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26 Belsize Grove

DESIGN & ACCESS STATEMENT

Prepared on behalf of Alisa Pomeroy & Jonathan Magid

28 September 2015

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Introduction

1: INTRODUCTION

26 Belsize Grove

This Design and Access statement is submitted on behalf of Jonathan Magid and Alisa Pomeroy of 26 Belsize Grove. The proposal is for the refurbishment, extension and alteration to a end of terrace property.

This statement sets out the proposal in the context of the relevant national and local planning policy. The statement will explain and consider issues relatng to the design and impact of the proposal as well as the impact on the local amenity and neighbouring properties.



Fig.1 - Location Plan (present day)

2: BACKGROUND:

34 Downshire Hill

26 Belsize Grove is a Grade II listed property which sits at the end of a terrace, constructed between 1825 and 1826. The Grecian-inspired terrace was originally known as Haverstock Terrace and this particular house was originally named 7 Haverstock terrace

The Listing description for the terrace nos. 26-38 is as follows:

Nos. 26-38 (Even) Belsize Grove 798-1/51/84 (East side) and attached railings

Grade: II

Date Listed 14/05/74

Symmetrical terrace of 7 houses. 1825-6 Built by George Crane [Grane]. Stucco. Slate mansard roofs with dormers except central house, No.32, having attic storey and pediment. 2 Storeys, attics and semi-basements. 3 windows each. Square-headed architraved doorways with overlights and part-glazed panelled doors. Architraved sashes, 1st floor with pilaster strips rising from 1st floor band and supporting simplified entablature with projecting cornice; No32 with lugged architraves. Battlemented blocking course with cast-iron balustrades in front of dormers. No.32 with a fibreglass head of Hope replacing the original in the pediment.

INTERIORS: not inspected.

SUBSIDIARY FEATURES: attached cast iron railings to areas.

Walls and gate piers to Nos.26-38 Belsize Grove

Grade: II

Date Listed 14/05/74

Front garden walls and gate piers c.1825-6. Built by George Crane, Stucco walls, Nos.26,28 & 32 (qv) with balustrades. Gate piers, mostly with pyramidal caps.



Fig.3 - Aerial view (front)

3: Site Orientation

The house is set back from the street front and has a good sized front garden.

To the rear, there is an extensive garden which is walled on both sides. The garden does not generally overlook any adjacent properties.

Beyond the rear garden is the Antrim Grove Allotments.

The house sits opposite a 4 storey 20th century residential block, Gilling Court.



Fig.4 - Aerial view (side-rear)

4: PLANNING HISTORY:

26 Belsize Grove

The planning history of No.26 primarily concerns garden work, being, as it is, within the main Belsize Conservation Area with Tree Preservation Orders (TPOs) on many of the trees.

Also of note is that No. 26 is not mentioned under Article 4, exempting properties with a Conservation Area of its Permitted Development Rights.

19/05/2015 Approved removal of Oak branch
(Ref- 2015/3056/T)

26/02/2014 Approved prune of Lime tree
(Ref- 2014/1517/T)

28/08/2008 Approved Robina reduced crown
(Ref- 2008/4133/T)



Fig.5 - Historic photograph (1951)



Fig.6 - Historic photograph (c.1984)

5: PLANNING HISTORY: Local Planning & Precedents

30 Belsize Grove

Ref - 2009/1131/L

Listed Building Consent for the neighbouring property was sought and approved in 2009 for the re-modelling and expansion to the rear of the property.

Of particular relevance is the opening up of the rear masonry wall at lower ground floor which constitutes part of the original rear facade of the house at garden level. It was stated that the modest scale of the extension, it is not considered that there would be any harm to the character and appearance of the listed building. Also of note is the lowering of the floor by 300mm.

This extension is of particular relevance as it is of the same scale as that proposed at No.26. But also the demolition and opening up of the walls to the rear of the lower ground floor.

The extension is contemporary and is generally glazed, incorporating a large roof light.

The extension is not dissimilar in size and general arrangement to 26 Belsize Grove and is therefore a very relevant precedent in assessing the proposed works to No. 26 contained within this application document.

The walls highlighted in red were approved for demolition and are the same extent of which we seek approval for.

