

01.

02.

SCHEDULE of Drawings: JOB NO: SHEET NO: DRAWING TITLE: scale: PD-15-288 001. Location Plan. 1:2500. PD-15-288 002. EXISTING Basement and Ground Floor Plans. 1:50. PD-15-288 003. EXISTING First and Second Floor Plans. 1:50. PD-15-288 004. EXISTING Third Floor and Roof Plans. 1:50. PD-15-288 005. EXISTING Elevation to Euston Road. 1:100. PD-15-288 006. EXISTING Elevation to Warren Street. 1:100. 1:100. PD-15-288 007. EXISTING Elevation to Conway Street. PD-15-288 008. EXISTING Section Through Building. 1:100. PD-15-288 009. PROPOSED Site Layout. 1:200. PD-15-288 010. PROPOSED Basement and Ground Floor Plans. 1:50. PD-15-288 011. PROPOSED First and Second Floor Plans. 1:50. PD-15-288 012. PROPOSED Third and Forth Floor Plans. 1:50. PD-15-288 013. PROPOSED Fifth Floor Plan. 1:50. PD-15-288 014. PROPOSED Sixth and Seventh Floor Plans. 1:50. PD-15-288 015. PROPOSED Roof Plan. 1:50. PD-15-288 016. PROPOSED Elevation to Euston Road. 1:100. PD-15-288 017. PROPOSED Elevation to Warren Street. 1:100. PD-15-288 018. PROPOSED Elevation to Conway Street. 1:100. PD-15-288 019. PROPOSED EAST Elevation Section 01.-01. 1:100. PD-15-288 020. PROPOSED Section 02.-02. 1:100. PD-15-288 021. PROPOSED Sections 03.-03./ 04.-04. 1:100. PD-15-288 022. PROPOSED Window Details SHEET 1. 1:10. PD-15-288 022. PROPOSED Window Details SHEET 7. PD-15-288 023. PROPOSED Window Details SHEET 2. PD-15-288 024. PROPOSED Window Details SHEET 3. PD-15-288 025. PROPOSED Window Details SHEET 4. PD-15-288 026. PROPOSED Window Details SHEET 5. 1:10. 1:10. 1:10. 1:10.

01.

02.

PROPERTY.	Floor Area m ²	Floor Area ft
BASEMENT Floor:		
Office 2 (B1).	76.00 m ²	838ft².
Office 3 (B1).	36.50 m ²	401ft².
Passage/Stair (B1).	12.50 m ²	138ft².
Kitchen (B1).	04.30 m ²	48ft².
Plant Room (B1).	02.00 m ²	22ft².
Toilet (B1).	03.50 m ²	38ft².
GROUND Floor:		
Office 1 (B1).	46.50 m ²	512ft².
Entrance/Stairs (B1).	11.00 m ²	121ft².
Refuse/Bicycles (B1).	07.50 m ²	82ft².
Entrance/Stairs (C3).	17.00 m ²	187ft².
Bicycle Store (C3).	10.50 m ²	110ft².
Lift Shaft (C3).	03.00 m ²	33ft².
	03.00 m ²	44ft ² .
Metres Cup'd(C3).	04.00m ²	
Refuse Bins. (C3).	07.50 m²	105ft².
FIRST Floor:	111	1.00.00
Apartment 1: 2 Bed.	111.50 m ²	1,226ft².
Lift Shaft	03.00m ²	33ft².
Stair.	07.00 m ²	77ft².
SECOND Floor:		
Apartment 2: 2 Bed	68.00 m ²	750ft².
Apartment 3: 1 Bed	41.00 m ²	450ft ² .
Lift Shaft	03.00 m ²	33ft².
Stair/Ha ll	11.50 m ²	126ft².
THIRD Floor:		
Apartment 4: 2 Bed	68.00 m ²	750ft².
Apartment 5: 1 Bed	41.00 m ²	450ft².
Lift Shaft	03.00 m ²	33ft2
Stair/Hall	11.50 m ²	126ft².
FORTH Floor:		
Apartment 6: 2 Bed	68.00 m ²	750ft².
Apartment 7: 1 Bed	41.00 m ²	450ft ² .
Lift Shaft	03.00 m ²	33ft ²
Stair/Hall	11.50 m ²	126ft².
FIFTH Floor:		
Apartment 8: 3 Bed.	107.50 m ²	1,182ft².
Lift Shaft	03.00 m ²	33ft ²
Stair.	07.00 m ²	77ft ²
Balcony.	07.00 m ²	77ft ²
SIXTH Floor:		
Apartment 9. Duplex	84.00 m ²	925ft²
Lift Shaft	03.00 m ²	925112 33ft2
Stair.	03.00 m ²	77ft
Roof Garden	24.50 m ²	270ft
	24.30111	27011
SEVENTH Floor:	75.00 m ²	00 <i>E</i> f+2
Apartment 9. Duplex	75.00 m ²	825ft ²
Roof Garden Baconies	19.50 m ² 08.00 m ²	215ft ² 88ft ²
TOTAL Floor Area 9.	159.00 m	
TOTAL HOUR AREA 9.	137.00 M	17501
TOTAL Floor Area of P		
	1,055.00 m²	11,605ft
TOTAL GROSS Externo	Area of New	Building
	1,238.00 m ²	13,620ft

