westminster, and comprises a unique planned composition of landscape and buildings, at once classical and picturesque.

The significance of the Regent's Park area is of national and international importance. The comprehensive master planning of the park, terraces, villas and the (largely redeveloped, but still appreciable in plan form) working market and service area served by canal to the east was on an unprecedented scale of urban design in London. The integration of all elements of a living area, from aristocrat to worker, from decorative to utilitarian, in a single coherent scheme were exhibited here. It is his "Grand Design" that sets the architectural and historic value of The Park today.

On approaching the conservation area from the Park the terraces emerge over the trees; here is the city in the country. On approaching from the south Regent's Park is the culmination of Regent's Street, Portland Place and the wineglass shape of Park Square; here is the country in the city.

Park Village East and Park Village West are picturesque precedents for the small suburban villa, closely set in a variety of styles that were to become so popular with the Victorians. The service area, whilst largely redeveloped in the 20th century, is preserved in the layout of later development, and the physical remains of the canal and basin to the east of Albany Street.



2.1 Historical Context

Heritage Building Assessment

The property lies within Regents Part Conservation Area and has the typical features of a semi-detached Victorian house.

The house is a three story end of terrace property with basement. The Front door is accessed via a gated courtyard from Albany Street.

There is a garage and Gloucester Gate Mews to the rear.

The house has undergone many alterations and there are few original features remaining.

The main alterations have been:

1. There was a Mansard 3rd Floor within a Mansard Roof demolished in 1969

2. There was an infill building and main entrance covering the side courtyard demolished in 1969
3. The ground floor entrance hall and main room was altered at the same time
4. **The second floor front room was subdivided at some stage**

1969 photographs show the building extending at ground floor level over the Southern passageway with a first floor glazed conservatory covering the two Southern windows at first floor level.

The South face of the building extends well above parapet level enclosing what appears to be an additional mansard storey at third floor level.

The extended wall is terminated with six flues and a further two flues are clearly visible which would appear to be on the Western wall of the extension.



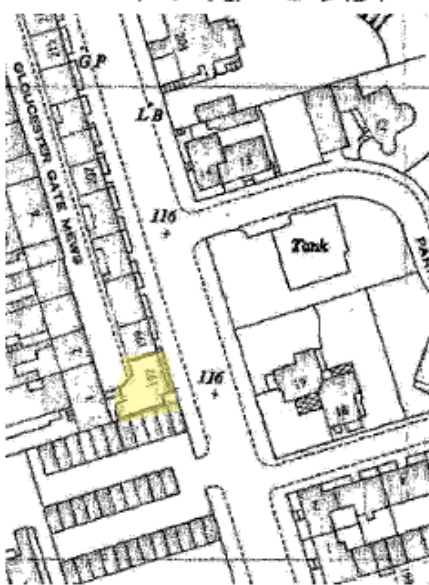
2.2 Historical Maps Showing changes to the side courtyard

Historical sequence of changes to the layout of 197 Albany Street NW1 4AB

Side courtyard completely infilled, main entrance at front
1870



Side courtyard completely infilled, main entrance at front
1894



Side courtyard completely infilled, main entrance at front
1962



Side courtyard completely open, main entrance at side
2013

- 1870 – This historical maps clearly shows the side courtyard completely infilled, the main entrance must have been through this side extension

- 1894- This historical maps clearly shows the side courtyard completely infilled, the main entrance must have been through this side extension
- 1962 - This historical maps clearly shows the side courtyard completely infilled, the main entrance must have been through this side extension.
- 2013 – This current OS Map shows the side courtyard completely open, the main entrance through the courtyard

2.3 Listing Terrace 197-211 Albany Street

“Terrace of 8 houses c. 1830-1840. Stucco, No.197 with rusticated ground floor. Nos 199, 203 & 205 with later slate mansard roofs and attic dormers. 3 storeys and basements; No.197 slightly higher. 2 windows each except Nos 199, 203 & 205 with 3 and No.201 with 4. No.197 with 2 window left return. Square-headed doorways with patterned fanlights and panelled doors. Plain 1st floor sill band. Recessed sashes, upper floors architraved; 1st floor with cast-iron balconies and 2nd floor with lugs under the sills. Cornice and blocking course.”