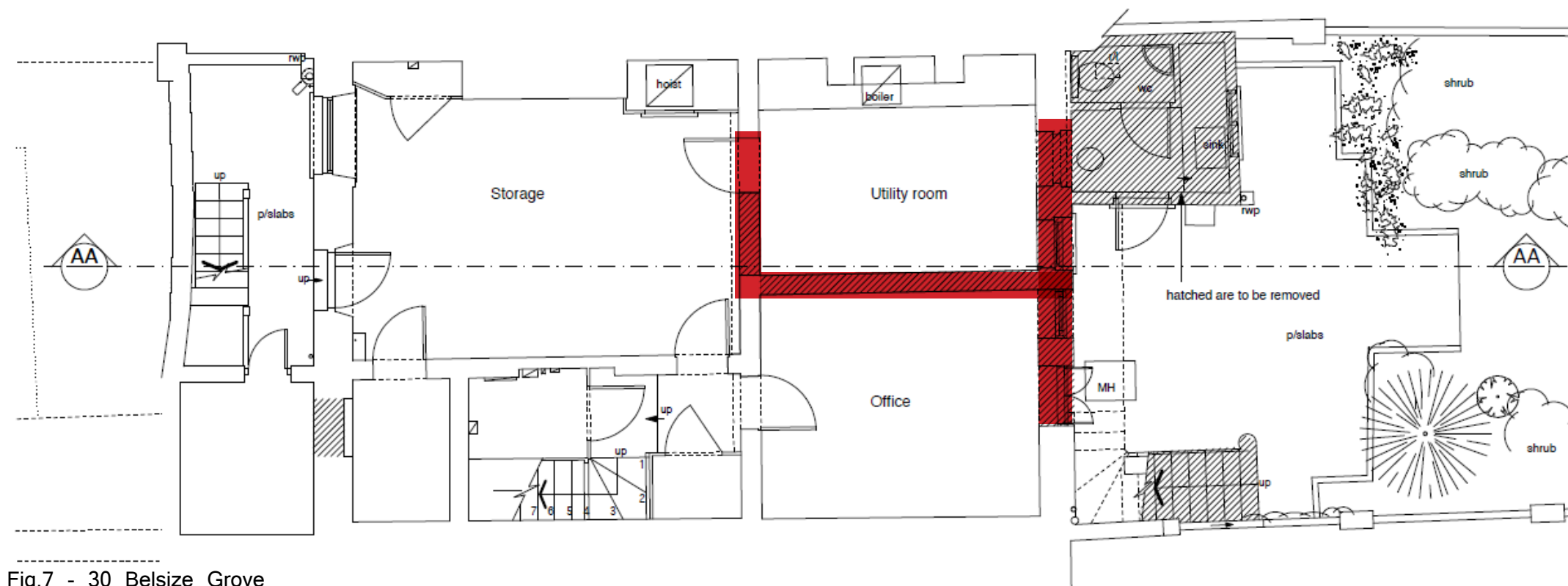


Fig.7 - 30 Belsize Grove
Existing lower ground floor plan

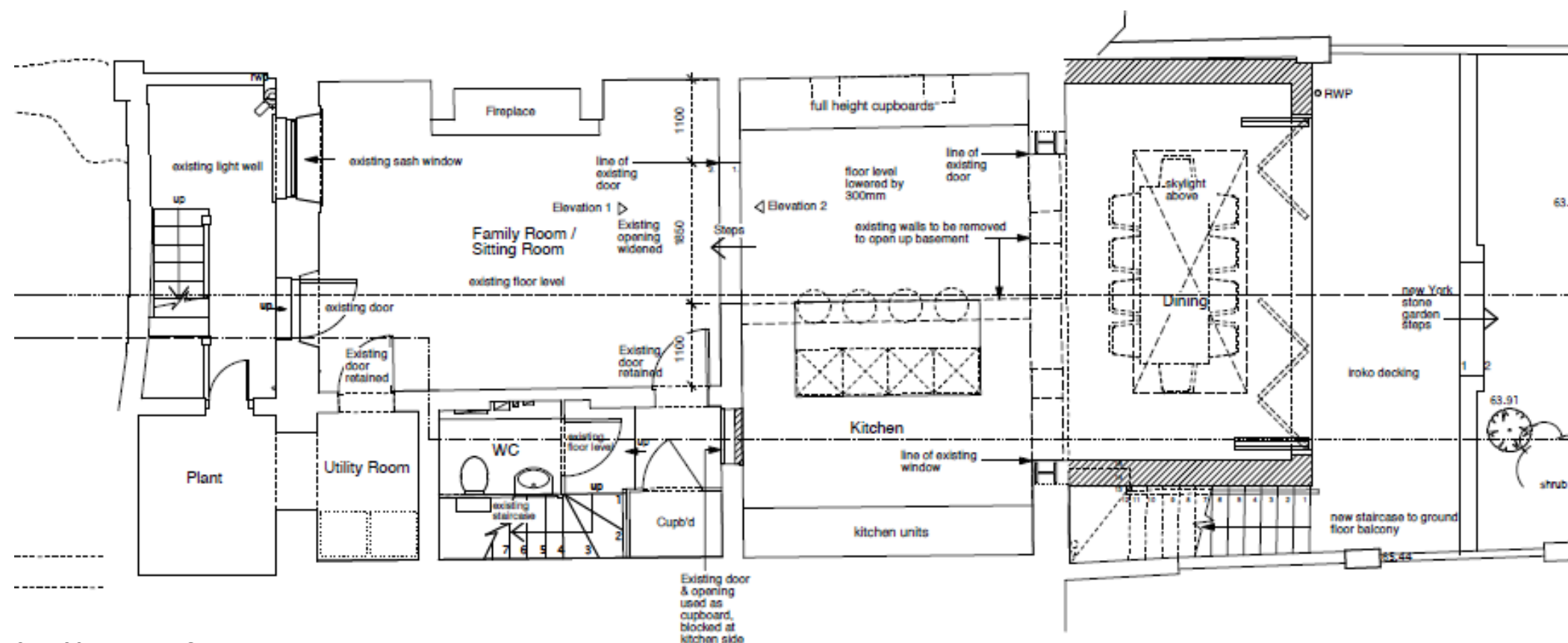


Fig.8 - 30 Belsize Grove
Proposed lower ground floor plan

5: PLANNING HISTORY: Local Planning & Precedents

34 Belsize Grove

Ref - 2010/0023/P
2010/0025/L

Listed Building Consent for the neighbouring property was sought and approved in 2010 for the re-modelling and expansion to the rear of the property.

The proposal is very similar to that of No.30 2009/1131/L

Again, of particular relevance is the opening up of the rear masonry wall at lower ground floor which constitutes part of the original rear facade of the house at garden level. It was stated that the modest scale of the extension, it is not considered that there would be any harm to the character and appearance of the listed building. Also of note is the lowering of the floor by 300mm.

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On the ground floor, removal of the wall for a new set of doors between the two principal reception rooms was given approval.

