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Town and Country Planning **Appeal Statement** On behalf of Mr and Mrs Cakir

49 HARTLAND ROAD, LONDON, NW1 8DB
APPLICATION REF: **2015/3859/P**
Proposal: Erection of Mansard Roof Extension

ARCH

November 2015



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A large, light grey watermark of the ARCH logo is centered on the page. It consists of the stylized house icon above the word "ARCH" in a large, serif font.

1.0 PROPOSAL

- 1.1 This appeal statement relates to the development proposal submitted by Icon Design and Management on behalf of Mr and Mrs Cakir. The proposal was for the erection of a mansard roof extension to be used as an additional bedroom and shower-WC for the residents.
- 1.2 The scheme would involve the conversion of the roof to a mansard roof that will have two sash windows directly in line with windows below on the front elevation and two velux windows at the rear elevation. The proposed conversion will meet the current building regulations.

2.0 SITE DESCRIPTION

- 2.1 The site is located on Hartland Road which branches off of Chalk Farm Road, a highly developed area; Hartland Road is divided into two by a break created by a railway line bridge followed by Clarence Way. Past this point is Holy Trinity & St Silas Church of England Primary School followed by 8 Victoria terrace dwellings, rendered white, made up of three (3) storeys and, on the opposite side of the road, the rear garden of housing located on Castlehaven Road facing Hartland Road, marking the end of the road.
- 2.2 The property is located in a three (3) storey Victoria style terrace ending at the railway bridge. The property is not a Listed Building and the site is not located within a Conservation Area.
- 2.3 Site History
- There's only one application previously made to 49 Hartland Road - Planning permission granted on 3rd June 2005 reference 2005/0753/P for the erection of a first floor rear extension.

In addition the following applications are relevant to support this application.

- 2.3.1 30 Hartland Road, Ref: 2013/6622/P – Date granted 27/11/2013
A renewal of a previously granted application that has expired - erection of a roof extension, including the installation of two sash windows to the front and a fully glazed rear elevation with doors opening onto a balcony for the existing dwelling house.

2.3.2 30 Hartland Road, first granted application for roof extension ref: 2009/3327/P
Granted on 30/09/2009

2.3.3 32 Hartland Road, Ref: 2005/3230/P
Erection of roof extension including roof terrace at the rear of dwelling house
Granted on 15/09/2005

3.0 STATEMENT OF CASE

3.1 From the council's reasons for refusal the main issue appear to be whether the proposed development would be injurious to the design of the current joined residence.

"The proposed mansard roof extension would disrupt the unaltered uniform roofscape of the host building and adjoining terrace, resulting in demonstrable harm to the character and appearance of the host building, the terrace of which it forms part and the wider townscape..."

3.2 The current roof line is of 'V' Shape (butterfly roof). But most of the streets roof line has already been altered.

3.3 In assessing the impact of the development proposal it is shown that the following policies have been considered relating to Design and Amenity, of Camden Policies CS5 of the Core Strategy and DP24/DP26 of the Development Policies stating that the council will consider developments to be of the highest design standards and the impact on occupiers and neighbours. While considering Supplementary design guidance contained within CPG1 (Design) to follow implementation, considering alteration to be unacceptable if they would have an adverse impact on the skyline, the appearance of the building and surround street scene. The proposed development is considered to comply with the aims of these policies for the reasons set down below.

3.4 The appeal property is a terrace house (*Figure 6,7,8,9*) occupied by the applicant's family, of five, parents and three children, both male, while hoping to have another child, this being one of the main reason to carry out an extension.

- 3.5 DP24 draws attention to nine (9) points that developments should consider:
- (a) *Character, setting, context and the form and scale of the neighbouring buildings*; this is widely researched during the design phase of the extension. In so initial research of the wider context and close proximity of the site has been analysed as we can see to create a design that is both modern, but sympathetic to the current style and character of the street.
- 3.5.1(i) (b) *The character and proportions of the existing building, where alterations and extensions are proposed*; Character in this circumstance is all dependant on the individuals own oversight. This is due to the idea of how a street is observed in terms of 'character', whether sections of a whole street are considered at their own partial character or as whether the whole street is considered 'character' in whole. This is the one section the officer regards as cause to refuse this application.
- 3.5.1(ii) Even though this will be the first of the immediate neighbouring buildings to undergo an extension it has been undertaken more or less on the whole street. It is appreciated that control is being taken over how developments could affect neighbouring structures but the same restraint should be applied as a whole and not in part. Applying a restraint to a single part of a whole that has already been changed in this circumstance creates a problem in itself against the language and character of the street. Excluding sections of a street while other sections of the same architectural style are given permission to proceed, denies development to be of a positive impact, rather than guarding positive development.
- 3.5.1(iii) Proportions for design are well thought and do not exceed any constraints in scale.
- 3.5.3 (d) *the quality of materials to be used*; the extension is designed with thought to the existing building style and material and is proposed to match existing while using regulation standard quality materials.
- 3.5.4 (e) *the provision of visually interesting frontages at street level*; this is not applicable to the design as the street level is not disturbed, but the extension is visually suitable to the street design as it follows the streets design character.
- 3.5.5 (f) *the appropriate location for buildings services equipment*; remain as are.
- 3.5.6 (g) *existing natural features, such as topography and trees*; this is not applicable as no changes are to be made.