NOTES :

DO NOT SCALE from this drawing.

Contractors must verify all dimensions on site before setting out,commencing work, ordering materials or making any shop drawings.

This drawing and design is for use solely in connection with the project described below.

No Responsibility For Any Error Or Omission In This Specification Will Be Recognised Unless Brought To The Attention Of The Client Or His Agent Prior To Signing The Contracts.

Rev:Date:Int:Amendment:

Norfolk Attleborough Office: 2 Exchange Street, Attleborough,Norfolk, NR17 2AB

Tel: 01953 456722

Also offices in Suffolk and London

RIBA 🖽

Chartered Practic

Project Address:

Patterson DESIGN RIBA CHARTERED PRACTICE

www.pdarchitectural.co.uk

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Proposed new Building at

357 Euston Road/

44 Warren Street,

LONDON, NW1 3AL.

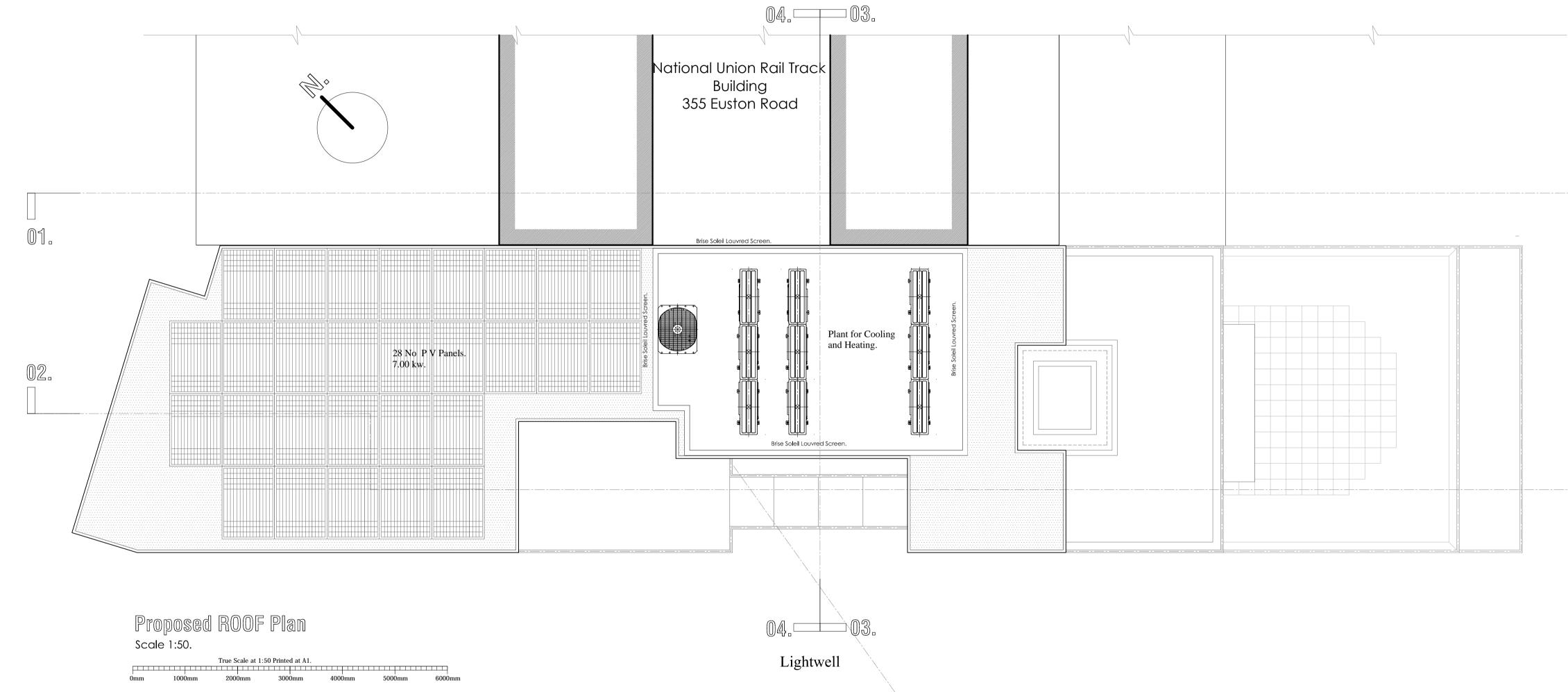
Client Name:

for Mr P Collett.