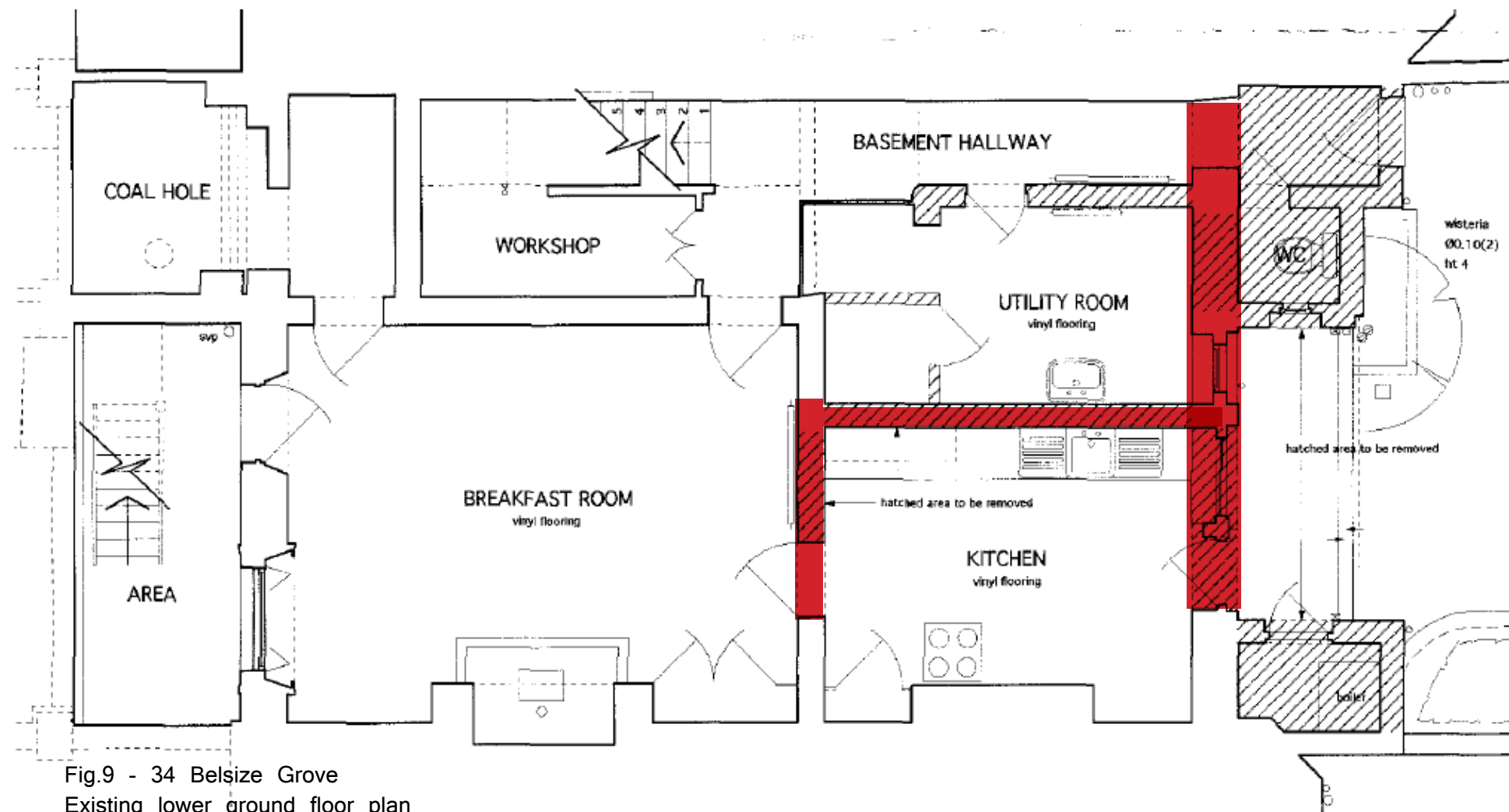


Fig.9 - 34 Belsize Grove
Existing lower ground floor plan

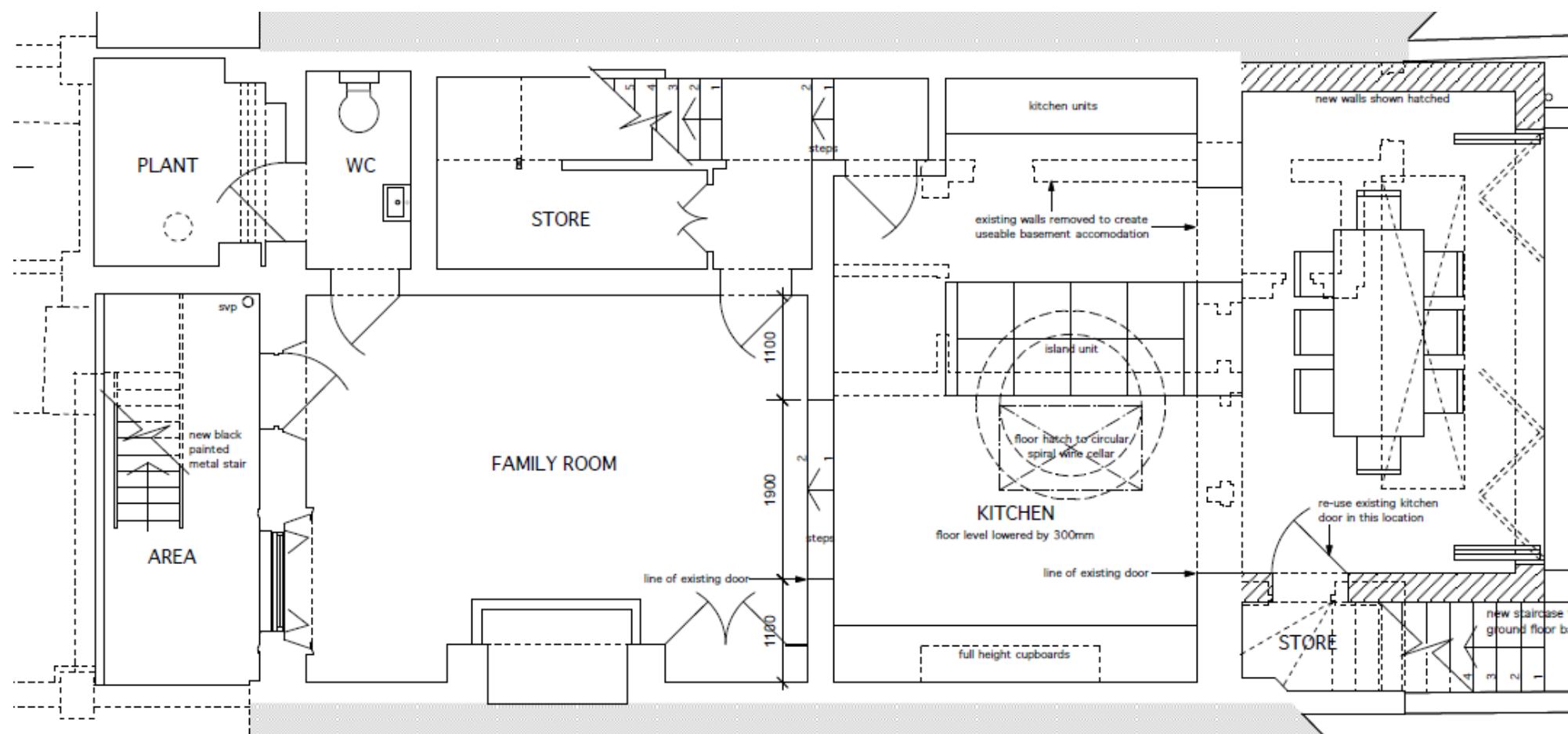


Fig.10 - 34 Belsize Grove
Existing lower ground floor plan

6. Existing Conditions

The existing internal condition of the house is not well preserved. The house has undergone many regretful alterations during the 20th century. This is expanded on in the heritage report prepared by Donald Insall Associates, but the majority of remaining historical features can be found on the relatively unchanged ground floor.

Ground Floor

On entry, the lobby has been heavily altered by the insertion of a lift. Modern linoleum lines the floor and no cornice is noted.

The ground floor features the original staircase, with a simple panelled lining and stick balusters and hardwood handrail. The original 6 panel doors, architraves can be found leading in to the 2 principal rooms.

