

FLOOR AREAS:		
PROPERTY	Floor Area m²	Floor Area ft²
BASEMENT Floor:		
Office 2 (B1).	74.00 m²	838ft²
Office 3 (B1).	34.50 m²	401ft²
Passage/Stair (B1).	12.50 m²	138ft²
Kitchen (B1).	04.30 m²	48ft²
Plant Room (B1).	02.00 m²	22ft²
Toilet (B1).	03.50 m²	38ft²
GROUND Floor:		
Office 1 (B1).	46.50 m²	512ft²
Entrance/Stairs (B1).	11.00 m²	121ft²
Refuse/Bicycles (B1).	07.50 m²	82ft²
Entrance/Stairs (C3).	17.00 m²	187ft²
Bicycle Store (C3).	10.50 m²	110ft²
Lift Shaft (C3).	03.00 m²	33ft²
Metres Cup'd(C3).	04.00m²	44ft²
Refuse Bins. (C3).	09.50 m²	105ft²
FIRST Floor:		
Apartment 1: 2 Bed.	111.50 m²	1,226ft²
Lift Shaft	03.00m²	33ft²
Stair.	07.00 m²	77ft²
SECOND Floor:		
Apartment 2: 2 Bed	68.00 m²	750ft²
Apartment 3: 1 Bed	41.00 m²	450ft²
Lift Shaft	03.00 m²	33ft²
Stair/Hall	11.50 m²	126ft²
THIRD Floor:		
Apartment 4: 2 Bed	68.00 m²	750ft²
Apartment 5: 1 Bed	41.00 m²	450ft²
Lift Shaft	03.00 m²	33ft²
Stair/Hall	11.50 m²	126ft²
FORTH Floor:		
Apartment 6: 2 Bed	68.00 m²	750ft²
Apartment 7: 1 Bed	41.00 m²	450ft²
Lift Shaft	03.00 m²	33ft²
Stair/Hall	11.50 m²	126ft²
FIFTH Floor:		
Apartment 8: 3 Bed.	107.50 m²	1,182ft²
Lift Shaft	03.00 m²	33ft²
Stair.	07.00 m²	77ft²
Balcony.	07.00 m²	77ft²
SIXTH Floor:		
Apartment 9: Duplex	84.00 m²	925ft²
Lift Shaft	03.00 m²	33ft²
Stair.	07.00 m²	77ft²
Roof Garden	24.50 m²	270ft²
SEVENTH Floor:		
Apartment 9: Duplex	75.00 m²	825ft²
Roof Garden	19.50 m²	215ft²
Balconies	08.00 m²	88ft²
TOTAL Floor Area 9.	159.00 m²	1750ft²
TOTAL Floor Area of Proposed New Building.		
	1,055.00 m²	11,605ft²
TOTAL GROSS External Area of New Building.		
	1,238.00 m²	13,620ft²

SCHEDULE of Drawings:		
JOB No:	SHEET No:	DRAWING TITLE:
PD-15-288	001.	Location Plan.
PD-15-288	002.	EXISTING Basement and Ground Floor Plans.
PD-15-288	003.	EXISTING First and Second Floor Plans.
PD-15-288	004.	EXISTING Third Floor and Roof Plans.
PD-15-288	005.	EXISTING Elevation to Euston Road.
PD-15-288	006.	EXISTING Elevation to Warren Street.
PD-15-288	007.	EXISTING Elevation to Conway Street.
PD-15-288	008.	EXISTING Section Through Building.
PD-15-288	009.	PROPOSED Site Layout.
PD-15-288	010.	PROPOSED Basement and Ground Floor Plans.
PD-15-288	011.	PROPOSED First and Second Floor Plans.
PD-15-288	012.	PROPOSED Third and Forth Floor Plans.
PD-15-288	013.	PROPOSED Fifth Floor Plan.
PD-15-288	014.	PROPOSED Sixth and Seventh Floor Plans.
PD-15-288	015.	PROPOSED Roof Plan.
PD-15-288	016.	PROPOSED Elevation to Euston Road.
PD-15-288	017.	PROPOSED Elevation to Warren Street.
PD-15-288	018.	PROPOSED Elevation to Conway Street.
PD-15-288	019.	PROPOSED EAST Elevation Section 01.-01.
PD-15-288	020.	PROPOSED Section 02.-02.
PD-15-288	021.	PROPOSED Sections 03.-03./ 04.-04.
PD-15-288	022.	PROPOSED Window Details SHEET 1.
PD-15-288	023.	PROPOSED Window Details SHEET 2.
PD-15-288	024.	PROPOSED Window Details SHEET 3.
PD-15-288	025.	PROPOSED Window Details SHEET 4.
PD-15-288	026.	PROPOSED Window Details SHEET 5.