Drawing Title: PLANNING:

Sixth and Seventh Floor Plans:

Drawn By:			Project Ref Number:							
John H Patters	PD-15-288.									
<u>Date:</u>	Dro	awin	g Nu	mbe	er:					
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SCHEDULE of Drawings:									
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PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	009. 010. 011. 012. 013. 014. 015.	PROPOSED Site Layout. PROPOSED Basement and Ground Floor Plans. PROPOSED First and Second Floor Plans. PROPOSED Third and Forth Floor Plans. PROPOSED Fifth Floor Plan. 1:50. PROPOSED Sixth and Seventh Floor Plans. PROPOSED Roof Plan. 1:50.	1:200. 1:50. 1:50. 1:50. 1:50.						
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	013. 016. 017. 018. 019. 020. 021.	PROPOSED Elevation to Euston Road. PROPOSED Elevation to Warren Street. PROPOSED Elevation to Conway Street. PROPOSED EAST Elevation Section 0101. PROPOSED Section 0202. PROPOSED Sections 0303./ 0404.	1:100. 1:100. 1:100. 1:100. 1:100. 1:100.						
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	022. 023. 024. 025. 026.	PROPOSED Window Details SHEET 1. PROPOSED Window Details SHEET 2. PROPOSED Window Details SHEET 3. PROPOSED Window Details SHEET 4. PROPOSED Window Details SHEET 5.	1:10. 1:10. 1:10. 1:10. 1:10.						



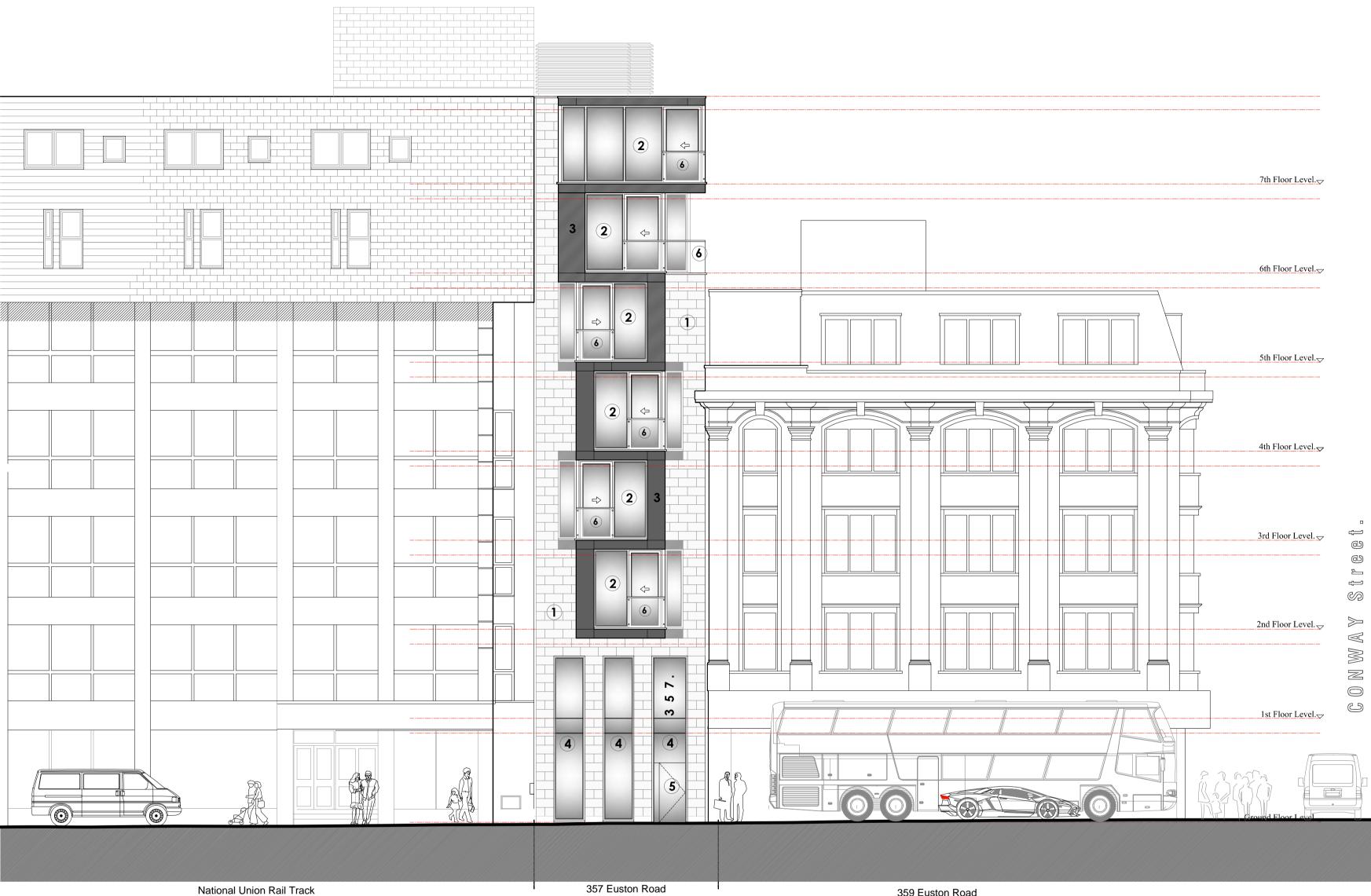
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All dimensions to be checked on site