The front reception room features original skirting, window shutters and architraves. Late 19th century replacement 4/4 timber sashes face the street, with original panelling below. There is no cornice. The fireplace has been blocked up with a modern gas burner.

The rear reception room is more intact, featuring window shutters over the large french doors. A large chimney breast, with a timber chimney piece with rose bosses. Adjacent is a service bell. The ceiling has a decorative original cornice, with egg and dart featuring rose bosses floral frieze. Some water damage is present.



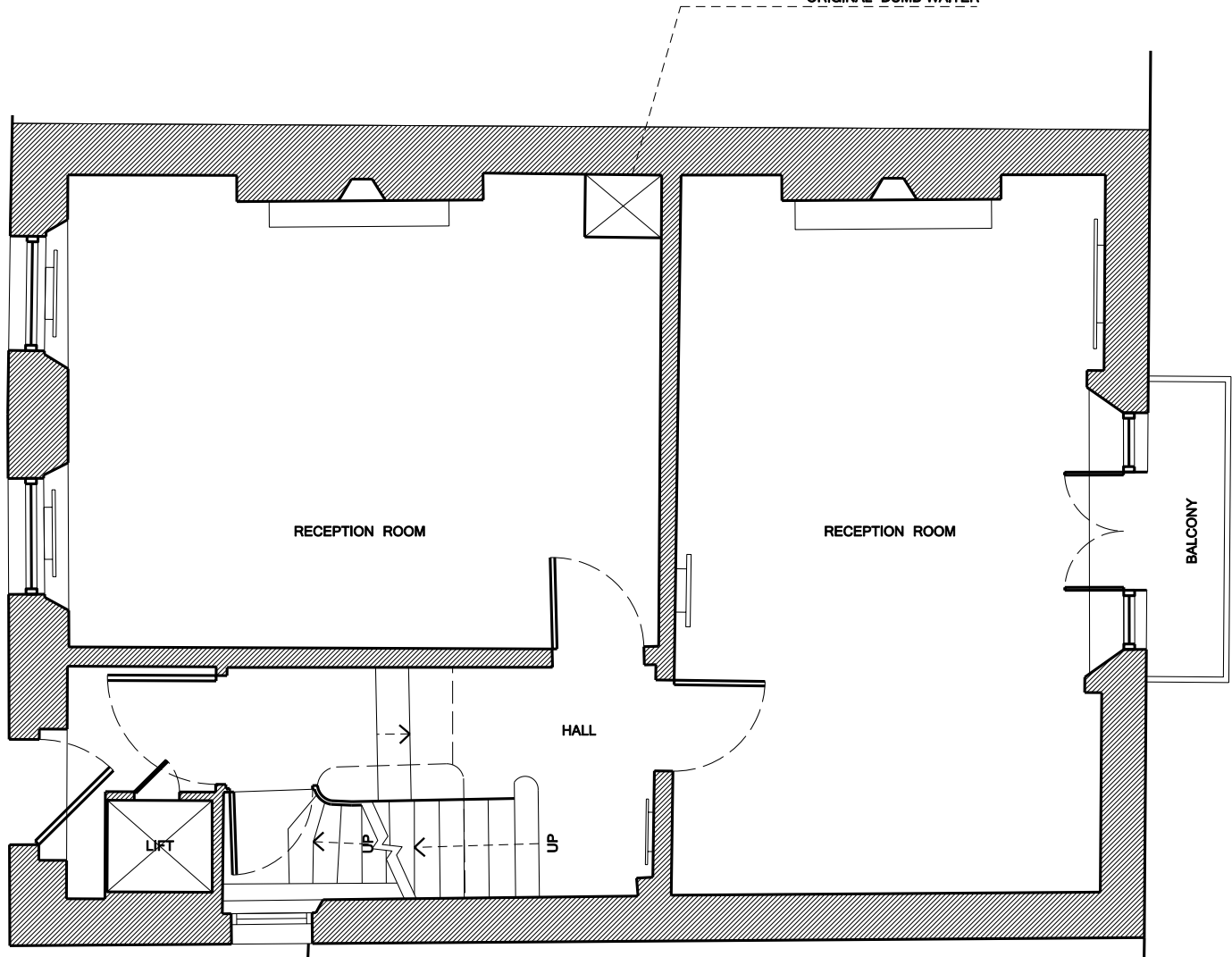
Fig.11 - View towards front door



Fig.12 - Original Staircase
ORIGINAL DUMB-WATER



Fig.13 - French Doors & Timber Fireplace



Existing Ground Floor Plan - N.T.S

Existing Conditions

First Floor

The first floor has been significantly altered and little original features remain.

