



# Cameron Louro

DESIGN & ACCESS STATEMENT

**1 Norfolk Road  
NW8 6AX**

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## **1 Introduction and Background**

### **1.1 Purpose of the Statement**

This Design and Access Statement has been prepared by Cameron Louro Limited on behalf of Richard Lister. It accompanies an application under Section 73 of the Town and Country Planning Act 1990 to amend Condition 2 attached to planning permission reference 2012/2720/P granted on appeal on 18 July 2013 (appeal reference APP/X5210/A/13/2190084 (the Section 73 Application), in relation to a property at 1 Norfolk Road (the Property).

It is acknowledged that as a general principle, a Design and Access Statement is not required to support an application to vary a planning condition under Section 73 of the Town and Country Planning Act 1990. However, given the nature of the variation, which proposes amendments to the scheme design, it is considered appropriate that a Design and Access Statement should be submitted in this case.

This statement has been prepared with reference to the Town And Country Planning (General Development Procedure)(Amendment)(England) Order 2015 (the GDPO) and the London Borough of Camden's own advice, which states that a Design and Access Statement should include the following information:

- A description of the existing property or site, for example, key features, character, age and previous alterations that have been undertaken
- An explanation of the design principles and concepts behind the proposed development
- A description of the intended use of the proposed development
- A description of the layout of the proposed development
- Details of the scale of the proposed development, for example the height, width and length of new properties and private spaces
- A description of how private spaces will be landscaped in the proposed development
- A description of the appearance of the proposed development for example, what materials and architectural styles will be used
- An explanation of how local context has influenced the overall design
- Details of the proposed access to the development site and how equal and convenient vehicular and disabled access to buildings, spaces and the public transport network will be ensured and maintained

This Design and Access Statement has been written following an appraisal of the following policies and guidance adopted by the London Borough of Camden:

DP6 (Lifetime homes and wheelchair homes)

DP24 (Securing high quality design)

DP25 (Conserving Camden's heritage)

DP26 (Managing the impact of development)

CPG1 (Design)

CPG2 (Housing)

CPG (Amenity)

Our proposal is informed by the requirements of the relevant national and local planning policy, a point that is further addressed in the planning statement that also accompanies the application.

- 1.2 Planning permission was granted, on appeal, for the demolition of the existing dwelling house including basement and its replacement with a new dwelling house and basement in accordance with the terms of the application Ref 2012/2720/P dated 15 May 2012, subject to the conditions set out in the appeal decision (Appeal Ref: APP/X5210/A/13/2190084) (the *Approved Scheme*).
- 1.3 Briefly stated, our proposal uses the same scale, massing and footprint as the Approved Scheme with alterations to the external architectural style of the house including proposed materials of the elevations and adjustments to improve the internal layout.
- 1.4 The changes to the Approved Scheme are illustrated on drawings number Refs 100D, 101D, 102D, 103D, 104D, 105D, 106D, 107D, 108D, 109D, 110D, 111D, 112D, 113D, 114D, 115D, 116D, 117D and 118C.
- 1.5 A full appraisal of the changes proposed to the Approved Scheme are contained in a schedule to this Design and Access Statement, under section 12.0.

## 2. Context

- 2.1 1 Norfolk Road sits on the northern side of Norfolk Road, near the easternmost end where the street links with Avenue Road.(See Fig.1)