01.

02.



Building 355 Euston Road

NORTH Elevation to EUSTON Road. Scale 1:100

True Scale at 1:100 Printed at A1. 2000mm 4000mm 6000mm 8000mm 10000mm 12000mm 0mm

Euston Road Elevation

____ 20m A.O.D.

SCHEDULE of Drawings:							
JOB No:	SHEET	No: DRAWING TITLE:	scale:				
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	001. 002. 003. 004. 005. 006. 007. 008.	Location Plan. EXISTING Basement and Ground Floor Plans. EXISTING First and Second Floor Plans. EXISTING Third Floor and Roof Plans. EXISTING Elevation to Euston Road. EXISTING Elevation to Warren Street. EXISTING Elevation to Conway Street. EXISTING Section Through Building.	1:2500. 1:50. 1:50. 1:50. 1:100. 1:100. 1:100. 1:100.				
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PD-13-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	014. 015. 016. 017. 018. 019. 020. 021.	PROPOSED Sixin and sevenin Floor Plans. PROPOSED Roof Plan. 1:50. PROPOSED Elevation to Euston Road. PROPOSED Elevation to Warren Street. PROPOSED Elevation to Conway Street. PROPOSED EAST Elevation Section 0101. PROPOSED Section 0202. PROPOSED Sections 0303./ 0404.	1:100. 1:100. 1:100. 1:100. 1:100. 1:100.				
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357 Euston Road Application Site

359 Euston Road

REF: DESCRIPTION: No 1. LIGNACITE Facing Masonry Blocks, pla 2. Triple glazed powder coated aluminiu by ALUK. colour dark grey RAL 7015. 3. Powder coated aluminium cladding ALUK. colour dark grey RAL 7015. 4. Triple glazed powder coated aluminiu ALUK. colour dark grey RAL 7015. 5. Fully glazed plate glass entrance doc 6. Proprietary plate glass balustrade wit 7. Triple glazed powder coated alumini colour dark grey RAL 7015. 8. Powder coated aluminium cladding of 9. Powder coated aluminium Fascia co 10. Hardwood cladding as supplied by E 11. Access door covered with hardwood Ltd, Stained dark grey RAL 7015. 12. 200mm stainless Steel box Lettering. 13. RENSON Aluminium louvred Screen to plant area. 14. PILKINGTON Spandrill insulkated glass panels, colour 18B25 Grey. 15. PILKINGTON Spandrill insulkated glass panels, colour 00E55 Opaque White. 16. PILKINGTON RAYNER Glass Blocks 190x190mm panel size 600mm wide.

NOTES

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SCHEDULE of MATERIALS :

anished finish, colour Snowstorm.
ium window,door and curtain wall system as supplied
forming part of the curtain wall system as supplied by
um double storey window system as supplied by
pr.
th stainless steel handrails
ium window and door system as supplied by ALUK.
colour dark grey RAL 7015.
blour dark grey RAL 7015.
Exterior Solutions Ltd, stained dark grey RAL 7015.
d cladding externally as supplied by Exterior Solutions

17. Powder coated aluminium colour light grey RAL 7035. 18. KALWALL Translucent insulated panels to stairwell, Colour Bone White.