Listing NGR: TQ2863283380

Grade: II

Date Listed: 14 May 1974

English Heritage ID: 476566

2.4. Past known amendments to 197 Albany Street:

2.4.1 BUILDING REGULATION APPLICATION (1969):

The application was for the demolition of the side and back extension, the removal of the upper floor and major re-arrangement of the ground floor.

The works at ground floor level included the following:

- New entrance door and opening.
- New window and opening to East of entrance.
- New window and opening into Gloucester Park Mews.
- Sub-division of the Ground floor including 3 new doors with a kitchen in the rear room.

These works were also carried out:

- Most architraves were replaced with a standard softwood ogee.

- New cornices fitted to most rooms. All earlier cornices removed.
- New sash windows fitted with spring balances to Ground and First. Some with secondary double glazing. All window shutters removed.
- Existing sash windows fitted with spring balances replacing chords and weights, except for one window at basement level.
- Complete re-plumbing and central heating.
- New floor structure to first floor at least. Timber joists, RSJs, floor boards and plasterboard ceiling.
- Roof replaced with a flat asphalt roof.
- Removal of chimney stacks from the Southern and Western facade and reduction of external wall to front parapet level.

2.4.2. Planning Application and Listed Building Consent (2004)

- LG Floor - Kitchen and Utility Room was repositioned and made new; Existing partition wall and door between kitchen and utility room was demolished; Existing door to kitchen was removed and doorway widened
- Ground Floor – Partition wall between stairs and reception room was demolished.
- **Second Floor** – Partition between original bathroom and bedroom was removed in part and new door opening made; all sanitary fittings were removed and new ones installed; the wall and door in the hallway/bedroom 3 was demolished. New partition wall and door openings were made. A cupboard in the landing and sloped ceiling were removed.

Conclusions:

The property has over the years been extensively modified and re-modified and very few elements within the building are original.

The property was extended with a new mansard roof in line with the rest of the terrace however this was removed in 1969-70.

The entrance arrangement was completely modified and the porch/hall and conservatory were demolished.

Almost everything within the building has been either replaced or modified over the years.

- Cornices, plasterwork and mouldings have been almost completely replaced throughout the building.
- The roof has been replaced with a flat asphalt roof.

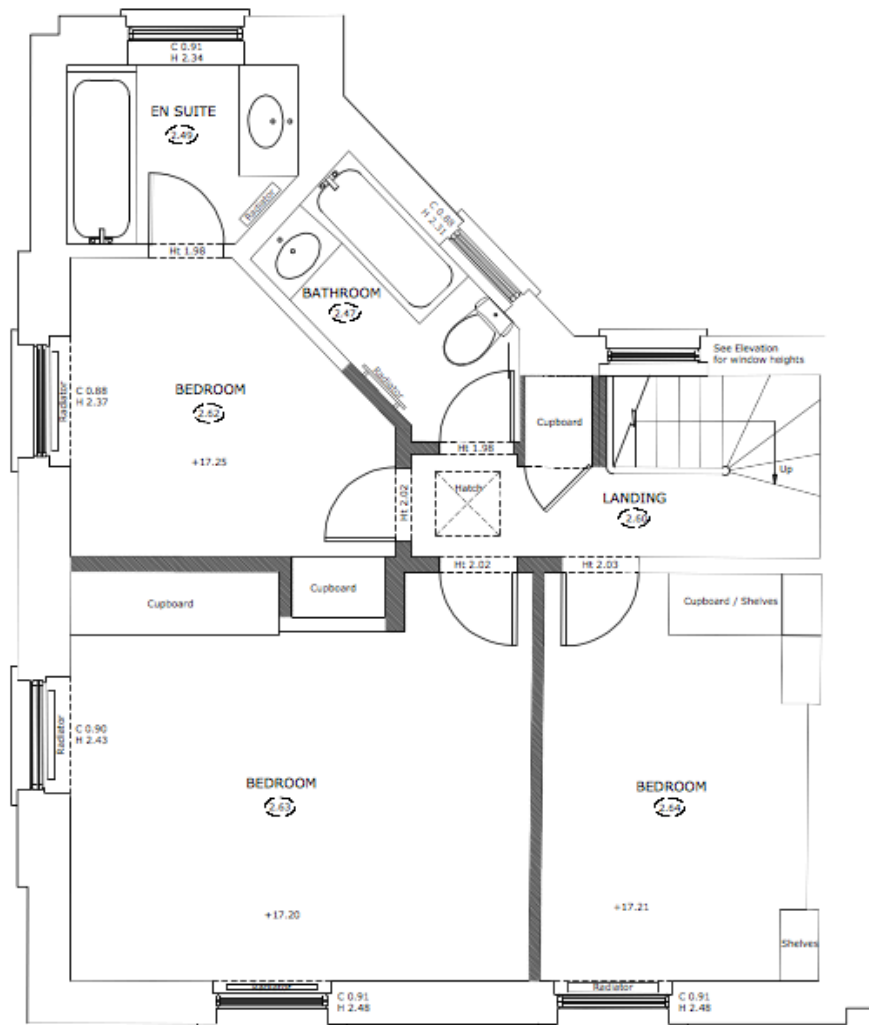
- The chimney stacks have been removed from the Southern and Western facade and reduction of external wall to front parapet level
- The chimney piece at first floor level is certainly early, however there is no fire grate, the floor has been tiled into the fireplace, the inside lined with blocks and the floor it is on was probably completely replaced in 1969, there is therefore a likelihood that it has been re-positioned.

