



Environmental Planning
Design & Management

Compliance and Enforcement Team (Camden Council)
London Borough of Camden
5 Pancras Square
c/o Town Hall,
Judd Street London
WC1H 9JE

Our reference 6656
Your reference PWX0202840 / 2003/3532/P
Date 11th November 2015

Dear Sir/Madam,

Maryon Mews, Hampstead, London, NW3 2PU

LUC is acting on behalf of The Maryon Mews Residents Company Ltd who wish to apply to remove condition 3 of application number 2003/3532/P. The full application was approved on 13th February 2004, granting permission for the revised position and height of approved vehicular and pedestrian security gates at 2 existing entrances to Maryon mews from South End Road, as a variation to planning permission (ref: PWX0202840) dated 31.03.03 for erection of security gates at both entrances.

Condition 3 states:

The new gates and posts shall be a maximum of 2.1m high, and they shall be painted black within one month of the date of their installation, and therefore permanently maintained and retained as such.

I enclose the following information to support this application:

- This covering letter and Appendix A documenting crime in the Mews
- A completed removal of condition application form.
- Site Location Plan (Drawing 6656.01.501)
- Existing and Proposed Drawings (Drawing 6656.01.101, Drawing 6656.01.102, Drawing 6656.01.103 and Drawing 6656.01.104)

The fee of £195.00 has been paid via the Planning Portal.

This application seeks to remove condition 3 of planning permission 2003/3532/P in order to regularise the height of the gates and allow for an additional crossbar so as to improve the design of the gates. In 2007 after a series of break-ins in the mews it was decided by the residents group to increase the gates height as CCTV footage proved that the gates were being climbed over by intruders. The gates were increased from 2.1m to 2.82m in height through the addition of simple speared finials. The residents are now seeking an additional crossbar on the gates to minimise the negative visual impact created by the speared finials.

Maryon Mews is situated off South End Road, close to Hampstead Heath station and South End Green. It is a small mews type street consisting of modern mews houses, town houses and parking bays. The

LUC LONDON

43 Chalton Street
London
NW1 1JD
T +44 (0)20 7383 5784
london@landuse.co.uk

LUC BRISTOL

12th Floor Colston Tower
Colston Street Bristol
BS1 4XE
T +44 (0)117 929 1997
bristol@landuse.co.uk

LUC GLASGOW

37 Otago Street
Glasgow
G12 8JJ
T +44 (0)141 334 9595
glasgow@landuse.co.uk

LUC EDINBURGH

28 Stafford Street
Edinburgh
EH3 7BD
T +44 (0)131 202 1616
edinburgh@landuse.co.uk

www.landuse.co.uk

Land Use Consultants Ltd
Registered in England
Registered number: 2549296
Registered Office:
43 Chalton Street
London NW1 1JD

LUC uses 100% recycled paper



FS 566056 EMS 566057

entrance to the Mews fronts South End road, a very busy main road. There are two separate entrances into Maryon Mews, the North entrance and the South entrance. The gates are operated by a long range proximity sensor which allows car drivers to operate the gates from some distance. The houses in Maryon Mews are built behind the main street frontage and almost invisible to the public areas surrounding. Narrow winding pedestrian routes grant access to a series of individual houses. The Mews is a secluded and private residential area offering little public surveillance, making it vulnerable to crime. Along with the gates, security in the Mews is supported by good lighting and CCTV cameras.



Figure 1: North Entrance to Maryon Mews looking from the Mews onto South End road

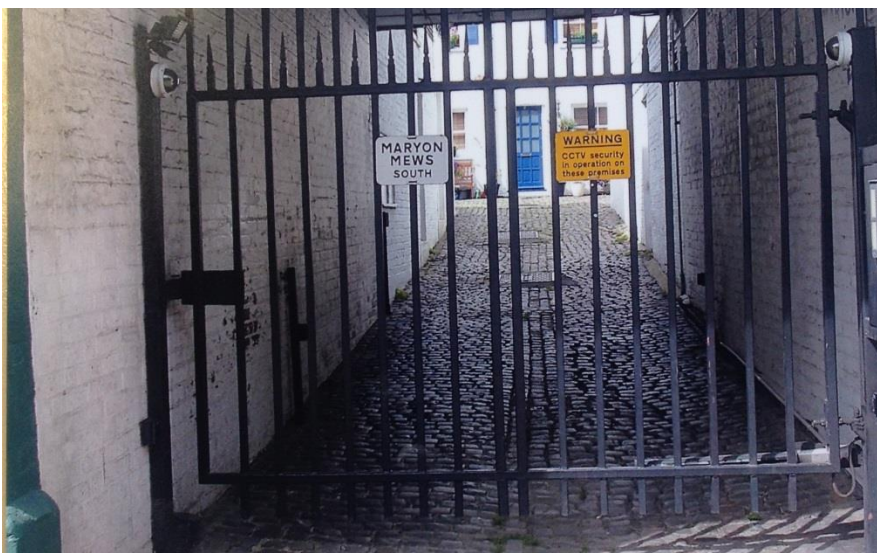


Figure 2: South Entrance to Maryon Mews Looking form South End road into the Mews

Following the erection of the gates on the back of police recommendations and lengthy resident consultation in April 2004, crimes still persisted in the Mews. Over the next 2/3 years, the residents experienced a number of break-ins, burglaries and vandalism. As a result of looking at CCTV footage, it was identified that the gates were being climbed over. The crimes are documented in correspondence to the residents and in the Chairman's report as part of the Maryon Mews Residents Company AGM (Appendix A). A decision was made by the residents group in 2007 to increase the height of the gates to prevent such incidents. This has proven to act as a deterrent and the crime rate within the Mews has subsequently reduced to a negligible figure. Residents fear that reducing the height of the gates could compromise the existing levels of security.

As approved, the gates do not fulfil their security of security. The increased height of the gates, through removal of Condition 3, will abate the fears and concerns of the residents. However the residents group are aware of the importance of design particularly when considering the development is in the Hampstead Conservation Area. The addition of the crossbar will make the speared finials less prominent and improve the overall design and proportion of the gates (see drawing nos: 6656.01.101 and 6656.01.102). It is considered that the increased height of the gates does not adversely affect the design and appearance of the conservation area and that their design will be improved through the inclusion of the cross bar.

Section 58 NPPF states that planning policies and decisions should aim to ensure that developments create safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion. Overall given the context of the gates and the minor changes their height and design, and the due respect given to the character of Hampstead conservation area, the residents respectfully request that permission for the removal of condition 3 be granted.

I trust the information set out within this planning application is sufficient. However, please don't hesitate to contact me if you require any further information or would like to arrange an accompanied site visit.

Yours faithfully,

Ms Ciara McGuinness
Consultant Planner
LUC
ciara.mcguinness@landuse.co.uk