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Rev:

Date:

Int:

Amendment:

Norfolk Attleborough Office:
2 Exchange Street, Attleborough,Norfolk,
NR17 2AB
Tel: 01953 456722

Also offices in Suffolk and London

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Project Address:
Proposed new Building at
357 Euston Road/
44 Warren Street,
LONDON, NW1 3AL.

Client Name:
for Mr P Collett.

Drawing Title:
PLANNING:
Sixth and Seventh Floor Plans:

Drawn By:
John H Patterson.

Project Ref Number:
PD-15-288.

Date:
SEPT 2015

Scale:
1:50 @ A1.

Drawing Number:
014.

RIBA

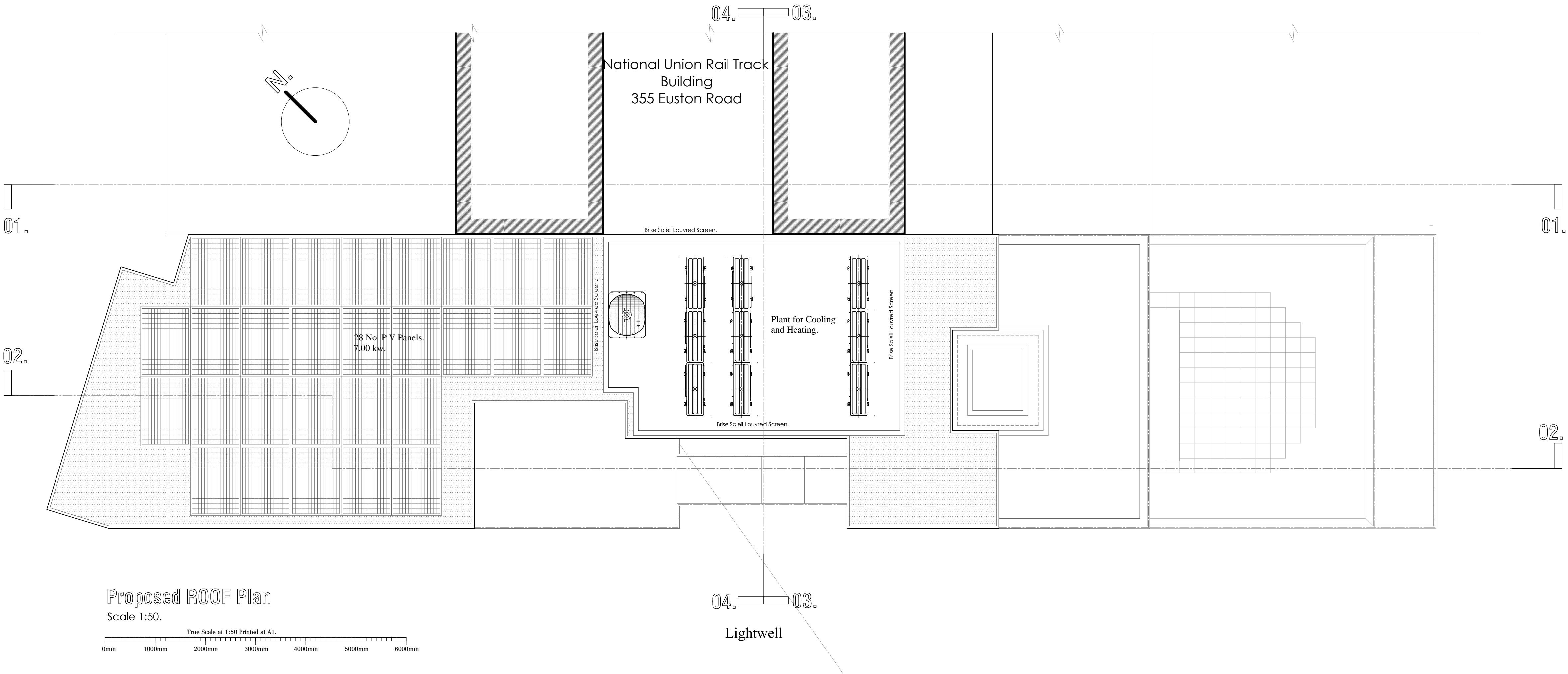
ABBE

Quality Accredited

RIBA

All dimensions are in millimeters

Suffix:
All dimensions to be checked on site



SCHEDULE of Drawings:

JOB No:	SHEET No:	DRAWING TITLE:	SCALE:
PD-15-288	001.	Location Plan.	1:2500.
PD-15-288	002.	EXISTING Basement and Ground Floor Plans.	1:50.
PD-15-288	003.	EXISTING First and Second Floor Plans.	1:50.
PD-15-288	004.	EXISTING Third and Fourth Floor Plans.	1:50.
PD-15-288	005.	EXISTING Elevation to Euston Road.	1:100.
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PD-15-288	007.	EXISTING Elevation to Conway Street.	1:100.
PD-15-288	008.	EXISTING Section Through Building.	1:100.
PD-15-288	009.	PROPOSED Site Layout.	1:200.
PD-15-288	010.	PROPOSED Basement and Ground Floor Plans.	1:50.
PD-15-288	011.	PROPOSED First and Second Floor Plans.	1:50.
PD-15-288	012.	PROPOSED Third and Fourth Floor Plans.	1:50.
PD-15-288	013.	PROPOSED Fifth Floor Plan.	1:50.
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PD-15-288	015.	PROPOSED Roof Plan.	1:50.
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PD-15-288	022.	PROPOSED Window Details SHEET 1.	1:10.
PD-15-288	023.	PROPOSED Window Details SHEET 2.	1:10.
PD-15-288	024.	PROPOSED Window Details SHEET 3.	1:10.
PD-15-288	025.	PROPOSED Window Details SHEET 4.	1:10.
PD-15-288	026.	PROPOSED Window Details SHEET 5.	1:10.



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Rev: Date: Int: Amendment:

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Tel: 01953 456722

Also offices in Suffolk and London



Project Address:

Proposed new Building at
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44 Warren Street,
LONDON, NW1 3AL.

Client Name:

