



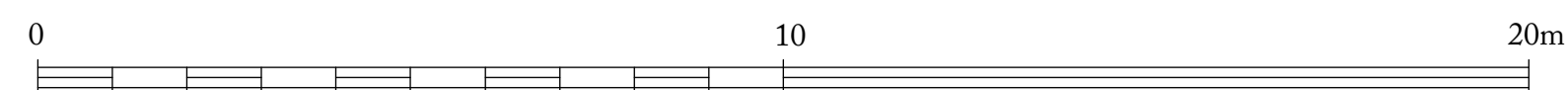
13.

1 STREET ELEVATION 1
1:200

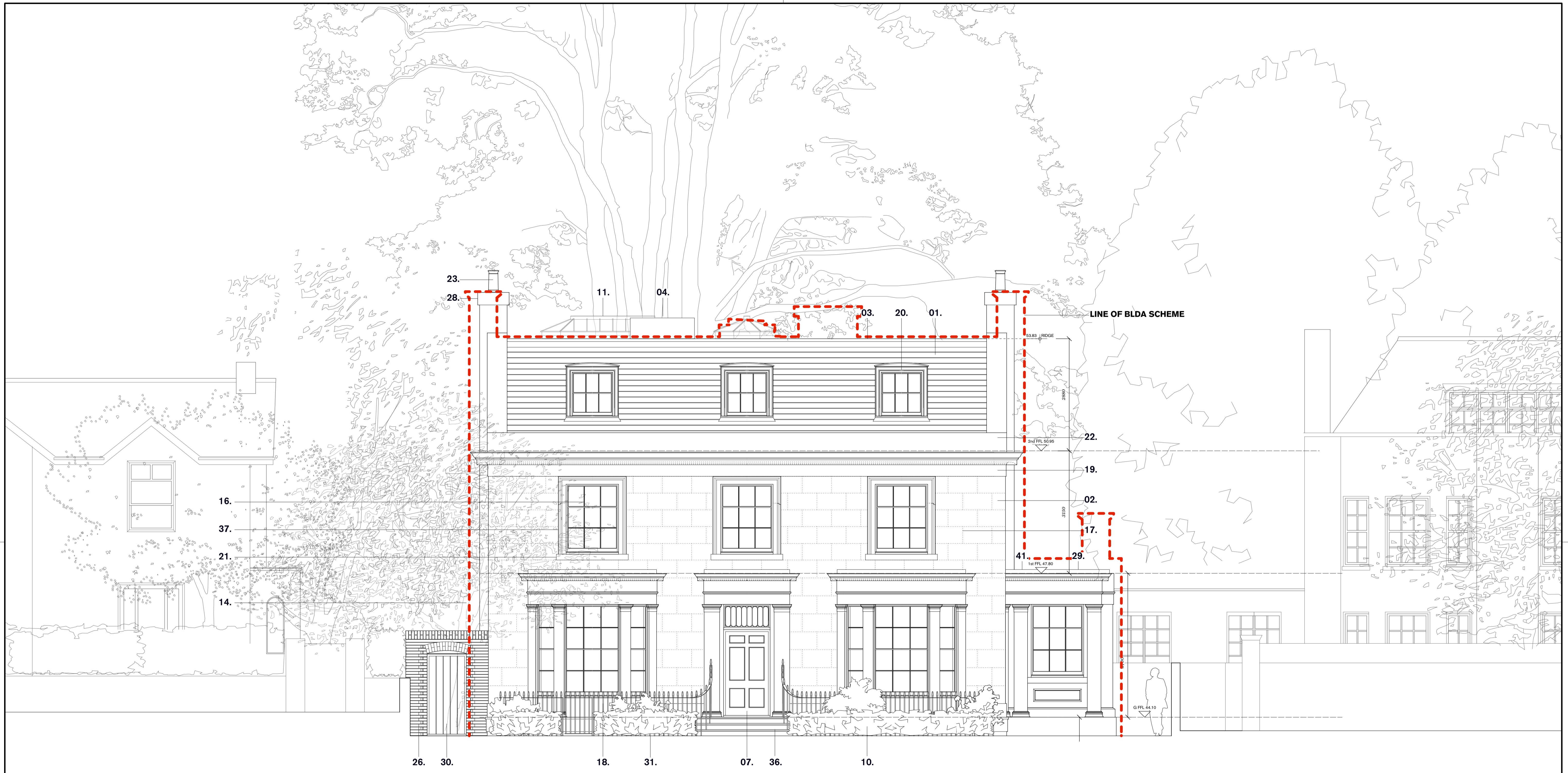


2 STREET ELEVATION 2
1:500

- | | | |
|---|---|---|
| <ol style="list-style-type: none"> 1. Welsh slate roof with lead flashing to parapet 2. Render walls painted off white 3. Evalon by Alwitra - single ply membrane roof 4. Lead covered lift overrun 5. PV array 6. Metal rainwater goods painted 'off white' - Longbottom Ltd 4" downpipe 7. Hardwood timber door 8. Painted metal acoustic louvres 9. Reclaimed York stone open jointed pavers on suitable bed to permit free drainage 10. For planting see planting schedule 11. Openable glazed rooflights 12. Obscured tilt and turn sidelights with painted finish to hardwood frame 13. Garden wall repointed, repaired or replaced as necessary to match existing 14. Existing holly tree retained | <ol style="list-style-type: none"> 15. Level access to dwelling for Lifetime Homes standards 16. Double glazed painted finished hardwood sash windows 17. Decorative jointing to stucco to detail 18. Metal balustrade painted with metal based gloss paint 19. Decorative stucco corning 20. Lead clad dormer window cheeks - timber front face 21. Portland stone cill 22. Render with lead dressing parapet 23. Clay chimney pots - square base 24. Electrically operated sliding gate. Metal gate to be painted 25. Metal garden gate painted with suitable metal gloss paint 26. Yellow London stock brick - to match others locally 27. Hardwood framed glazed door - painted 28. Boiler flue | <ol style="list-style-type: none"> 29. Kitchen extract 30. Painted hardwood timber gate 31. SUDS technology to front garden landscaping 32. External refuse in secure enclosure 33. Composting bins 34. Secure cycle storage 35. Portland stone coping 36. Portland stone steps 37. Painted stucco window surrounds 38. For details of below ground construction see Structural Engineer's reports 39. For details of soil and groundwater conditions see Structural Engineer's reports 40. For details of services see Services Engineer's reports 41. Lead lined roof to minimum falls 42. Pool extract |