3.5.7 (h) *the provision of appropriate amenity space*; this is all been thought through in design and does not abstract any amenity of the persons occupying the property and neighbours. The proposed front facing windows would look towards the main road and are in positions where there are several windows already.

3.5.8 (i) *accessibility*, the access is to remain as existing and the extension will have an internal access route designed to current building regulations.

3.6 During the application period the application was advertised via Site Notice for a period of 21 days between 07/07/2015 – 07/08/2015. The neighbouring properties were also notified via direct letters and none of the neighbours have objected to the proposed development.

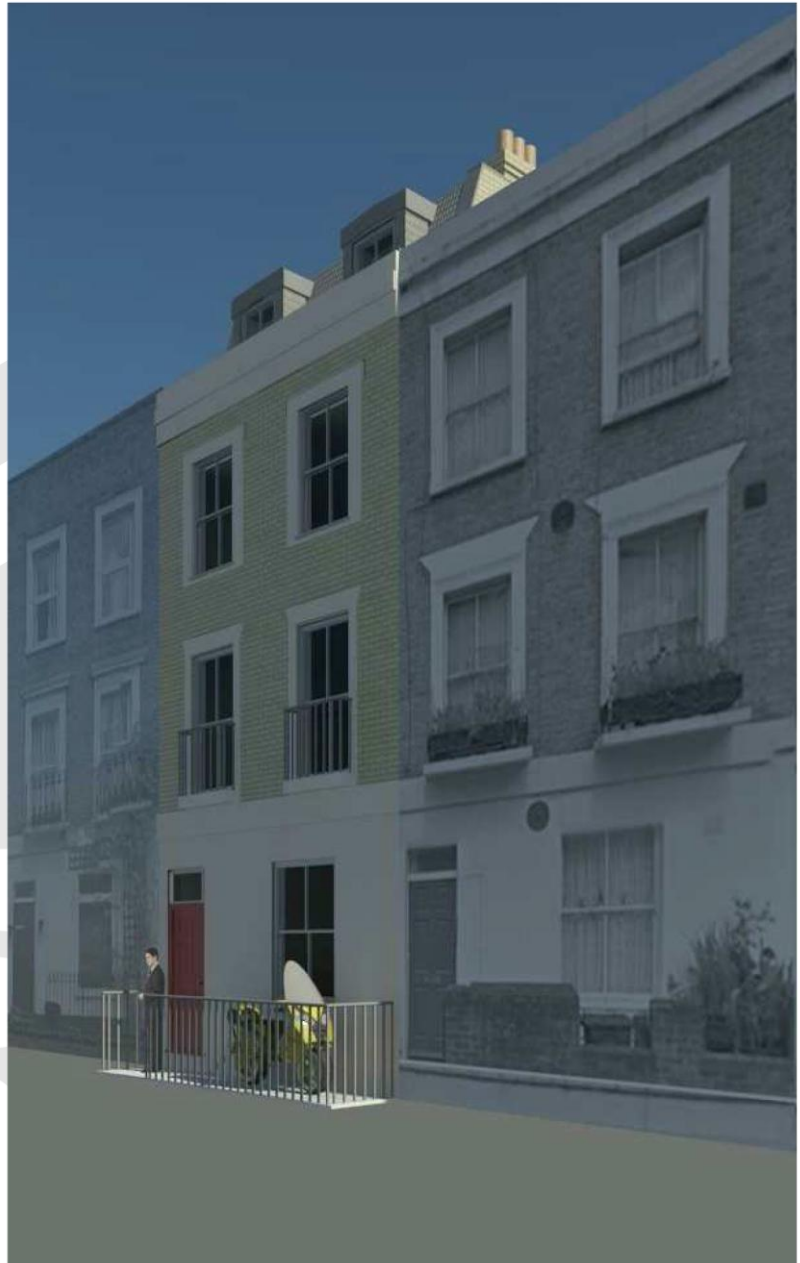
(Statement continued after images)