The proposed works are contained within the existing external envelope of the main building. There will be no loss of amenity as a result of the works. During the course of the works all efforts will be made to reduce any inconvenience to the neighbours. The works to the buildings will be subject to a Licence to Alter prepared by The Crown Estate which limits the hours of work and more particularly controls and limits any potential noisy building operations to specific times of day.

3.0. Variation to existing Listed Building Application (2013/7050/L)

Listed Building consent has already been obtained for an extensive remodelling of the Second Floor Plan. This new application seeks consent for a more modest reconfiguring of the Second Floor. Contrary to the previous application, we propose to maintain the location of the current bedrooms and bathrooms but alter slightly the wall positioning to make better use of the space for current modern day living.

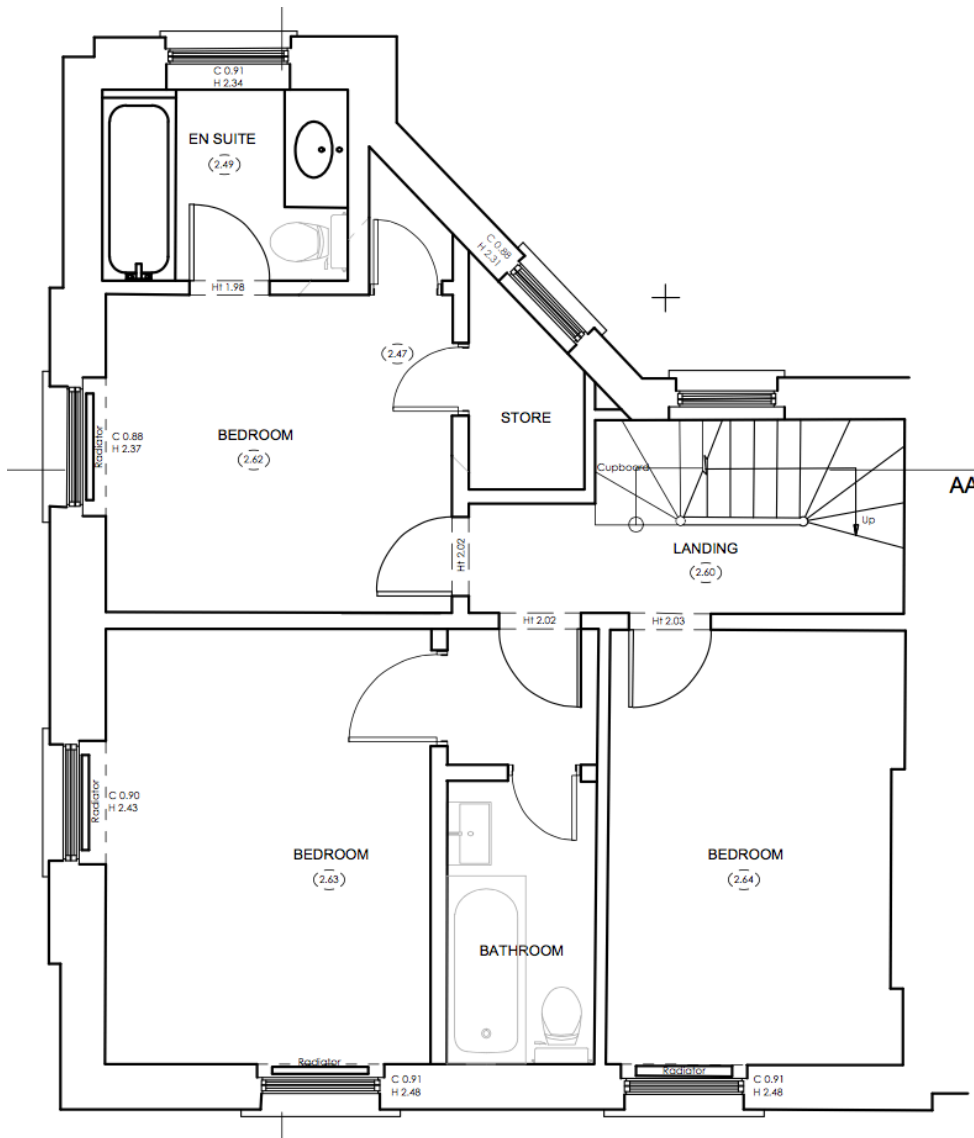
3.1. Existing Second Floor



The existing second floor layout consists of three bedrooms accessed via a communal landing. There is one bathroom located to the rear accessible from the landing and an en-suite bathroom for the smallest of the three bedrooms. The floor is accessible via a staircase located in the northwest corner towards the rear of the property. A cupboard has been built over the existing staircase

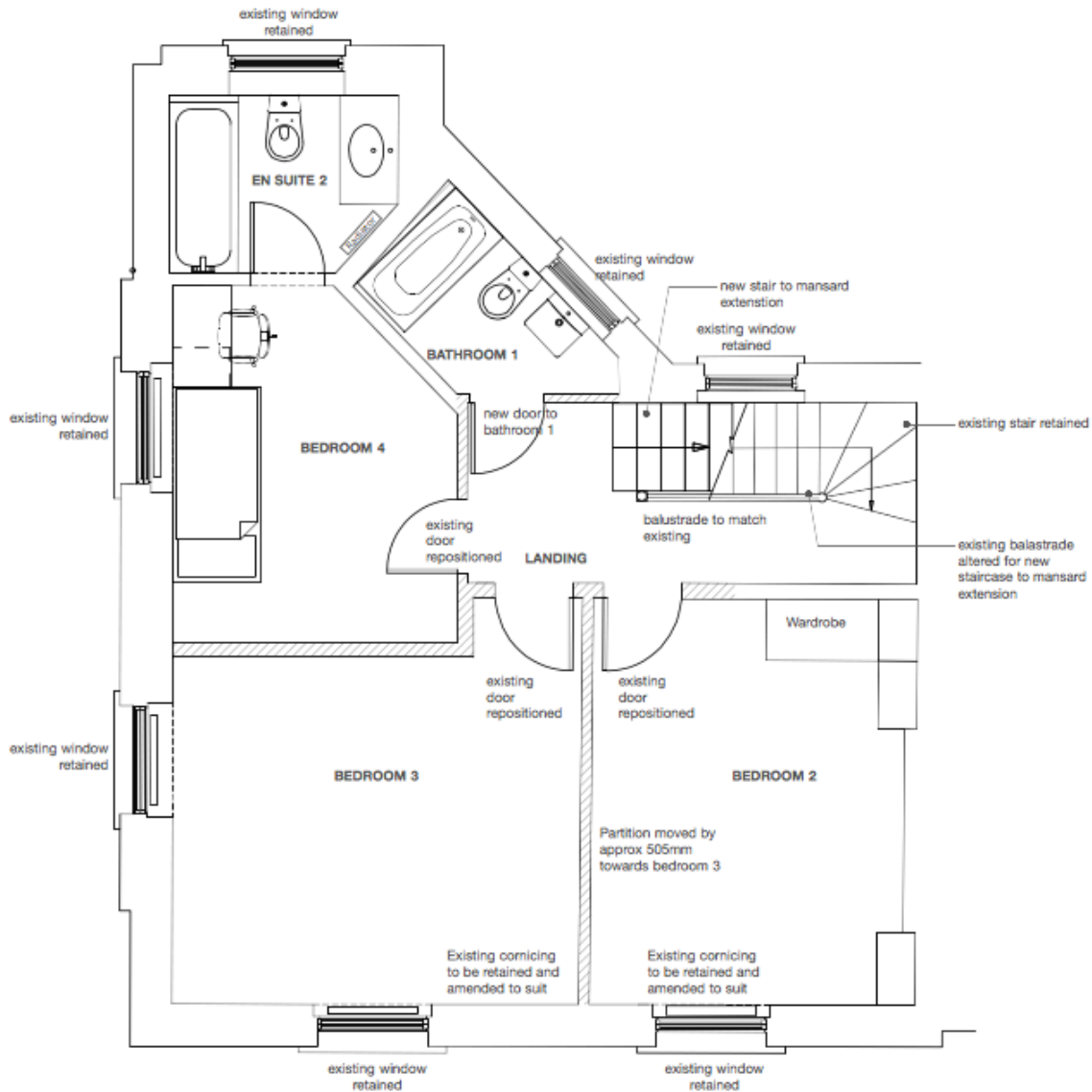
causing some awkward junctions with the balustrade and beading below. The hatched areas on the above plan indicate the proposed walls to be altered as part of this application.