Arriving from the ground floor via the original staircase, the landing has significantly been altered - in the location of the original staircase up to second floor. A bathroom and separate WC now are in place of the original landing. A mid-20th century staircase runs perpendicular to the original and alters the original bedrooms severely.

The bedroom facing Belsize Grove features a late Victorian door set within a modern architrave, presumably altered during the same period as the modern stair insertion. A modern gas fireplace sits within the chimney. A mismatch of skirtings and no cornice is found in this heavily altered room.

The small room which flanks the bedroom has significantly been altered through the insertion of a lift. Panelling is found within this room and a simple original moulded skirting and simple cornice.

The larger rear bedroom has a late Victorian door and architrave. This room features a simple original cornice and skirting, as well as a picture rail below, all of which is to be retained. There is a Regency chimney piece, with a modern gas fire place set within the blocked up opening.

The smaller room flanking the rear bedroom features a late Victorian door set within a modern architrave. Skirtings and cornices have been damaged and or removed in places as a result of 20th century alterations. There are signs that this was the original bathroom. A replacement 6/6 sash window is set within the original architrave.



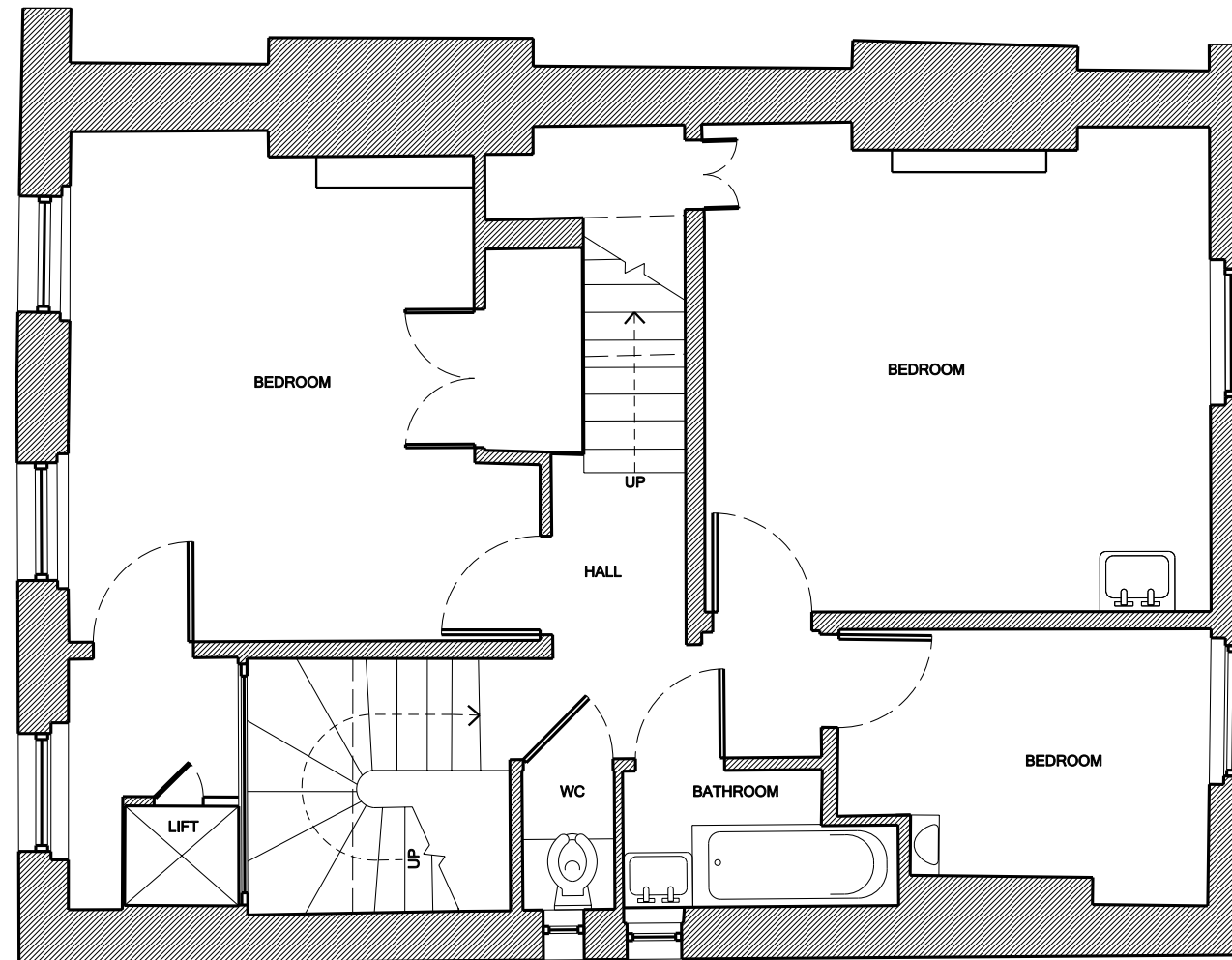
Fig.14 - Rear bedroom



Fig.15 - Front bedroom



Fig.16 - Lift insertion



Existing First Floor Plan - N.T.S

Existing Conditions

Second Floor

The second floor sits within the mansard and has been severely altered in the mid-20th century.

The landing corridor and stair is located in the non-original position, perpendicular to the original location. At the top of the stairs a modern partition creates a small shower room.

Four bedrooms flank this landing. The south-west bedroom is relatively void of historic features, except the skirting.

The bedroom adjacent to this features a four panelled original door which is set within a modern architrave. No cornice is found within this room and plain timber skirtings are present. There is a chimney breast with a Regency timber surround, believed to be original. The opening is blocked and vented.