View From Opposite Pavement 3-3
Figure 1



View From Pavement 1-1
Figure 2



View From Opposite Pavement 2-2
Figure 3

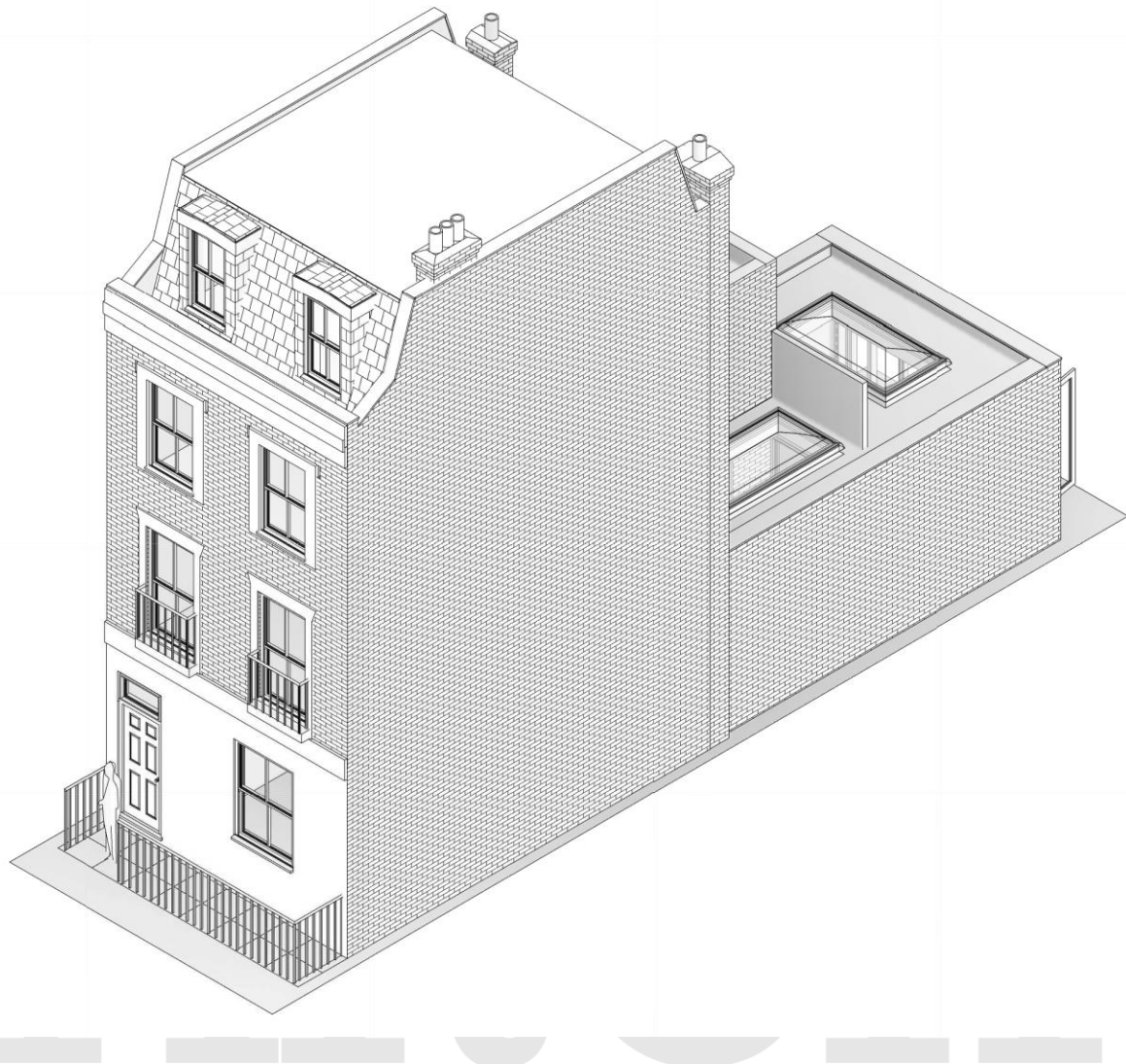


Figure 4 – Perspective view of the front towards the rear

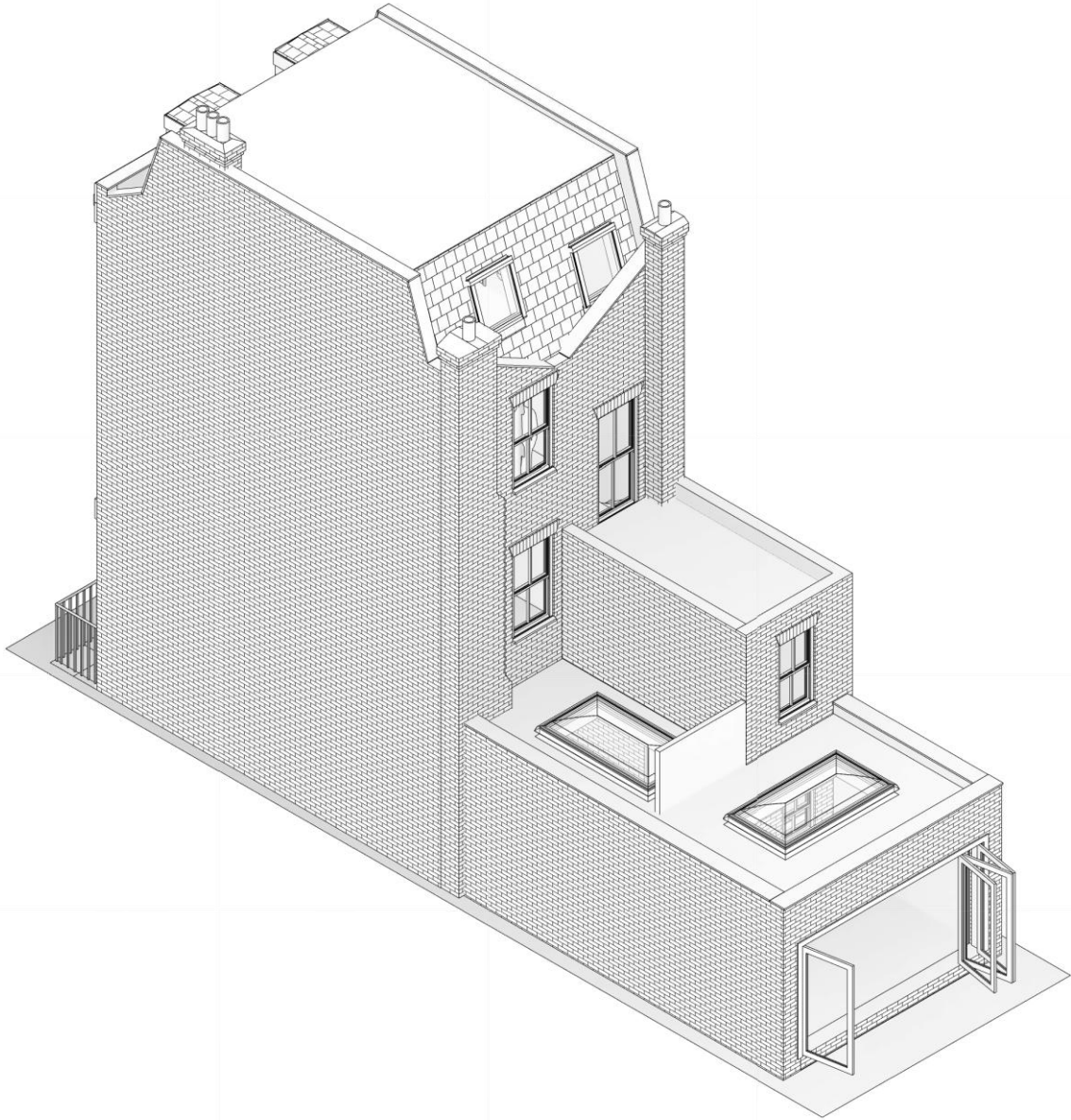


Figure 5 – Perspective view of the rear towards the front

- 3.7 DP26 policy is set out to manage the impact of development on occupiers and neighbours and covers eleven (11) points. Six (6) of these cover issues such as visual privacy and overlooking, overshadowing, outlook, sunlight, day/artificial light and other points such as noise and odour. The other four (4) points cover subjects regarding the standard of accommodations.
- 3.8 These issues have been highly considered and complied with, in providing a high standard design and consideration of occupiers by providing regulation standard space and layout. While also considering neighbours wellbeing in not creating any overshadowing, daylight prevention or creating any overlooking issues. Most of the issues are complied with and other remaining ones are not applicable due to the scale of the project and it also being an integrated part of an already existing building.
- 3.9 The road is in a highly developed and dense area.
- 3.9.1 There is already a style of development taken place on Hartland Road and also in the surrounding radius area of just 315m (*Figure 10*) of mansard roof extension. Various examples of these already constructed roof extensions are available as demonstrated as follows.

(Statement continued after images)