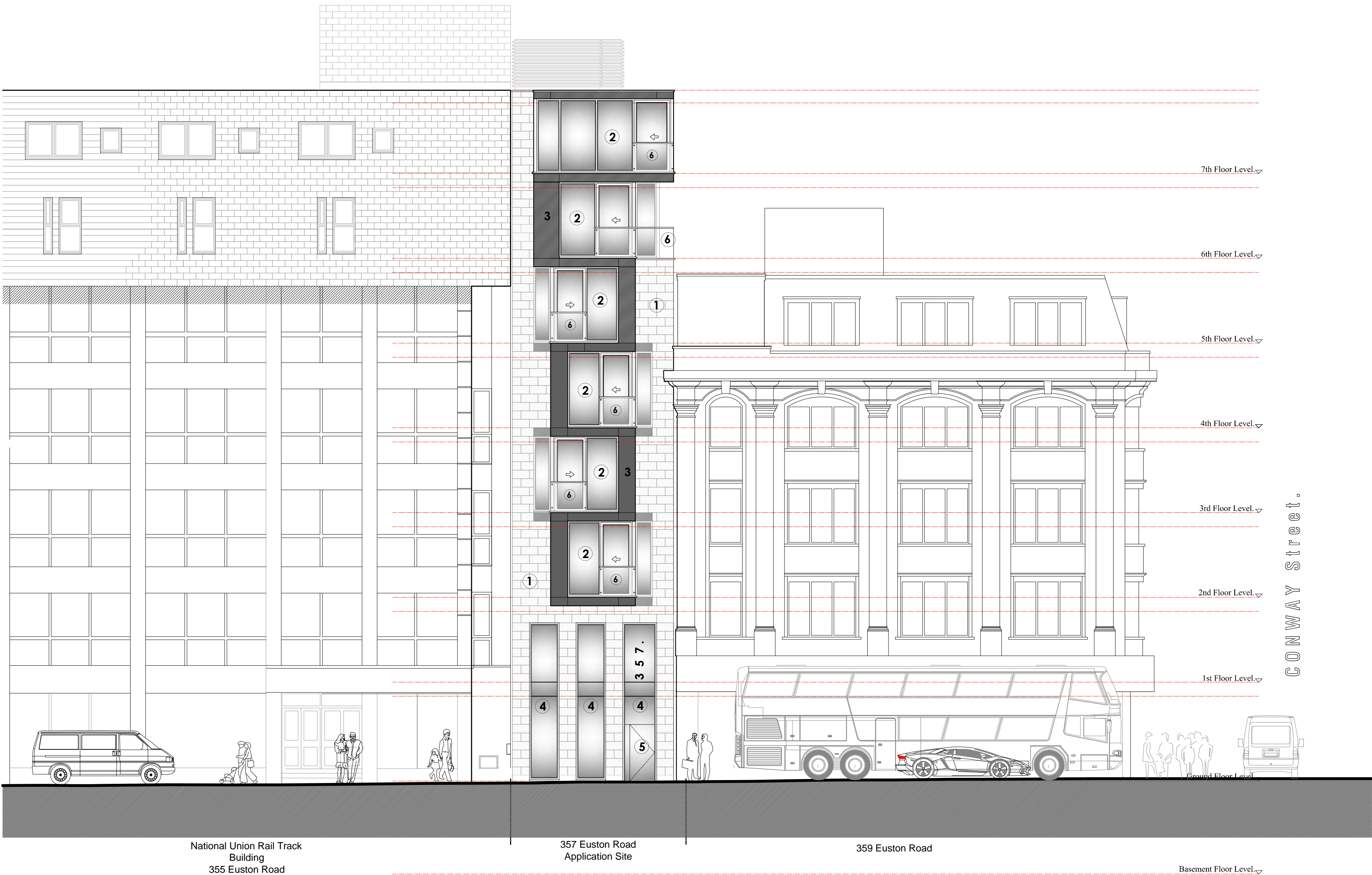
for Mr P Collett.

Drawing Title:

PLANNING 9:
ROOF Plan:

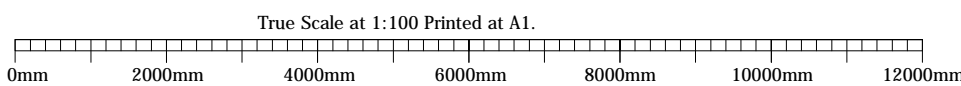
<u>Drawn By:</u> John H Patterson.		<u>Project Ref Number:</u> PD-15-288.
<u>Date:</u> SEPT 2015	<u>Scale:</u> 1:50 @ A1.	<u>Drawing Number:</u> 015.

RIBA Chartered Practice	ABBE Quality Accredited	RIBA Chartered Practice
All dimensions are in millimeters	Suffix:	
All dimensions to be checked on site		



NORTH Elevation to EUSTON Road.

Scale 1:100



Euston Road Elevation

20m A.O.D.

SCHEDULE of Drawings:

JOB No:	SHEET No:	DRAWING TITLE:	SCALE:
PD-15-288	001.	Location Plan.	1:2500.
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PD-15-288	026.	PROPOSED Window Details SHEET 5.	1:10.



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Rev:	Date:	Int:	Amendment:
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Norfolk Attleborough Office:
2 Exchange Street, Attleborough, Norfolk,
NR17 2AB
Tel: 01953 456722

Also offices in Suffolk and London



Project Address:

Proposed new Building at
357 Euston Road/
44 Warren Street,
LONDON, NW1 3AL.



Client Name:

for Mr P Collett.