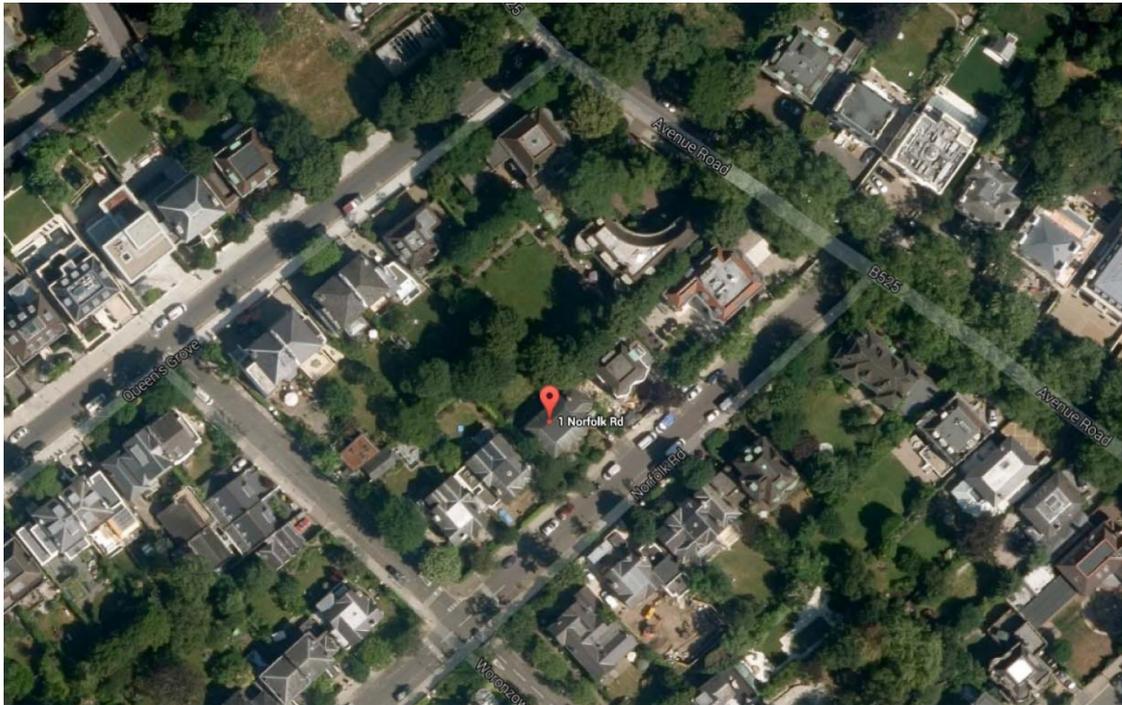


Figure 1 - Aerial View

- 2.2 The property is not within a conservation area, although it sits close to the Elsworthy Road conservation area, and is immediately adjacent to the St John's Wood East conservation area.(See Fig.2)



Figure 2 - Adjacent Conservation Areas in Red

2.3 The existing house on the site dates from the 20<sup>th</sup> century, and comprises a basement, two upper floors and a mansard. It is constructed from buff stock bricks with a slate roof, and has white painted timber windows. It is architecturally of little merit, and unusual in the streetscape as it is only two storeys above ground.(See Figs.3 & 4)



Figure 3 - Existing Front Elevation



Figure 4 - Existing Rear Elevation

2.4 The immediate vicinity is predominantly residential, and mainly formed of large three storey detached or semi-detached houses set back from the road, with clearly defined front driveways / gardens. (See Figs.5 & 6)



Figure 5 - Typical Nearby Property (65 Avenue Road)



Figure 6 - Typical Nearby Property (46 Avenue Road)

2.5 The neighbourhood overall is also predominantly residential. There are three storey terraces, three storeys dwellings on a raised ground floor, and occasional 4 storey properties. A number have basement levels. Again properties are set back from the street.

2.6 The overall effect is to create a streetscape of variety, with a mixture of architectural styles, building massing and roofscapes sitting adjacent to each other. This is further expressed due to the area's topography resulting in sloped streets.

2.7 Whilst the houses date from a variety of eras, many have seen significant alteration or are recent new-builds. The over-riding architectural styles employed are traditional, with the more recent houses typically neo-Georgian / neo-classical. The prevailing materials are stucco with a slate roof, or brick with a clay tile roof. (see Figs 7 to 10)



Figure 7 - Nearby Properties



Figure 8 - Nearby Property



Figure 9 - Nearby Properties



Figure 7 - Nearby Property

2.8 The recent pattern of development has been of substantial detached houses with basements, meeting the needs of residents and maximising the use of plots, whilst meeting the requirements of planning policy.

2.9 The inspector's decision for the approved scheme considered the scale of the development:

2.9.1 At paragraph 26, the inspector noted that "the new house, although larger than the building to be replaced, would sit comfortably within the site. It would respect the building and roof forms of properties on both sides, with good-sized front and rear gardens and adequate visual separation with the adjacent buildings."

2.9.2 At paragraph 27, in relation to the new basement, he states that "as a significant part of the new built form would not be evident from above ground level beyond the site, there would be no obvious perception of an overly intense form of development."