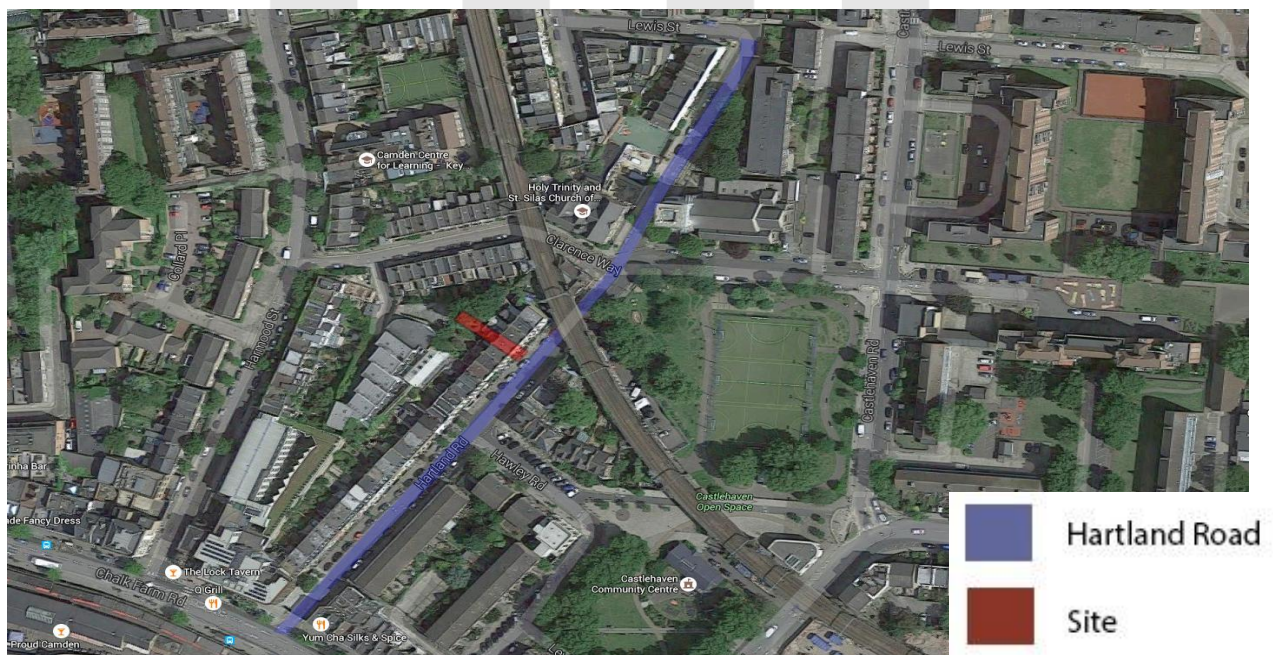


Figure 6 – Site location



Figure 7 – (Right- looking towards Railway Bridge) Site front elevation



Figure 8 – Site front elevation



Figure 9 – View of neighbour's front pavement towards Railway Bridge

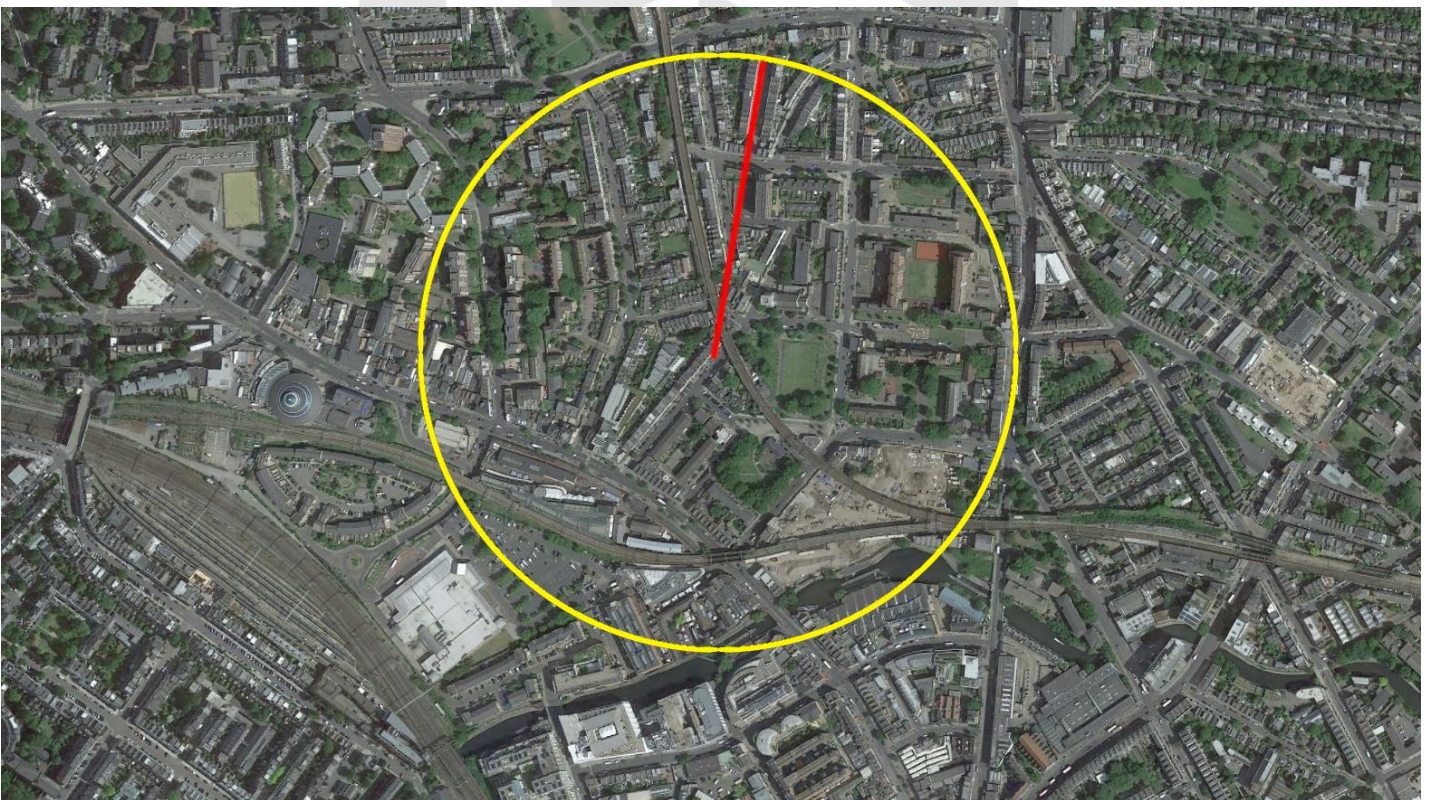
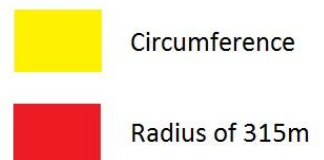


Figure 10 – Surround radius (from site location) area map



3.9.2 Extensions already existing and granted on Hartland Road. The illustrated image below (*Figure 11*) indicates the similar developments in close proximity, especially properties numbering 30, 32 which happen to be directly across the applicant's property (*Figure 6*). While we appreciate the attempt to prevent any sort of disruption to an architectural language we would like to emphasize this, design wise, should exclude any concern relating to what the case office has mentioned as "disruption" rather we believe the design is suitable and continues the current existing architectural character of the road and in so is not contrary to Camden Policies CS5 of the Core Strategy and DP24 of the Development Policies, but is a positive advancement in finalising a complete language to the street scene.