Drawing Title:

PLANNING:

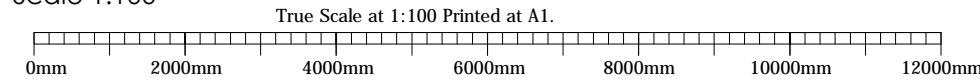
Elevation to Euston Road:

Drawn By:		Project Ref Number:							
John H Patterson.		PD-15-288.							
Date:	Scale:	Drawing Number:							
SEPT 2015	1:100 @ A1.	016.							
RIBA 		RIBA 							
Chartered Practice		Chartered Practice							
All dimensions are in millimeters		Suffix:							
All dimensions to be checked on site		<table border="1"><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr></table>							



SOUTH Elevation to WARREN Street. F.

Scale 1:100



Warren Street Elevation

20m A.O.D.

SCHEDULE of Drawings:

JOB No:	SHEET No:	DRAWING TITLE:	SCALE:
PD-15-288	001.	Location Plan.	1:2500.
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Project Address:

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357 Euston Road/
44 Warren Street,
LONDON, NW1 3AL.

Client Name:

for Mr P Collett.

Drawing Title:

PLANNING:

Elevation to Warren Street:

Drawn By:

John H Patterson.

Project Ref Number:

PD-15-288.

Date:

SEPT 2015

Scale:

1:100 @ A1.

Drawing Number:

017.