|---|---|---|



<i>Ben Pentreath & Associates</i>	
<small>49 Lamb's Conduit St, London WC1N 3NG telephone 0207 430 2424 benpentreath.com</small>	
<i>Project:</i>	NORFOLK ROAD CAMDEN
<i>Title:</i>	PROPOSED FRONT STREET ELEVATION
<i>Drawg No:</i>	108
<i>Rev. No:</i>	D
<i>Scale:</i>	1:100@A1 1:200@A3
<i>Drawn by:</i>	AB
<i>Date:</i>	10.15
<i>Checked by:</i>	BP
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- 1. Welsh slate roof with lead flashing to parapet
- 2. Render walls painted off white
- 3. Evalon by Alwitra - single ply membrane roof
- 4. Lead covered lift overrun
- 5. PV array
- 6. Metal rainwater goods painted 'off white' - Longbottom Ltd 4" downpipe
- 7. Hardwood timber door
- 8. Painted metal acoustic louvres
- 9. Reclaimed York stone open jointed pavers on suitable bed to permit free drainage
- 10. For planting see planting schedule
- 11. Openable glazed rooflights
- 12. Obscured tilt and turn sidelights with painted finish to hardwood frame
- 13. Garden wall repointed, repaired or replaced as necessary to match existing
- 14. Existing holly tree retained

- 15. Level access to dwelling for Lifetime Homes standards
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- 17. Decorative jointing to stucco to detail
- 18. Metal balustrade painted with metal based gloss paint
- 19. Decorative stucco corning
- 20. Lead clad dormer window cheeks - timber front face
- 21. Portland stone cill
- 22. Render with lead dressing parapet
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- 24. Electrically operated sliding gate. Metal gate to be painted
- 25. Metal garden gate painted with suitable metal gloss paint
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- 28. Boiler flue