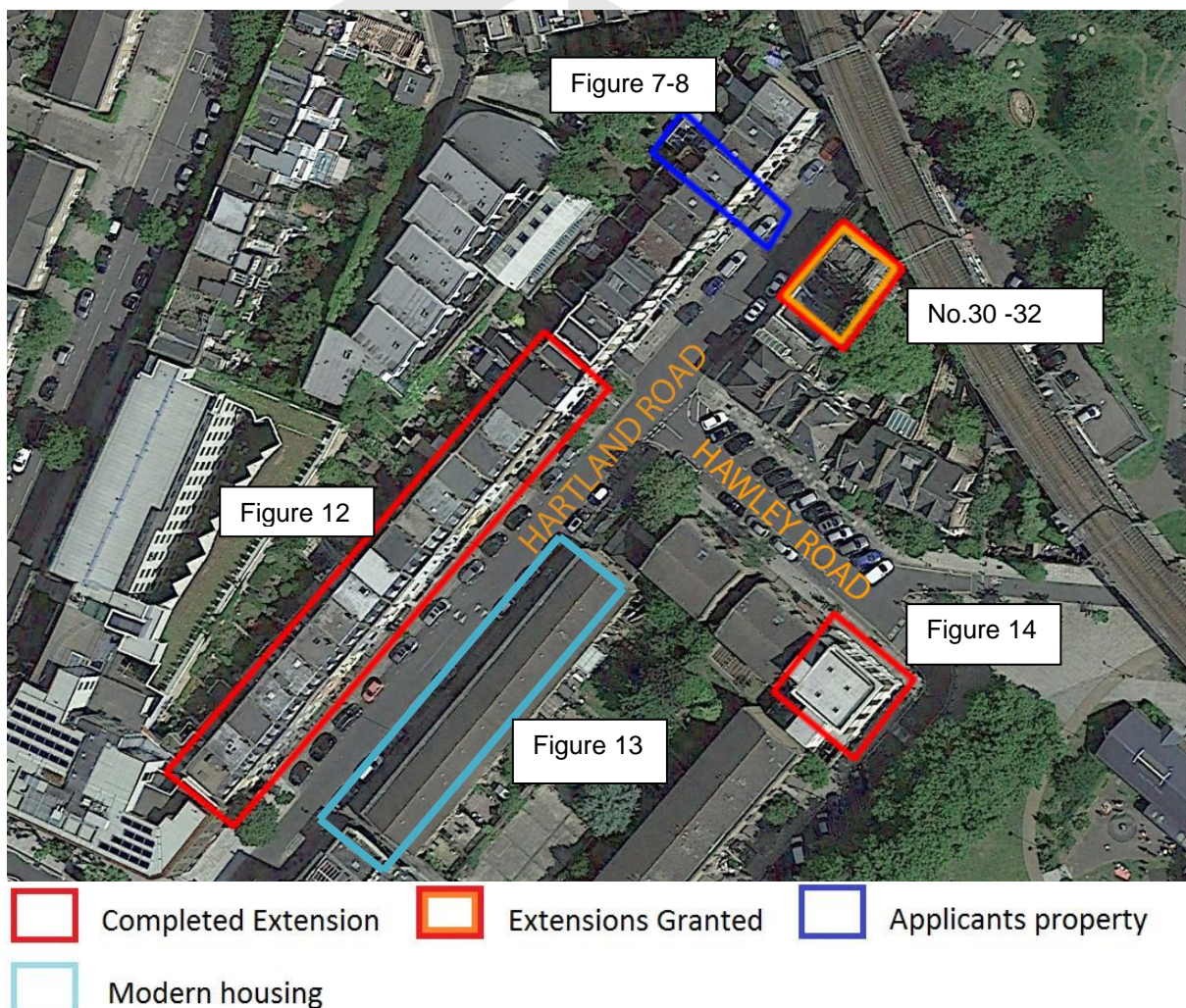


Figure 11 – Local extensions already existing on and close proximity to Hartland Road



Figure 12 – We can see here that the same architectural style is present (Victoria terrace) a continued them on this side of Hartland Road.