All dimensions are in millimeters
All dimensions to be checked on site

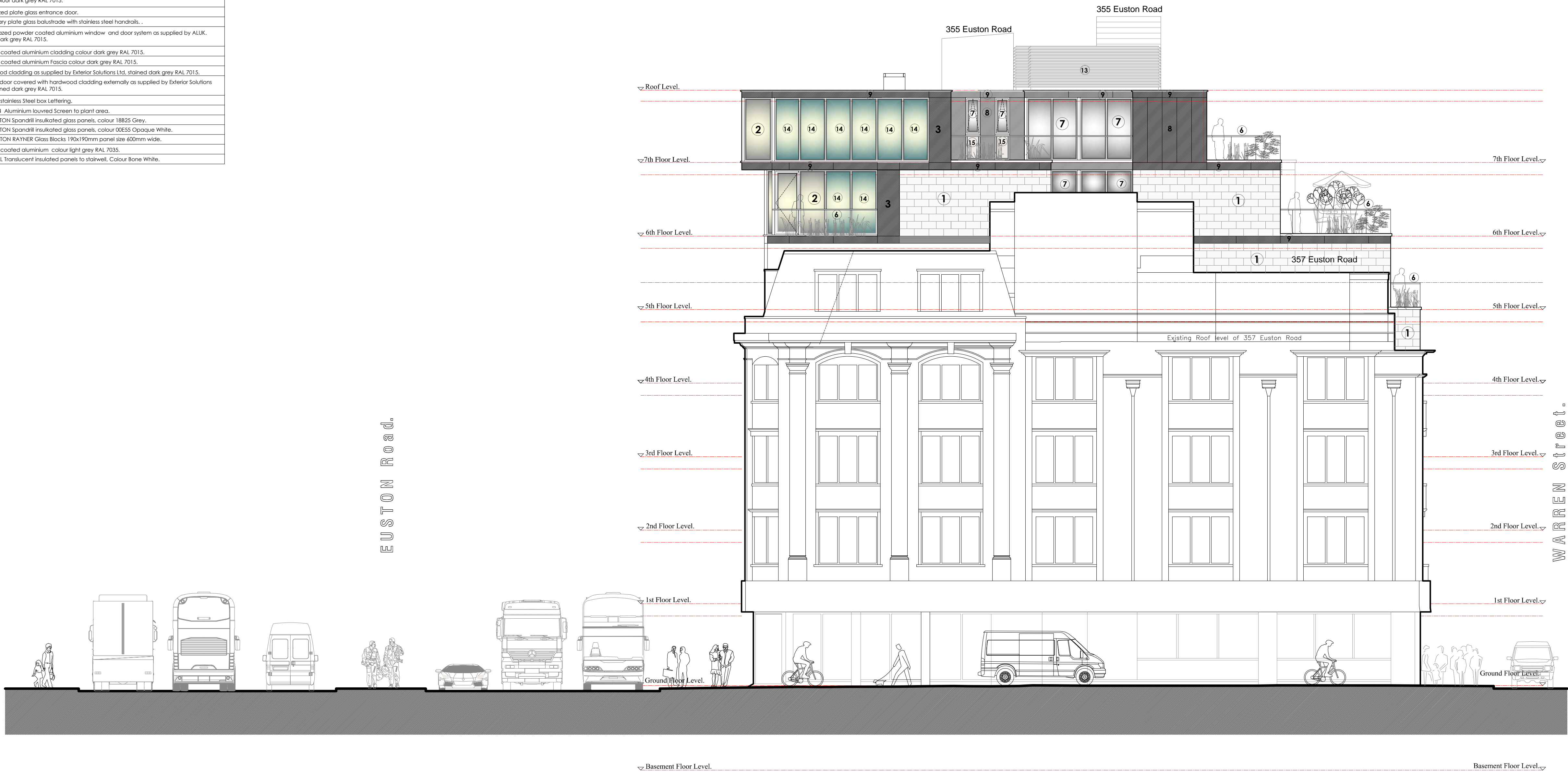


SCHEDULE of MATERIALS :

REF. No:	DESCRIPTION:
1.	LIGNACITE Facing Masonry Blocks, polished finish, colour Snowstorm.
2.	Triple glazed powder coated aluminium window door and curtain wall system as supplied by ALUK, colour dark grey RAL 7015.
3.	Powder coated aluminium cladding forming part of the curtain wall system as supplied by ALUK, colour dark grey RAL 7015.
4.	Triple glazed powder coated aluminium double storey window system as supplied by ALUK, colour dark grey RAL 7015.
5.	Fully glazed plate glass entrance door.
6.	Propietary plate glass balustrade with stainless steel handrails. .
7.	Triple glazed powder coated aluminium window and door system as supplied by ALUK, colour dark grey RAL 7015.
8.	Powder coated aluminium cladding colour dark grey RAL 7015.
9.	Powder coated aluminium fascia colour dark grey RAL 7015.
10.	Hardwood cladding as supplied by Exterior Solutions Ltd, stained dark grey RAL 7015.
11.	Access door covered with hardwood cladding externally as supplied by Exterior Solutions Ltd. Stained dark grey RAL 7015.