- 29. Kitchen extract
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- 32. External refuse in secure enclosure
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- 40. For details of services see Services Engineer's reports
- 41. Lead lined roof to minimum falls
- 42. Pool extract

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Project: NORFOLK ROAD
CAMDEN

Title: PROPOSED FRONT
SOUTH ELEVATION

Drawg No: 109 *Rev. No:* D

Scale: 1:50@A1 *Drawn by:* AB

Date: 10.15 *Checked by:* BP

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- 1. Welsh slate roof with lead flashing to parapet
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- 40. For details of services see Services Engineer's reports
- 41. Lead lined roof to minimum falls
- 42. Pool extract

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49 Lamb Conduit St, London WC1N 3NG telephone 0207 430 2424 benpentreath.com

Project: NORFOLK ROAD
CAMDEN

Title: PROPOSED REAR
NORTH ELEVATION

Drawg No: 110 Rev. No: D

Scale: 1:50@A1
1:100@A3 Drawn by: AB

Date: 10.15 Checked by: BP

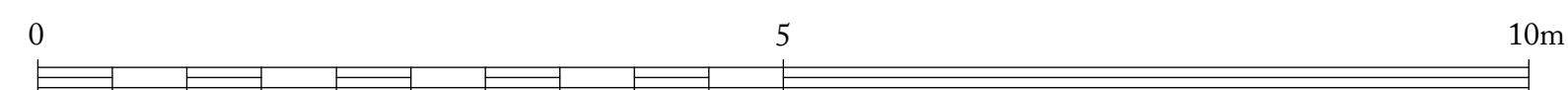
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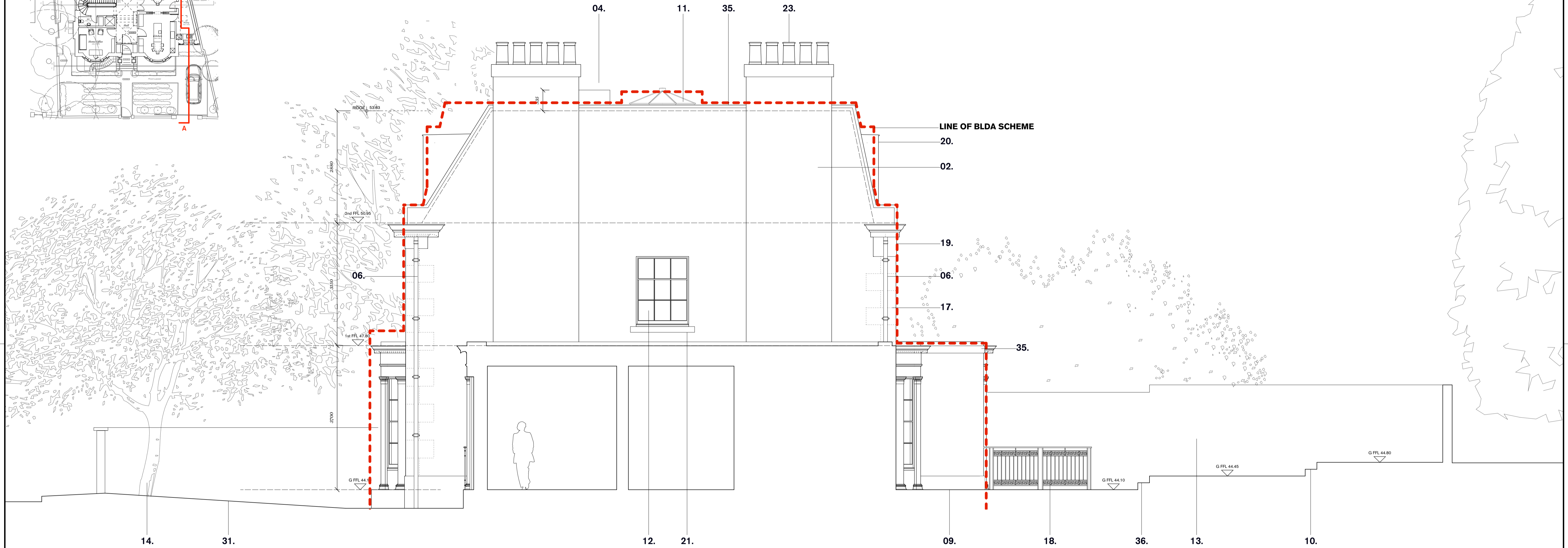
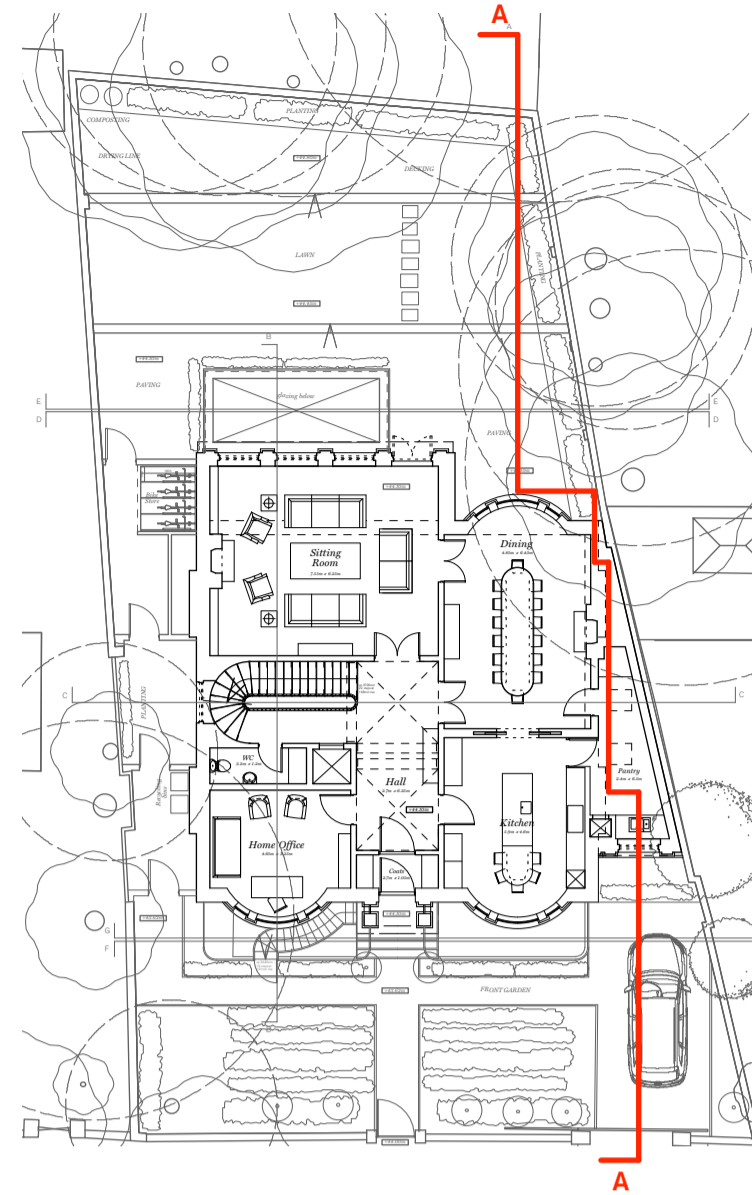
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Ben Pentreath & Associates	
49 Lamb's Conduit St, London WC1N 3NG telephone 0207 430 2424 benpentreath.com	
<i>Project:</i>	NORFOLK ROAD CAMDEN
<i>Title:</i>	PROPOSED WEST ELEVATION
<i>Drawg No:</i>	111
<i>Rev. No:</i>	D
<i>Scale:</i>	1:50@A1 1:100@A3
<i>Drawn by:</i>	AB
<i>Date:</i>	10.15
<i>Checked by:</i>	BP
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41. Lead lined roof to minimum falls
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49 Lamb's Conduit St, London WC1N 3NG telephone 0207 430 2424 benpentreath.com

Project: NORFOLK ROAD
CAMDEN

Title: PROPOSED
SECTION A-A

Draw No: 112 Rev. No: D

Scale: 1:50@A1 Drawn by: AB
1:100@A3

Date: 10.15 Checked by: BP

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