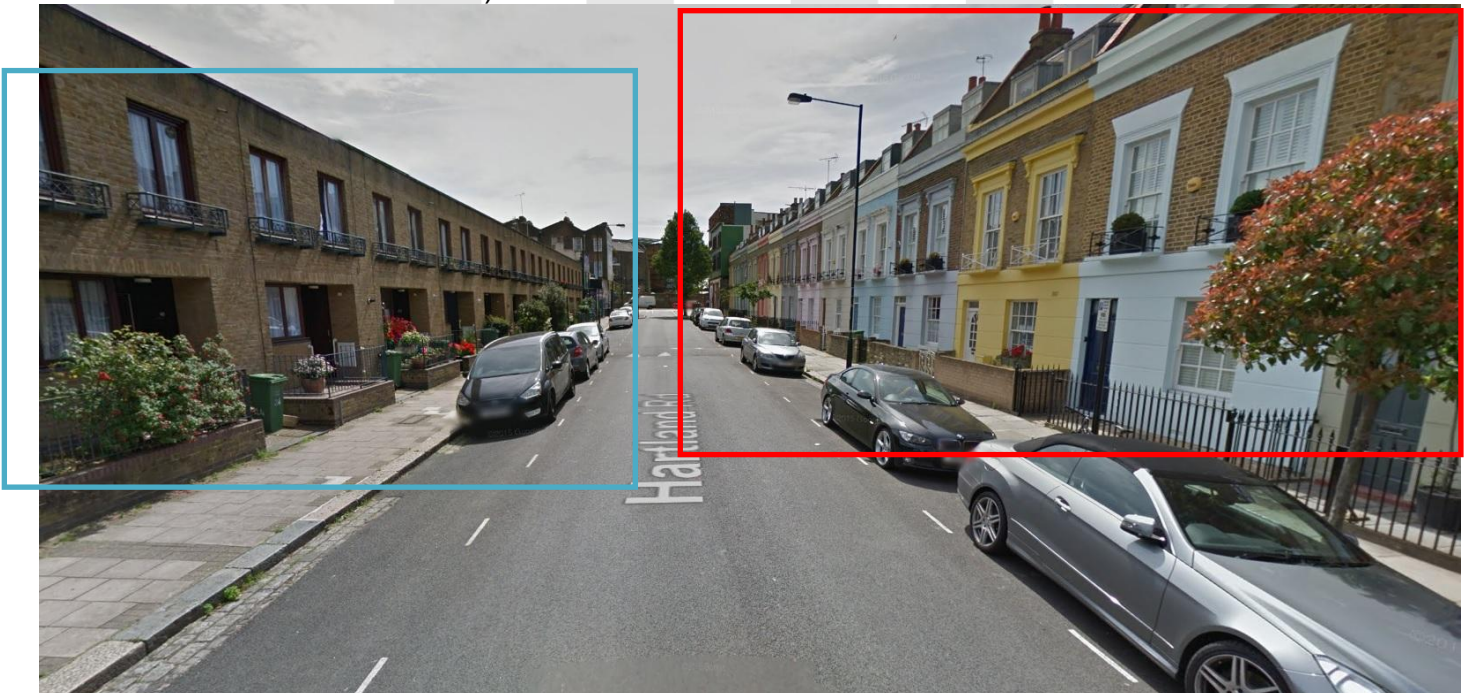


Figure 13 – Facing towards Chalk Farm Road – Opposite modern housing is understandably of a different style of architecture modern



Figure 14 – The corner of Hawley road and Hawley Street, clearly of similar design and architectural style.