Across the hall is similar sized room to the previous. Again a four panelled original door is set within a modern architrave. An original 6/6 timber sash winow in the south east wall. No cornice is found and plain skirtings are present. A simple original timber surround is on the chimney breast. The opening is boarded over with a 20th gas fireplace.

The final bedroom has a four panelled door set within a 20th century architrave. A 6/6 timber sash window in the south east wall, with an upper original section and a replacement lower section. No cornice is found and plain skirtings are present. A simple original timber surround is on the chimney breast. The opening is boarded over with a 20th gas fireplace.



Fig.17 - Modern stairwell & original arch

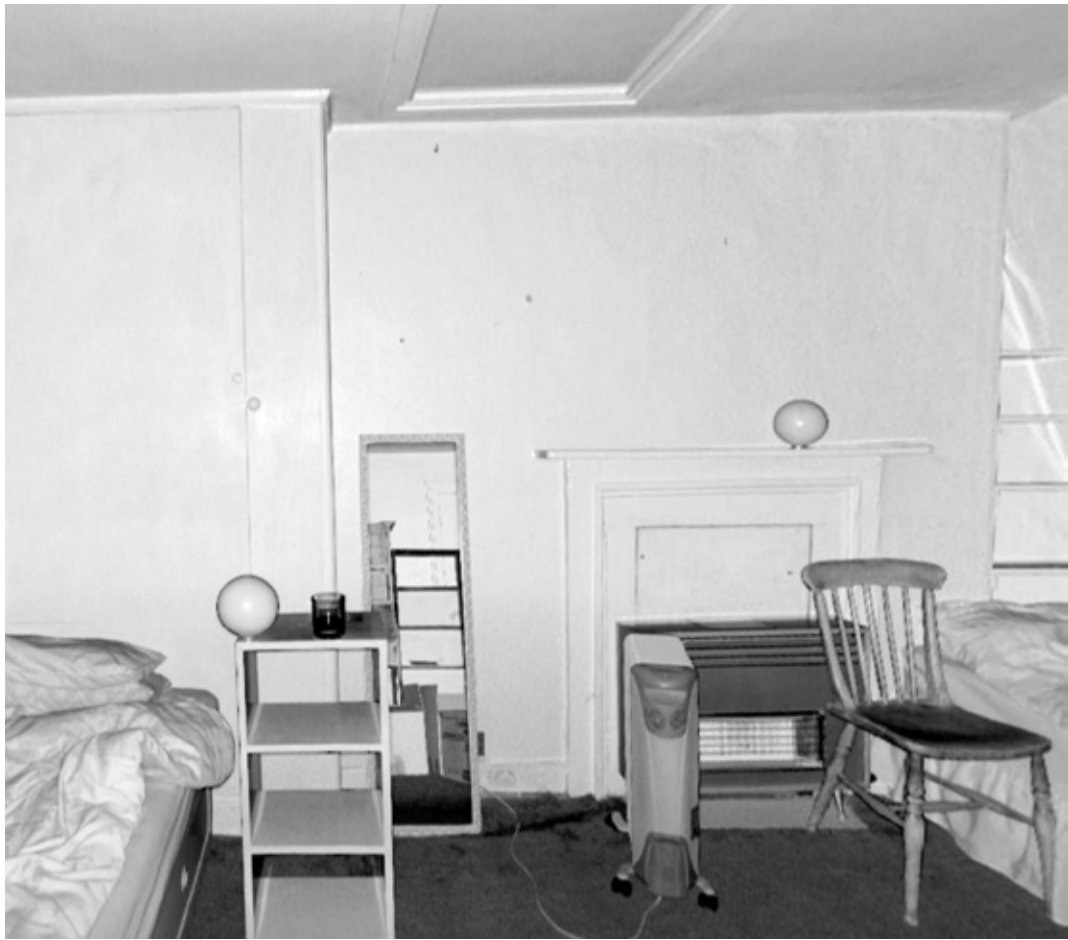


Fig.18 - South Western bedroom



Existing Second Floor Plan - N.T.S

Existing Conditions

Lower Ground Floor

The stairs lead down from the ground floor are of timber construction and panelled walls and moulded timber skirtings.

The kitchen features plain skirtings and various 20th century kitchen units. The original dumb-waiter is in working order in the south western corner. Original architraves remain but there is an absence of doors in the openings.

The living space has chimney breast with blocked opening and modern gas fire inserted. Non-original casement windows sit atop a modern timber sill.

The utility room has no cornice and only a fraction of skirting remains within this room. There is an original architrave but the door has been removed. A 20th century door leads in to the shower room and store room flanking the utility.