12.	200mm stainless Steel box Lettering.
13.	RENSON Aluminium louvred Screen to plant area.
14.	PLUKINGTON Spandril insulated glass panels, colour 18825 Grey.
15.	PLUKINGTON Spandril insulated glass panels, colour 06535 Opague White.
16.	PLUKINGTON RATHER Glass Blocks 150x150mm panel size 600mm wide.
17.	Powder coated aluminium colour light grey RAL 7035.
18.	KALWALL Translucent insulated panels to stairwell, Colour Bone White.

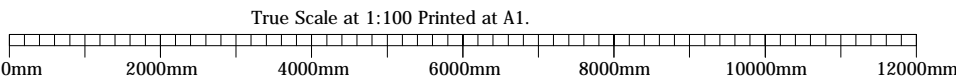
SCHEDULE of MATERIALS :

REF:	DESCRIPTION:
No:	
1.	LIGNACITE Facing Masonry Blocks, planished finish, colour Showstarn.
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6.	Proprietary plate glass balustrade with stainless steel handrails.
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15.	PIKINGTON Spandril insulated glass panels, colour 00E55 Opaque White.
16.	PIKINGTON RAYNER Glass Blocks 190x190mm panel size 600mm wide.
17.	Powder coated aluminium colour light grey RAL 7035.
18.	KALWALL Translucent insulated panels to stairwell. Colour Bone White.



WEST Elevation to CONWAY Street.

Scale 1:100



Conway Street Elevation

20m A.O.D.