As noted above, our proposal uses the same scale, massing and footprint as the approved scheme.

### 3.0 Existing Site

- 3.1 The overall plot size is 587 sqm, with a gentle slope apparent through survey from west to east, and also a level difference of approximately 1200mm from the front to the back of the site; the highest point is to the back.
- 3.2 The Property is not within a conservation area. Nearby Camden conservation areas are Elsworthy (to the west), and St Johns Wood East. No. 2 and No.3 Norfolk Road fall within the latter. A Westminster conservation area is located to the south, and encompasses the southern side of Norfolk Road.
- 3.3 The Property is not a listed building. Adjacent listed buildings to the site are No's 2 and 3 Norfolk Road, comprising 1830s Grade II villas, and 34 to 37 Queens Grove, also Grade II listed. Several of the properties immediately opposite in the Westminster conservation area are also listed.
- 3.4 The existing house at no.1 is separated from this its immediate neighbour to the west at No. 2 by a tree lined access route, leading to the neighbour's side entrance (Figure 11).
- 3.5 To the east a double fronted mock Queen Anne villa sits adjacent, No.1A. The existing house on the applicant's site abuts the boundary to this property at ground and first floor. Additionally no.1A itself abuts the boundary at ground floor also. (see Fig.12)



Figure 11 - 2 Norfolk Road



Figure 12 - 1a Norfolk Road

- 3.4 The existing building at No.1A maintains a gap between it and No.1 above ground floor, maintaining the appearance in the streetscape of 2 detached dwellings. (see Fig.12)
- 3.5 There is a variegated holly to the front garden of the Property which has a TPO, and mature trees are present in the garden of 37 Queens Grove to the rear of the site, 65 Avenue Road to the east, and 2 Norfolk Road to the west. These partially screen the site.
- 3.6 The existing building and its neighbours on Norfolk Road are orientated south east, so rooms to the front facade benefit from good sunlight. The rear elevation is, however, in shadow until high summer. Sunlight and daylight have been modelled using ISE software. The results are contained in the Planning Sunlight Daylight Overshadowing Report.
- 3.7 There are no windows to habitable rooms on the flanking walls to either of the adjacent properties. Properties to the front and rear sit well apart from each other, with those to the south some 20m away, and those to the north some 30m away.
- 3.8 The current gardens to the front and rear of the Property are overlooked by habitable rooms to No.1A, No.1 and No.2 Norfolk Road. Existing windows to the side elevations of No.1A and No.2 Norfolk Road are non-habitable rooms.
- 3.9 There are windows to the side elevations of No.1 Norfolk Road, which are currently to habitable rooms.

## 4.0 Proposal

- 4.1 Full detail of the changes proposed to the Approved Scheme are set out in the Schedule.
- 4.2 The changes proposed address the applicant's desire for an alternative, more traditional, external architectural style of the house that respects the design and scale of the neighbouring properties. At the same time minor adjustments have been made to improve the internal layout.
- 4.3 The proposed property will be more consistent in scale and materials with its neighbours, and also takes consideration of the proximity of conservation areas, its setting adjacent to and near listed buildings, and the overall streetscape (Figures 13 to 16).



Figure 13 - Elsworthly & St Johns Wood East

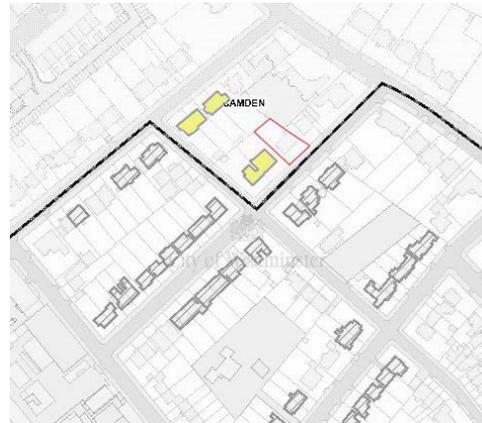


Figure 14 - nearby listed buildings\*

\*highlighted in yellow (Camden), highlighted in grey (Westminster), site outlined in red.



### *External Appearance of the House*

4.6 The immediate vicinity and neighbourhood contains a wide variety of styles. There is no specific “Norfolk Road” or “St Johns Wood” typology.