Basement Floor Level.

The contractor is to carry out all works in full compliance with The contractor is to include all preliminary allowances to

Practice "Managing Construction for Health and Safety" and Construction (Design and Management) Regulations 1994. All work and working practices on the site shall be carried out in accordance with the above and to ensure that there is no

All works are to be carried out to comply with manufacturers, suppliers and industry guidelines, local authority regulations,

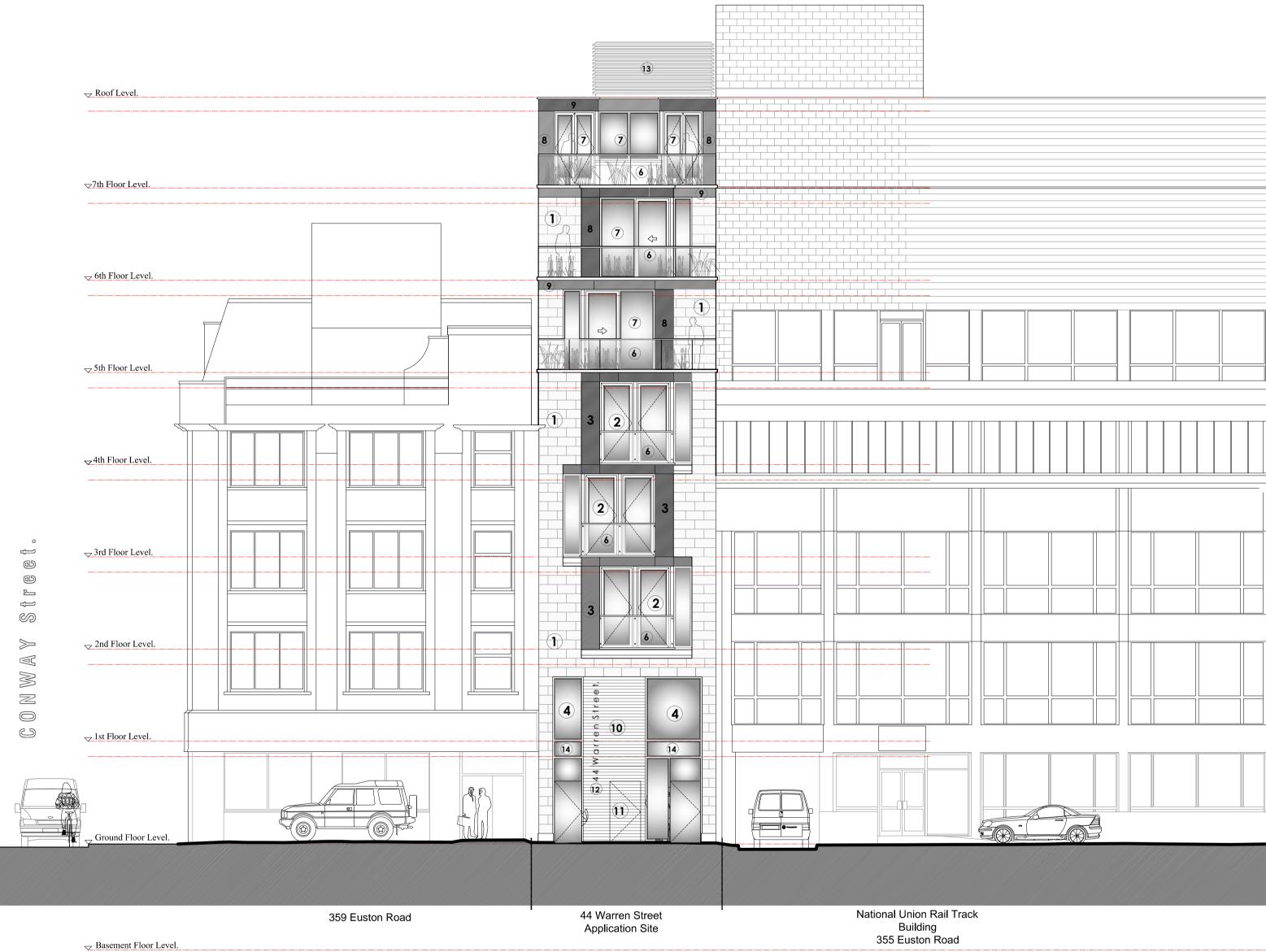
kept on site. Provide all relevant guarantees in duplicate for Allow all necessary attendance and liaison with CA's (and

CA personnel) specialist subcontractor trades. Ensure all Building Control and submit materials as required to the local

Carefully examine the drawings and notify any discrepancies

Check all dimensions on site prior to ordering materials and

No Responsibility For Any Error Or Omission In This Specification





8000mm 10000mm

12000mm

6000mm

Warren Street Elevation

4000mm

2000mm

_▽ 20m A.O.D.