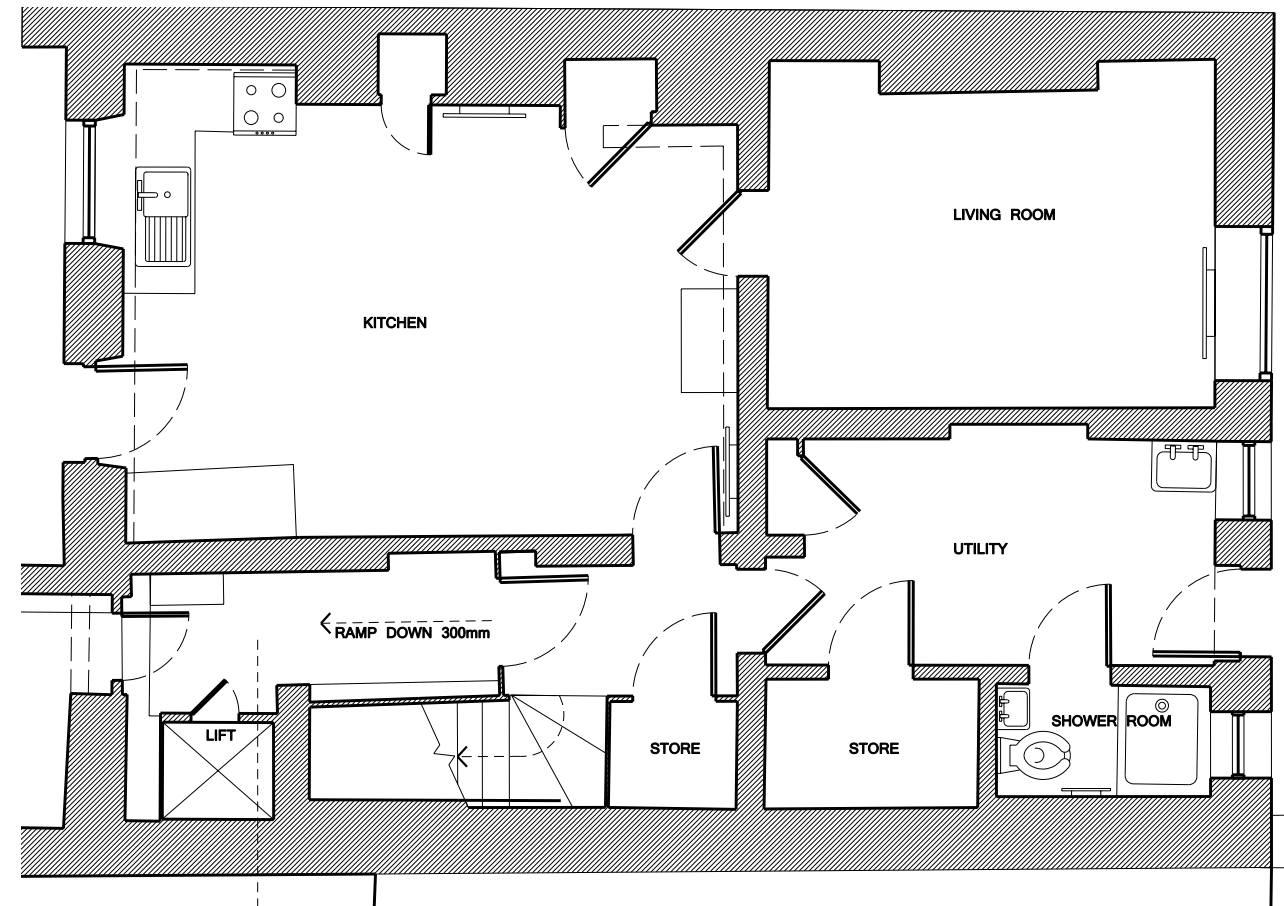
The hall towards the coal store has significantly been altered through the insertion of a lift and lowered floor. This has subsequently created a ramp cutting through the original floor.



Fig.19 - Lowered floor section



Fig.20 - Living room devoid of original features



Existing Second Floor Plan - N.T.S

7. Proposed Works

Lower Ground Floor:

- Proposed extension to the Lower-Ground floor plan into the garden, by removing the muddled openings to the rear.
- The extension is to be one storey high which is largely out of view from the surroundings, due to the Lower Ground level being below street level.
- The extension will be made up of glazed metal doors and have a dark steel cladding finish to the unglazed areas of the extension, these areas are to be kept to a minimum.
- A slender ring beam sits above the steel panels and glazing, giving a very clear break and a tectonic sense of supporting the heaviness of the Georgian brick facade beyond.
- There will be two flat roof lights on the roof of the extension, which will not be visible from the garden. The roof will be timber decked with flush planters. The roof lights, decking and planting will be flush with the top of the parapet. This will not be used as a roof terrace.
- Internally the plan is opened up to allow for modern day living, through the selective demolition of walls. Nibs, bulkheads and doorways have been retained to provide a trace of the original layout and define original proportions.
- The floor will be lowered by 300mm to create a more suitable ceiling height and mediate the existing change in level due to the lift insertion.
- Removal of late 20th century lift.

Ground Floor:

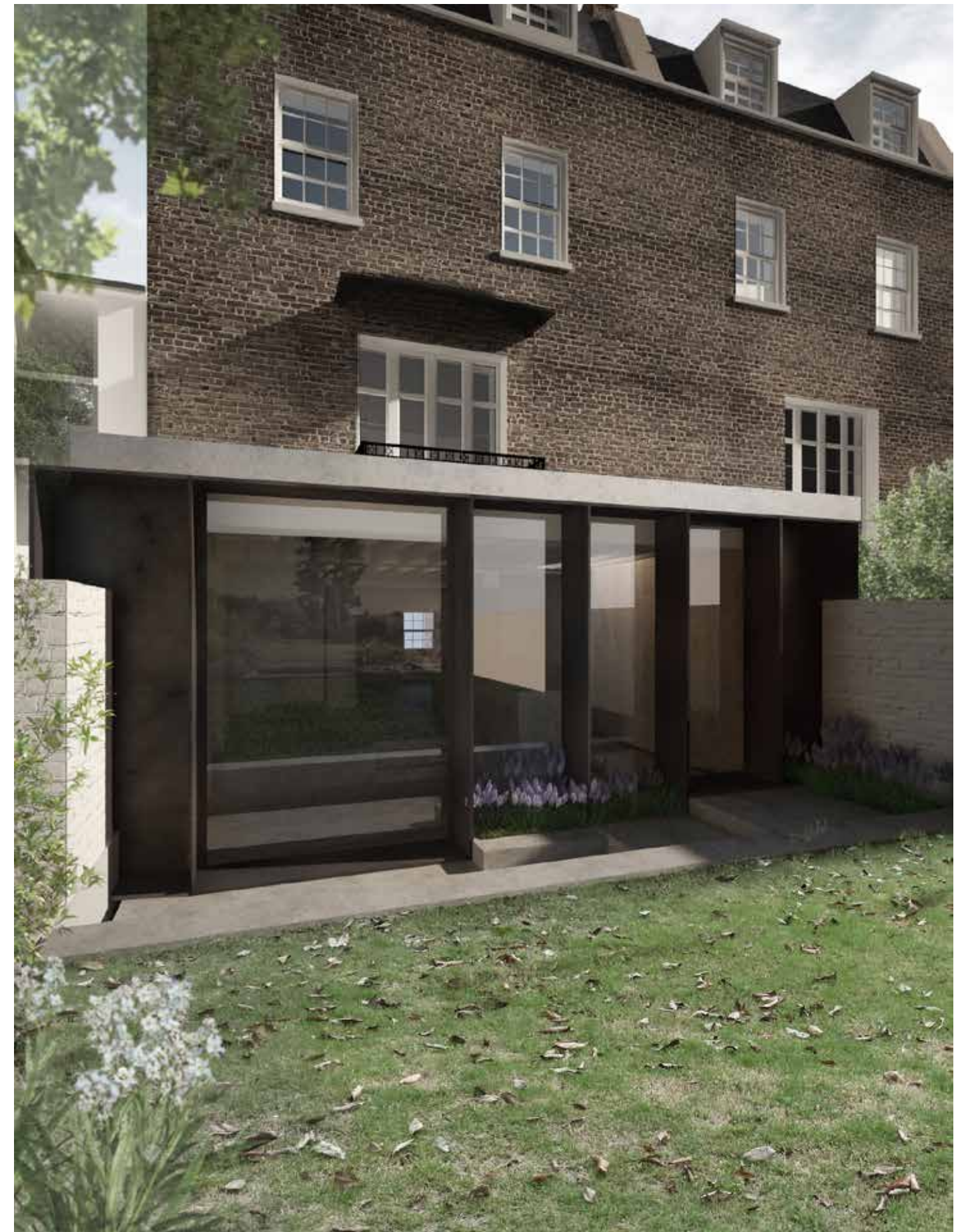
- Opening made between the two reception rooms, with new doors to match existing.
- New 6/6 timber sash windows to match neighbouring original
- New front door to match neighbouring original
- Interior traditional features will be restored or reinstated where possible.
- Removal of lift