4.7 However as established by investigation, there is a clear trend towards new houses being typically neo-Georgian or neo-classical, typically carried out in stucco with a slate roof, or in brick with a clay tile roof. As additional background to external design:

4.7.1 The concept design was developed by Ben Pentreath, an architectural designer known for classical and traditional architecture for both private houses and urban developments ([www.benpentreath.com](http://www.benpentreath.com)). The revised façade is characteristic of his work in that it is traditional, and carefully detailed using authentic materials.

4.7.2 The design brief was “as if the house had always been there”, and to stay exactly within the scale, massing and footprint of the Approved Scheme. Pentreath’s main changes in moving forward from the Approved Scheme to a traditional design were to:

- Reduce the number of windows across the house both on the front and rear elevations. Historically, it would be unusual for a neo-Georgian or Regency house of 13.5 metres wide house to support more than three windows (the Approved Scheme has five);
- Reduce the size of the third floor windows to traditional mansard size;
- Remove the sunken patio in the garden area (to claim back more green space);
- Decreased the pitch of the front elevation mansard to reduce the visual impact; and
- Use stucco for the whole of the house, and limit the use of London brick to a low level wall to the side passage.

4.7.3 The design brief was also to create a house which has a calmer, less obtrusive character within the street scape, and whose scale and proportions link more immediately with the surrounding buildings.

4.7.3 As noted in the Planning Statement, the Applicant then sought input from the Eyre Estate who recommended limited changes (to the window design on the left flank). The Eyre Estate is supportive of the new design, as is the St John's Wood Society. The reaction from immediate neighbours during the consultation exercise was positive.

4.8 Briefly stated, the proposal submitted for the external appearance of the house is for a restrained three bay villa facade to the street in a classical style, best described as a restrained Greek revival order. It forms a quiet and calm addition to the streetscape. (see Fig.17 and 18)



Figure 17 - Proposed Elevation to Norfolk Road



Figure 18 - Proposed Elevation to Norfolk Road (hedge and TPO holly removed for visualisation only to show facade)

- 4.9 The main cornice is proportioned with a Greek Doric order, with ground floor cornices and square columns Ionic order.
- 4.10 Other detailing, including the double-hung sash windows and stucco architraves around the openings, are taken directly from neighbouring examples on the street. Ironwork detailing similarly matches several local examples which are characteristic of a number of houses on the Eyre Estate. (see Fig. 19 & 20)



Figure 19 - Reference Ironwork



Figure 20 - Reference Sashes / Stucco

- 4.11 The main facade materials visible to neighbours and the street comprise off-white painted stucco and a natural Welsh slate roof. These are found on many of the properties in the vicinity. The rear elevation also follows this aesthetic. (see Fig.21)



Figure 21 - Proposed Rear Elevation

## *Massing and Layout*

- 4.12 The overall massing and siting of the house on the plot responds to the immediate neighbours, and is largely unchanged above ground level from the Approved Scheme. The proposed front building line is maintained.
- 4.13 A set of drawings showing the changes is included for clarity within the application, and can be summarised as follows:
- *the front bay windows*
  - *the lift over-run has moved to reflect internal layout changes*
  - *the ridge line is just below the previous proposal.*
- 4.14 Below ground, the proposed basement floors are adjusted to accommodate internal layout changes also. The overall depth, number of levels, and basement footprint overall is largely unchanged from the Approved Scheme, and the proposal is entirely in accordance with the technical input submitted in support of this application and, for information, the Approved Scheme.
- 4.15 The main basement changes to note are:
- 4.13.1 an alteration in the positioning and size of the swimming pool at sub-basement level;
- 4.13.2 a reduction in the depth of soil cover above the basement from 1500mm to 1200mm. 1200mm exceeds Camden's preference for at least 1000mm of cover (notwithstanding current stated policy of 500mm).
- 4.16 Consistent with policy and the principles established in the Approved Scheme, the proposed layout minimises overlooking by limiting the number of windows to the flanking elevations and by providing obscured glazing to windows where provided (including windows to flanking elevations). None of the proposed windows directly overlook adjacent habitable rooms directly from proposed habitable rooms.

The ridge line of the building has been lowered as compared with the Approved Scheme. The ground floor finished floor level has also been lowered. Both alterations are neutral or potentially positive in respect of planning impact.