0mm

SCHEDULE of Drawings:							
JOB No:	SHEE	No: DRAWING TITLE:	scale:				
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	001. 002. 003. 004. 005. 006. 007. 008.	Location Plan. EXISTING Basement and Ground Floor Plans. EXISTING First and Second Floor Plans. EXISTING Third Floor and Roof Plans. EXISTING Elevation to Euston Road. EXISTING Elevation to Warren Street. EXISTING Elevation to Conway Street. EXISTING Section Through Building.	1:2500. 1:50. 1:50. 1:50. 1:100. 1:100. 1:100. 1:100.				
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	009. 010. 011. 012. 013. 014. 015.	PROPOSED Site Layout. PROPOSED Basement and Ground Floor Plans. PROPOSED First and Second Floor Plans. PROPOSED Third and Forth Floor Plans. PROPOSED Fifth Floor Plan. 1:50. PROPOSED Sixth and Seventh Floor Plans. PROPOSED Roof Plan. 1:50.	1:200. 1:50. 1:50. 1:50. 1:50.				
PD-13-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	013. 016. 017. 018. 019. 020. 021.	PROPOSED Revation to Euston Road. PROPOSED Elevation to Warren Street. PROPOSED Elevation to Conway Street. PROPOSED EAST Elevation Section 0101. PROPOSED Section 0202. PROPOSED Sections 0303./ 0404.	1:100. 1:100. 1:100. 1:100. 1:100. 1:100.				
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	022. 023. 024. 025.	PROPOSED Window Details SHEET 1. PROPOSED Window Details SHEET 2. PROPOSED Window Details SHEET 3. PROPOSED Window Details SHEET 4.	1:10. 1:10. 1:10. 1:10.				

PD-15-288 026. PROPOSED Window Details SHEET 5.

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1:10.

SCHEDULE of MATERIALS : REF: DESCRIPTION: No: 1. LIGNACITE Facing Masonry F 2. Triple glazed powder coated by ALUK. colour dark grey RA 3. Powder coated aluminium of ALUK. colour dark grey RAL 4. Triple glazed powder coated ALUK. colour dark grey RAL 7 5. Fully glazed plate glass entr 6. Proprietary plate glass balus 7. Triple glazed powder coate colour dark grey RAL 7015. 8. Powder coated aluminium 9. Powder coated aluminium 10. Hardwood cladding as supp 11. Access door covered with Ltd, Stained dark grey RAL 12. 200mm stainless Steel box Le 13. RENSON Aluminium louvre 14. PILKINGTON Spandrill insulka 15. PILKINGTON Spandrill insulka 16. PILKINGTON RAYNER Glass 17. Powder coated aluminium colour light grey RAL 7035. 18. KALWALL Translucent insulated panels to stairwell, Colour Bone White.

NOTES :