First Floor:

- Original staircase reinstated
- Plan simplified to two bedroom, one bathroom
- Interior traditional features will be restored or reinstated where possible.
- Removal of lift

First Floor:

- Original staircase reinstated
- Creation of 4 bedrooms, 1 bathroom and 1 utility room.
- Interior traditional features will be restored or reinstated where possible.
- Removal of lift



Indicative Garden View
Visualisation

8. Planning Policy Assessment

Policy CL3 of the adopted Core Strategy requires that buildings within conservation areas resist substantial demolition in conservation areas. Policy CD63 identifies the requirement to preserve the character and appearance of buildings within conservation areas with regards to the affects that a development has on its streetscape.

Policy CL5 of the Core Strategy highlights the requirement for developments not to compromise or significantly reduce the daylight and sunlight of adjacent buildings and that buildings should achieve high standards of amenity.

Policy CL6, and perhaps the most relevant to the proposal, requires that alterations and additions are of a high quality design and that they do not harm the existing character and appearance of the building and its context.

The proposed development falls within the guidelines contained in the above named policy documents.

9. Protection of Heritage Assets

The existing and historic architectural features of the property are being retained in the proposed scheme. The extension roofline height and shape are in keeping with the neighbouring extended properties which maintains the uniform appearance along the terrace of Belsize Grove.

The existing appearance of the front facade will remain the same except for the replacement of Victorian windows and doors with timber replacements to match the neighbouring properties.

The new extension to the rear on the Lower Ground Floor level is of the same footprint to that of the approved proposals at 34 Belsize Grove (2010/0023/P & 2010/00205/L) and 30 Belsize Grove (2009/1131/L). We consider this proposal not to be of a detriment to the character and appearance of the building. The extension cannot be seen from the public highway, due to the drop in levels from the garden / sightlines which we deem to have a minimal effect on the streetscape and neighbours.

The proposed lower ground floor layout means that it is still possible to read and comprehend the composition and massing of the original house from the rear garden. Internally walls have been marked for demolition carefully, to allow traces of the original 19th century layout though nib walls and bulkheads. This subsequently allows the original room proportions to be read and understood.

The demolition works at the upper levels seek to remove the unfortunate mid-twentieth century alterations and reinstate a layout more similar to the original. Most importantly reinstating the staircase and original circulation patterns.

10. Design and Access

For the avoidance of doubt, the following paragraphs address the requirements for Design and Access Statements, using headings set out in national guidance on preparation of such statements.

Use:

26 Belsize Grove is entirely for residential use. This proposal intends to retain the residential use of the property.

Layout:

The proposed layout offers a much improved, open arrangement, Lower Ground floor to first floor levels more effective for modern day living.

Scale:

The additional modern extension accessed via the Lower Ground Floor through to the Garden is modest in scale and has no impact on neighbouring properties in terms of overlooking or daylight issues.

Landscaping:

The landscaping of the front of the house will be unchanged. The new landscaping to the rear garden will be limited to within 2m of the new extension. A small low level timber clad shed will be incorporated in to the design.

Vehicular Links:

The scheme has no impact on transport or traffic levels to the site.

Inclusive Access:

Although by its nature the property does not allow for wheelchair access, the opening spaces through out improves the general internal accessibility of the house. Otherwise, flush flooring thresholds have been maintained where possible.

11. Conclusion

In summary, the proposal seeks to alter and improve the residential use and appearance of the existing property. The extension and alterations to the rear and front facade are modest in nature and scale, and as such do not pose adverse effect upon the surrounding area. Such works to the rear bay look to improve upon former extensions to the original house along with the minor alterations to the front facade.

Within the terrace on Belsize Grove there are several precedents for approved planning applications for similar works to be carried out.

The internal works will be modest and complimentary to the original property.

As the extension is to the rear of the existing building it is mostly out of sight from public viewpoints and as such the subsequent aesthetic effect upon the conservation and the existing building is positive, yet in modest proportion.

We consider that the application proposals are in full compliance with the aims and objectives of the relevant Camden Borough Planning policies and national planning guidance.

For all of the reasons set out in this report, we consider the proposals pass the section 38 test and planning permission should be granted accordingly.