Figure 15 – View of both the existing extension on Hartland Road and applicant's property

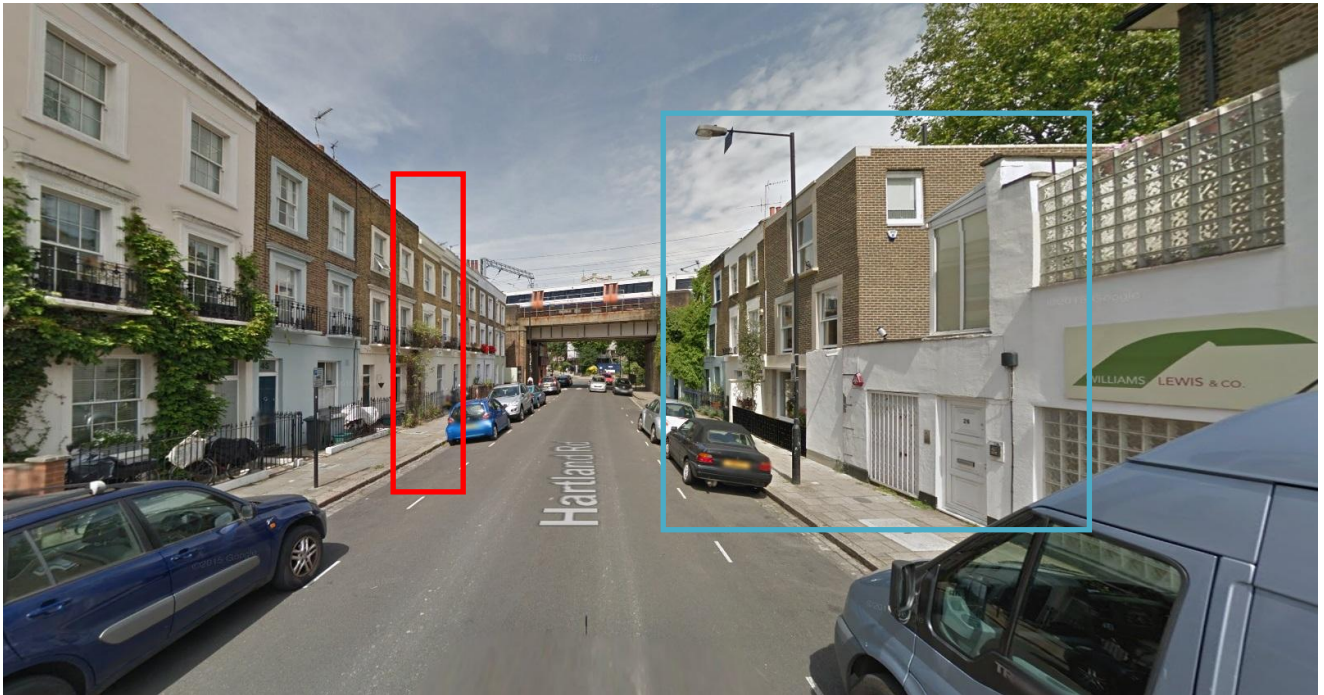
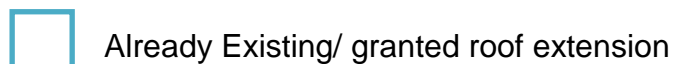
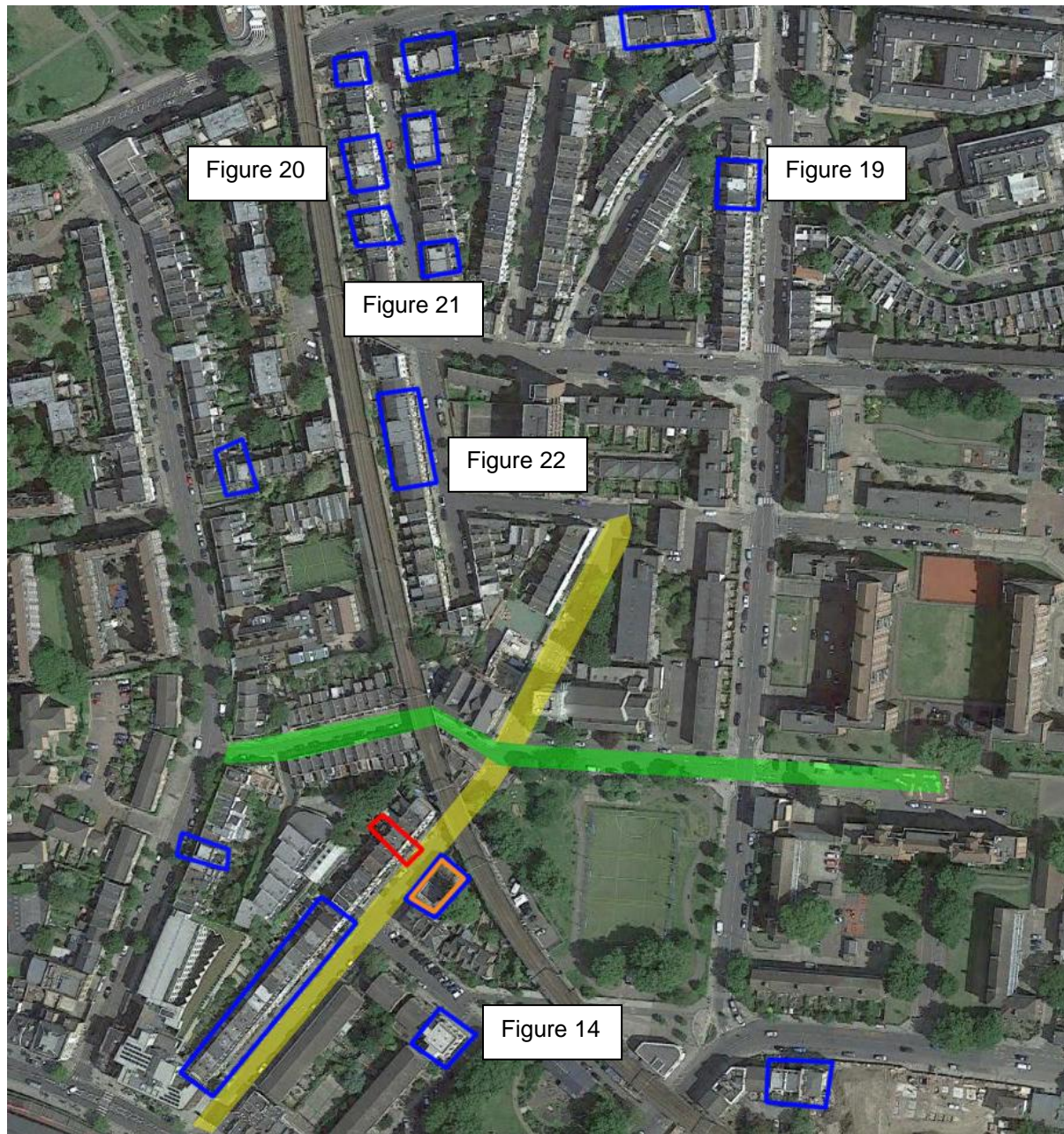