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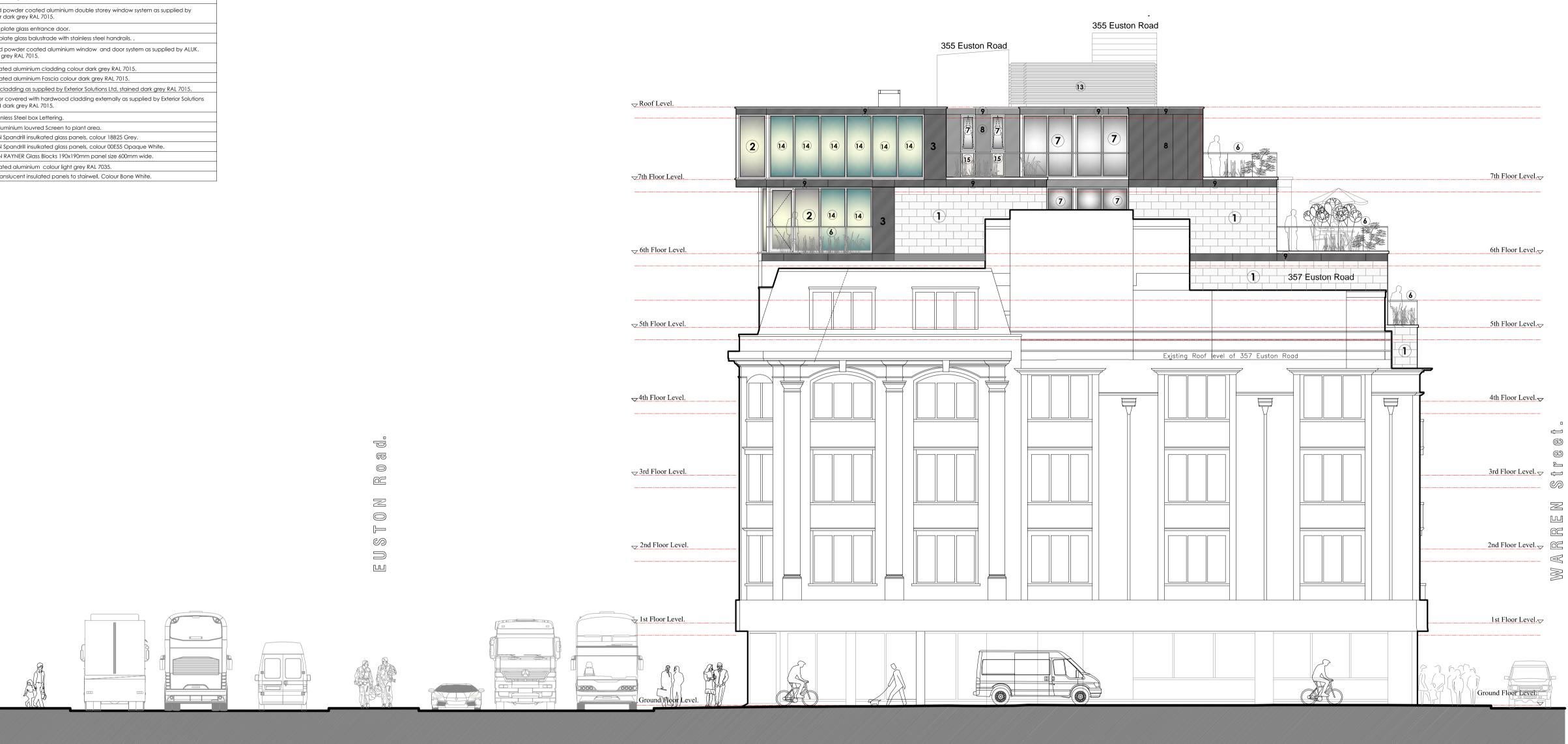
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Blocks, planished finish, colour Snowstorm.
d aluminium window,door and curtain wall system as supplied AL 7015.
cladding forming part of the curtain wall system as supplied by 7015.
d aluminium double storey window system as supplied by 7015.
ance door.
strade with stainless steel handrails
ed aluminium window and door system as supplied by ALUK.
cladding colour dark grey RAL 7015.
Fascia colour dark grey RAL 7015.
plied by Exterior Solutions Ltd, stained dark grey RAL 7015.
hardwood cladding externally as supplied by Exterior Solutions 7015.
ettering.
d Screen to plant area.
ated glass panels, colour 18B25 Grey.
ated glass panels, colour 00E55 Opaque White.
Blocks 190x190mm panel size 600mm wide.
colour light grev RAL 7035

DEE	DECODIPTION
REF:	DESCRIPTION:
No:	
1.	LIGNACITE Facing Masonry Blocks, planished finish, colour Snowstorm.
2.	Triple glazed powder coated aluminium window,door and curtain wall system as supplied by ALUK. colour dark grey RAL 7015.
3.	Powder coated aluminium cladding forming part of the curtain wall system as supplied by ALUK. colour dark grey RAL 7015.
4.	Triple glazed powder coated aluminium double storey window system as supplied by ALUK. colour dark grey RAL 7015.
5.	Fully glazed plate glass entrance door.
6.	Proprietary plate glass balustrade with stainless steel handrails
7.	Triple glazed powder coated aluminium window and door system as supplied by ALUK. colour dark grey RAL 7015.
8.	Powder coated aluminium cladding colour dark grey RAL 7015.
9.	Powder coated aluminium Fascia colour dark grey RAL 7015.
10.	Hardwood cladding as supplied by Exterior Solutions Ltd, stained dark grey RAL 7015.
11.	Access door covered with hardwood cladding externally as supplied by Exterior Solutions Ltd, Stained dark grey RAL 7015.
12.	200mm stainless Steel box Lettering.
13.	RENSON Aluminium louvred Screen to plant area.
14.	PILKINGTON Spandrill insulkated glass panels, colour 18825 Grey.
15.	PILKINGTON Spandrill insulkated glass panels, colour 00E55 Opaque White.
16.	PILKINGTON RAYNER Glass Blocks 190x190mm panel size 600mm wide.
17.	Powder coated aluminium colour light grey RAL 7035.
18.	KALWALL Translucent insulated panels to stairwell, Colour Bone White.