3.2 Alterations to second floor as per approved Listed Building Consent (2013/7050/L)



The above plan shows the layout that obtained listed building consent in January 2014 (LBC: 2013/7050/L). The majority of the walls have been reconfigured to allow the family bathroom to be relocated between the two front bedrooms, for the new staircase to the upper floor, reconfiguring of the en-suite and for an increased sized third bedroom with store cupboard.

3.3 Second Floor proposed alterations



Our current proposal allows for the existing bedrooms and bathrooms to remain in the current locations which will reduce the impact on the floor. The positioning of the internal walls have been amended to:

- allow for the new staircase to the mansard roof to be accessed from the landing (*approved*)
- increase slightly the size of bedroom 2 by moving the partition by approx. 505mm. (*new*)
- increase slightly the size of bedroom 3 by losing the built in joinery (built in 2005/2006) (*variation to what is approved*)
- amending the access to bathroom 1 in order to maintain a hinged door in the style to match the current doors on the second floor (*variation to what is approved*)

- the ensuite remains unaltered.

These alterations allow for three similar sized bedrooms

4.0 Assessment

The following assessment is undertaken using the customary scale of assessment of the change as Negative – Neutral – Positive and the potential for qualifying the degree of change as Major or Minor for each change other than Neutral

Floor	Works	Consideration	Assessment
Second	Demolition of stud partition between bedroom 1 and bedroom 2 and re-construction of the stud partition approx. 505mm into bedroom 2.	Improved distribution of space to suit family requirements. Major.	Positive
Second	Partial Demolition of Family bathroom to incorporate the stairs with reconfiguring the space.	This is a less drastic solution than what was originally approved (which included demolition of entire wall). Removal of non-original fabric (this partition wall was made in 2005/2006). Minor	Positive
Second	Removal of wardrobes between bedroom 3 and 2 and shifting half the wall to the position where the other half the wall currently is.	This is similar to the approved original proposal but will further improve the space of bedroom 3 to create 3 similarly sized bedrooms. The existing wardrobes were created in 2005/2006 and are not original. Major.	Positive

Landscape

There are no landscape issues associated with this application.

Use

The use of the residential property as a single-family dwelling remains unaltered.

5.00 Details to Discharge Conditions for Listed Building Consent

Please refer to document 020_161115_DofC for the information provided for the discharge of conditions pertinent to Application Reference: 2013/7050/L

6.00 Conclusion

197 Albany Street has had many modifications across the years and almost nothing original remains inside the property. This is particularly relevant in the second floor. During the approval process for the 2013/7050/L application it was confirmed that the second floor no longer has its original layout or any significant historic fabric. The proposed works in this application are mainly a variation on this application (2013/7050/L) granted in January 2014. Given that the changes suggested in this application, in relation to the existing permission, are minor in nature, that they represent an improvement in the distribution of space with no harm to the significance of the listed building or to the character and appearance of the conservation area and that this is not a principal floor we trust that the London Borough of Camden will not have any difficulty in approving the application as submitted.