Figure 16 – Looking toward the Railway Bridge – houses no 30 -32 on the right and applicants property on the left (directly across), both three (3) storeys and of the same Victoria terrace style.



Figure 17 – View towards Chalk Farm Road from under the railway bridge





- Site
- Existing roof extensions
- Granted Permission
- Hartland Road
- Clarence Way

Figure 18 – We can see above some of the buildings in the area with existing roof conversion.



Figure 19 – Castlehaven Road



Figure 20 – Hadley Street



Figure 21 – Hadley Street



Figure 22 – Hadley Street

4.0 CONCLUSION

- 4.1 The architectural development would be sympathetic to the age and character of the street as a whole. We believe that there has already been an established pattern of development on the street and the surrounding area. In so believe that similar development will not cause additional harm but the furthering of an already established street design as a whole.
- 4.2 Excluding the block of terraces among the whole is more restrictive in terms of furthering development for positive growth than not, the roofscape of the street has already been altered, due to an already needed housing supply in the borough and wider city of London. We believe it is good practise to consider 'Context' in a wider capacity than just a block/group of neighbours or a section among a wider area in making it relevant to language and design.
- 4.3 The proposed extension of the roof into mansard roof is to accommodate their growing family and to allow for them to continue living in a house that has been their home for over 15 years, full of sentimental memories, and three of their children were born here. We would also like to draw emphasis on the fact that this development is also solely for accommodating needs rather than any financial gains.
- 4.4 Approving the development will prevent the family falling into an already large group of people not being able to find the essential accommodation they require, and also to mention having to leave behind years of memories if they are forced to have to look for larger accommodation due to the refusal of the development.
- 4.5 The applicant is also willing to make design changes such as 'set backing' to hide the roof extension even further than it is currently, if this is asked of them. But we believe the design is already at a suitable level for the street elevation and is of minimal disruption.
- 4.6 Having regard to the case set down above it is considered that the proposed development should have been approved by planning officers and the consequent refusal is unfounded and unjustified. The Inspector is, therefore, respectfully requested to allow this appeal.