### *Sustainability*

- 4.17 Full details of the proposals in relating to Sustainability can be referred to in the accompanying Energy Statement, Materials Efficiency Statement, Code –pre-assessment, SAP Worksheets, and Sustainability Statement.
  
- 4.19 Specifically we would note that careful selection of materials and rigorous management practice ensure the efficient use of approved materials, materials with a low environmental impact will be used where feasible, and recycling strategies minimise waste.
  
- 4.20 Furthermore energy generation, renewable energy and water management have all been addressed in the accompanying reports.
  
- 4.21 A contractor that is a member of the Considerate Constructors Scheme will be appointed.

## 5.0 Landscaping

### *Existing Landscaping*

5.1 The existing landscaping to the site where relevant to this application is as follows:

There is a variegated holly tree in the front garden adjacent to no.2 that has a TPO. It is planted in a raised bed with roots partly above ground level. The tree trunk grows diagonally over the garden wall and obstructs the pavement. This tree will be retained. (see Fig.22)

The rear garden is approximately 1m higher than the front garden. The existing house is level with this portion of the garden, meaning there are steps up to the front door.

The rear garden contains no trees. There are trees to the north west and north east outside the site boundary.



Figure 22 - Proposed Streetscape View showing Retained Holly Tree.

5.2 An arboricultural implications assessment accompanied planning application 2012/2720/P. No works are proposed to the TPO tree (see Fig. 23), or that would impact upon the neighbouring trees.



Figure 23 - Holly Tree to be Retained

### *Proposed Landscaping*

5.3 A proposed landscaping scheme has been provided confirming the extent of hard and soft landscaping as materially unchanged from the Approved Scheme. The applicant anticipates this may be dealt with in more detail by planning condition.

## **6.0 Access**

- 6.1 The current pedestrian access to the existing house is via a central gate, with a forecourt car parking space to side. There is a paved passage to the side of the house accessed via a full height gate, leading to the rear garden.
- 6.2 Proposed access arrangements to the house are largely unaltered by the proposals, with the exception of some minor alterations to the micro topography to accommodate ease of access in line with Lifetime Homes criteria.
- 6.3 A single car parking space is provided at ground floor level. This matches the previously approved scheme, and also the existing provision. An automated gate will be provided from the street to the car parking space.

## **7.0 Secured by Design**

- 7.1 Secured by Design principles have been incorporated into the design of the development as follows:

The property is set away from the boundary apart from the elevation to No.1A, where the property extends to the boundary similar to the existing property.

Planting is increased along the boundaries.

Access to the rear garden is via a secure gate.

The front garden wall has been lowered to increase visibility from the street.

The front garden wall defines ownership.

## **8.0 Refuse & Recycling**

8.1 Code for Sustainable Homes Level 4 were used as reference for arriving at Refuse And Recycling arrangements:

Dedicated recycling facilities are provided.

Composting arrangements are included.

Full details of the refuse and recycling provision are addressed in the CSH Assessment Report.

## **9.0 Lifetime Homes**

9.1 In order to provide equal access to residents, Lifetime Homes has been complied with as follows and as required by policies DP6 and CPG2 on Housing.

Car parking width – an extra wide car parking space is provided.

A gentle slope provides access from the car parking to the house side gate.

The approach gradients complies with Part M of the Building Regulations.

A level entrance is provided to the side of the house, with a well illuminated external horizontal landing, wheelchair friendly threshold, and Part M compliant door width.

A lift provides access to all floors.

Internal door widths comply with the minimum internal dwelling door openings to provide equal access to all.

The generous room sizes in the house allow wheelchair turning within dining and living rooms.

The main living spaces are on the ground floor of the dwelling.

## 10.0 SCHEDULE OF AREAS - EXISTING HOUSE AND PROPOSED HOUSE

### *EXISTING HOUSE - GROSS INTERNAL AREA*

BASEMENT FLOOR	8 SQM
GROUND FLOOR	139 SQM
FIRST FLOOR	119 SQM
TOTAL G.I.	266 SQM

### *PROPOSED HOUSE - GROSS INTERNAL AREA*

POOL PLANT	23 SQM
SUB-BASEMENT	328 SQM
BASEMENT	328 SQM
GROUND FLOOR	180 SQM
FIRST FLOOR	145 SQM
SECOND FLOOR	126 SQM
TOTAL G.I.	1130 SQM

## 11.0 Conclusion

- 11.1 The Amended Scheme is similar in its scale and nature to the Approved Scheme, The changes proposed offer planning benefits in townscape terms and the proposal complies fully with relevant policy.