SCHEDULE of Drawings:									
JOB No:	SHEE	No: DRAWING TITLE:	scale:						
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	001. 002. 003. 004. 005. 006. 007. 008.	Location Plan. EXISTING Basement and Ground Floor Plans. EXISTING First and Second Floor Plans. EXISTING Third Floor and Roof Plans. EXISTING Elevation to Euston Road. EXISTING Elevation to Warren Street. EXISTING Elevation to Conway Street. EXISTING Section Through Building.	1:2500. 1:50. 1:50. 1:50. 1:100. 1:100. 1:100. 1:100.						
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	009. 010. 011. 012. 013. 014.	PROPOSED Site Layout. PROPOSED Basement and Ground Floor Plans. PROPOSED First and Second Floor Plans. PROPOSED Third and Forth Floor Plans. PROPOSED Fifth Floor Plan. 1:50. PROPOSED Sixth and Seventh Floor Plans.	1:200. 1:50. 1:50. 1:50.						
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	014. 015. 016. 017. 018. 019. 020. 021.	PROPOSED Roof Plan. 1:50. PROPOSED Elevation to Euston Road. PROPOSED Elevation to Warren Street. PROPOSED Elevation to Conway Street. PROPOSED EAST Elevation Section 0101. PROPOSED Section 0202. PROPOSED Sections 0303./ 0404.	1:100. 1:100. 1:100. 1:100. 1:100. 1:100.						
PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288 PD-15-288	022. 023. 024. 025. 026.	PROPOSED Window Details SHEET 1. PROPOSED Window Details SHEET 2. PROPOSED Window Details SHEET 3. PROPOSED Window Details SHEET 4. PROPOSED Window Details SHEET 5.	1:10. 1:10. 1:10. 1:10. 1:10.						



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→ Basement Floor Level.

WEST Elevation to CONWAY Street. Scale 1:100

True Scale at 1:100 Printed at A1. 4000mm 6000mm 8000mm 2000mm 1000⁰mm 12000mm 0mm

Conway Street Elevation

∠ 20m A.O.D.

Basement Floor Level.

NOTES :

DO NOT SCALE from this drawing.

Contractors must verify all dimensions on site before setting out,commencing work, ordering materials or making any shop drawings.

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The information contained in this drawing is representational and has been compiled, from a dimensional survey only and does not warrant nor certify the structure of the buildings or neighbouring structures at the time of contraction.

The contractor is to visit the site to make himself acquainted with the building's and surroundings and undertake any investigation work or make all allowances to ensure that a full and final quotation for the works will be submitted, taking into account all eventualities.

Failure to do so will be at the contractors own risk and no additional payments shall be countenanced for any amendments to the work.

The contractor is to carry out all works in full compliance with the Health and Safety Commission's Approved Code of Practice "Managing Construction for Health and Safety" and Construction (Design and Management) Regulations 1994. All work and working practices on the site shall be carried out in accordance with the above and to ensure that there is no risk to the site operatives, visitors or public.

The contractor is to include all preliminary allowances to cover the prevention of accidents and injury. All works are to be carried out to comply with manufacturers,

suppliers and industry guidelines, local authority regulations, good standards, fire safety recommendations, specialist subcontract recommendations and services supply and installation regulations. All manufacturers literature is to be kept on site. Provide all relevant guarantees in duplicate for presentation to the client.

Allow all necessary attendance and liaison with CA's (and CA personnel) specialist subcontractor trades. Ensure all notifications are submitted to the Local Authority. Building Control and submit materials as required to the local

Authority Planning Department. Carefully examine the drawings and notify any discrepancies

to the CA for instruction prior to proceeding. Check all dimensions on site prior to ordering materials and notify any discrepancies to the CA for instruction prior to proceeding.

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No Responsibility For Any Error Or Omission In This Specification Will Be Recognised Unless Brought To The Attention Of The Client Or His Agent Prior To Signing The Contracts.



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Proposed new Building at

357 Euston Road/

44 Warren Street,

LONDON, NW1 3AL.

<u>Client Name:</u>

for Mr P Collett.

Drawing Title:

PLANNING: Elevation to Conway Street:

Drawn By:	Project Ref Number:								
John H Patters	PD-15-288.								
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