SCHEDULE of Drawings:

JOB No:	SHEET No:	DRAWING TITLE:	SCALE:
PD-15-288	001.	Location Plan.	1:2500.
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PD-15-288	003.	EXISTING First and Second Floor Plans.	1:50.
PD-15-288	004.	EXISTING Third Floor and Roof Plans.	1:50.
PD-15-288	005.	EXISTING Elevation to Euston Road.	1:100.
PD-15-288	006.	EXISTING Elevation to Warren Street.	1:100.
PD-15-288	007.	EXISTING Elevation to Conway Street.	1:100.
PD-15-288	008.	EXISTING Section Through Building.	1:100.
PD-15-288	009.	PROPOSED Site Layout.	1:200.
PD-15-288	010.	PROPOSED Basement and Ground Floor Plans.	1:50.
PD-15-288	011.	PROPOSED First and Second Floor Plans.	1:50.
PD-15-288	012.	PROPOSED Third and Forth Floor Plans.	1:50.
PD-15-288	013.	PROPOSED Fifth Floor Plan.	1:50.
PD-15-288	014.	PROPOSED Sixth and Seventh Floor Plans.	1:50.
PD-15-288	015.	PROPOSED Roof Plan.	1:50.
PD-15-288	016.	PROPOSED Elevation to Euston Road.	1:100.
PD-15-288	017.	PROPOSED Elevation to Warren Street.	1:100.
PD-15-288	018.	PROPOSED Elevation to Conway Street.	1:100.
PD-15-288	019.	PROPOSED EAST Elevation Section 01.-01.	1:100.
PD-15-288	020.	PROPOSED Section 02.-02.	1:100.
PD-15-288	021.	PROPOSED Sections 03.-03./ 04.-04.	1:100.
PD-15-288	022.	PROPOSED Window Details SHEET 1.	1:10.
PD-15-288	023.	PROPOSED Window Details SHEET 2.	1:10.
PD-15-288	024.	PROPOSED Window Details SHEET 3.	1:10.
PD-15-288	025.	PROPOSED Window Details SHEET 4.	1:10.
PD-15-288	026.	PROPOSED Window Details SHEET 5.	1:10.

NOTES :

DO NOT SCALE from this drawing.
Contractors must verify all dimensions on site before setting out,commencing work, ordering materials or making any shop drawings.

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The information contained in this drawing is representational and has been compiled, from a dimensional survey only and does not warrant nor certify the structure of the buildings or neighbouring structures at the time of construction.
The contractor is to visit the site to make himself acquainted with the building's and surroundings and undertake any investigation work or make all allowances to ensure that a full and final quotation for the works will be submitted, taking into account all eventualities.

Failure to do so will be at the contractors own risk and no additional payments shall be countenanced for any ommendments to the work.

The contractor is to carry out all works in full compliance with the Health and Safety Commission's Approved Code of Practice "Managing Construction for Health and Safety" and Construction (Design and Management) Regulations 1994. All work and working practices on the site shall be carried out in accordance with the above and to ensure that there is no risk to the site operatives, visitors or public.

The contractor is to include all preliminary allowances to cover the prevention of accidents and injury.
All works are to be carried out to comply with manufacturers, suppliers and industry guidelines, local authority regulations, good standards, fire safety recommendations, specialist subcontract recommendations and services supply and installation regulations. All manufacturers literature is to be kept on site. Provide all relevant guarantees in duplicate for presentation to the client.

Allow all necessary attendance and liaison with CA's (and CA personnel) specialist subcontractor trades. Ensure all notifications are submitted to the Local Authority, Building Control and submit materials as required to the local Authority Planning Department.

Carefully examine the drawings and notify any discrepancies to the CA for instruction prior to proceeding.

Check all dimensions on site prior to ordering materials and notify any discrepancies to the CA for instruction prior to proceeding.

This drawing and design is for use solely in connection with the project described below.

No Responsibility For Any Error Or Omission In This Specification Will Be Recognised Unless Brought To The Attention Of The Client Or His Agent Prior To Signing The Contracts.

Rev:	Date:	Int:	Amendment:
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Norfolk Attleborough Office:
2 Exchange Street, Attleborough,Norfolk,
NR17 2AB
Tel: 01953 456722

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Project Address:

Proposed new Building at
357 Euston Road/
44 Warren Street,
LONDON, NW1 3AL.

Client Name:

for Mr P Collett.

Drawing Title:

PLANNING:

Elevation to Conway Street:

<u>Drawn By:</u>		<u>Project Ref Number:</u>
John H Patterson.		PD-15-288.
<u>Date:</u>	<u>Scale:</u>	<u>Drawing Number:</u>
SEPT 2015	1:100 @ A1.	018.

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All dimensions are in millimeters	Suffix:	
All dimensions to be checked on site		

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