

No. Notes

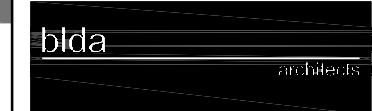
- Dimensions to be verified on site. Only figured dimensions to be used and any discrepancies in dimensions are to be reported to the architect. No dimensions are to be scaled from printed drawings. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.
- There is a risk of injury or death in construction if the works are not properly planned and supervised. The contractor must not undertake any element of the work without first having carried out the necessary risk assessments and prepared detailed method statements.

- Graded wales slate roof with lead flashing to parapet
- Sand cement render walls painted to match existing adjacent and to achieve 0.14 Wm2K
- Lead clad insulated timber roof to achieve 0.10 Wm2K
- Lift over run
- PV array to achieve 12 Kw/p
- Metal rainwater goods painted black
- Hardwood timber door with glazed sidelights to achieve 1.2 Wm2K
- Painted metal acoustic louvers to achieve
- York stone open jointed pavers of suitable bed to permit free drainage.
- For planting see Planning Schedule.
- Metal framed glazed rooflights to achieve 1.2 Wm2K
- Obscured and turn sidelights with bronze finish to hardwood frame to achieve 1.2 Wm2K
- Garden wall repointed, repaired or replaced as necessary to match existing.
- Existing tree retained.
- Level access to dwelling to Lifetime Homes standards.
- Double glazed bronze finished hardwood casement windows to achieve 1.2 Wm2K
- Rendered finish to quoits
- Decorative finish to stucco to detail
- Metal balustrade painted black with metal based gloss paint.
- Decorative stucco coming to detail
- Lead clad dormer windows.
- Portland stone sill
- Portland stone parapet
- Portland stone chimney flue
- Electrically operated sliding gate. Gate to be black painted metal.
- Metal garden gate painted black with suitable metal gloss paint.
- Yellow London stock brick.
- Portland stone chimney breast.
- Brick voussoids.
- Canistered concrete planters with painted render finish.
- Sliding folding double glazed screens in bronze finished hardwood to achieve 1.2 Wm2K
- External wall to achieve BDB improvement over current Building Regulations Part E.
- Hardwood framed glazed door to achieve u-value of 1.2 Wm2K
- Biomass boiler flue.
- Kitchen extract
- Painted hardwood timber gate
- SUDS technology to front garden hardstanding.
- External refuse storage in secure enclosure
- Composting bins.
- Secure & Enclosed cycle storage.
- Portland stone coping
- Portland stone steps
- Decorative vermiculation to window surround to detail
- For details of below ground construction see Structural Engineers reports
- For details of soil and ground water conditions see Structural Engineers reports
- For details of services see Services Engineers reports
- Lead lined roof to minimum falls to achieve u value of 0.1 Wm2K.
- External wall.



p\* Option B 01/06/2012

no. revision date.



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**job:** 1 NORFOLK ROAD  
**proj:** PRIVATE RESIDENCE  
**dwg:** FRONT STREET ELEVATION  
 OPTION B

**dwg. type:** PROPOSED

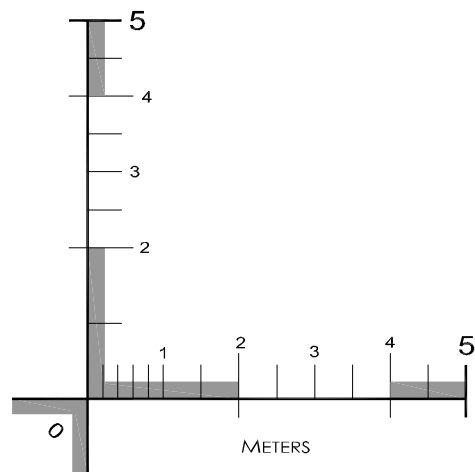
**dwg. status:** PLANNING

drawn by SRH checked by HC approved by ArchMed

scale 1:50 @ A1 size A1 date 20/07/12

job number drawing number revision

**2724 P209-2 p\***



39.978 B1 FFL 40.00 DATUM LEVEL

B2 FFL 36.352

33.602