## **12.0 Comparison of Approved Scheme and Amended Scheme**

- 12.1 The Amended Scheme drawings identify by means of red line the extent of the Approved Scheme building. The drawings demonstrate that the Amended Scheme has the same massing as the Approved Scheme.
- 12.2 The following Change Schedule gives a detailed comparison of each of the differences between the Approved Scheme the Amended Scheme:

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### **CHANGE SCHEDULE IN RELATION TO Appeal Ref: APP/X5210/A/13/2190084**

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#### **C.1 - Drawing 100 Revision D, Proposed Site Plan**

The proposed landscaping detail as conditioned in the Approved Scheme has been varied in the rear garden, relocating the drying line, introducing a different configuration of steps and proposing a decked area to the rear of the garden.

The external recycling bins, cycle storage and lightwell to the side passage have been relocated.

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#### **C.2 - Drawing 101 Revision D, Proposed Sub Basement 2 Plan**

The proposed pool plant room has been moved within the Approved Scheme footprint.

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#### **C.3 - Drawing 102 Revision D, Proposed Sub Basement Plan**

The internal configuration of rooms has been adjusted within a similar footprint to the Approved Scheme.

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#### **C.4 - Drawing 103 Revision D, Proposed Basement Plan**

The internal configuration of rooms has been adjusted within a similar footprint to the Approved Scheme.

The Approved Scheme basement rear terrace area has been adjusted in size and glazed over.

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#### **C.5 - Drawing 104 Revision D, Proposed Ground Floor Plan**

The internal configuration of rooms has been adjusted within the same footprint to the Approved Scheme.

The changes noted in C.1 are present again in respect of landscaping.

The width and position of the side elevation chimney breasts has been slightly amended.

The square front bay windows have been replaced with curved front bay windows.

A rear curved bay window has been introduced to the rear elevation.

The front facade adjacent to the car parking space has been set back relative to the Approved Scheme.

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#### **C.6 - Drawing 105 Revision D, Proposed First Floor Plan**

The internal configuration of rooms has been adjusted within a similar footprint to the Approved

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Scheme.

The width and position of the side elevation chimney breasts has been amended.

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#### C.7 - Drawing 106 Revision D, Proposed Second Floor Plan

The internal configuration of rooms has been adjusted within a similar footprint to the Approved Scheme.

The width and position of the side elevation chimney breasts has been amended.

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#### C.8 - Drawing 107 Revision D, Proposed Roof Plan

The location of the lift shaft over-run has been adjusted to reflect the revised internal layout.

The location and shape of rooflights has been adjusted to reflect the revised internal layout.

The proposed metal framed rooflights are now proposed as timber framed with external lead dressing.

The location of solar panels has been adjusted to reflect the revised internal layout.

The width and position of the side elevation chimney breasts has been amended.

The proposed flat roofing material has been amended from lead to dark grey Alwitra single ply membrane.

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#### C.9 - Drawing 108 Revision D, Proposed Front Street Elevation

The proposed front boundary wall has been changed from a new rendered boundary wall to re-pointing, repairing or replacement to match existing.

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#### C.10 - Drawing 109 Revision D, Proposed Front South Elevation

The ridge height of the house has been reduced to just below that of the Approved Scheme.

The architectural style of the front elevation has been changed as follows:

The number of bays and windows has been reduced, and their proportions / shapes adjusted.

The size of the proposed roof dormers has been reduced.

The proposed external mouldings and columns have been changed.

The elevation immediately abutting No1a. has been set back relative to the main facade.

The proposed railings to the ground floor windows and dormers have been omitted.

The low level wall to the side passage is now in London stock brick, not stucco.

The proposed windows are now painted timber sash windows, not bronze painted timber casement windows.

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#### C.11 - Drawing 110 Revision D, Proposed Rear North Elevation

The ridge height of the house has been reduced to just below that of the Approved Scheme.

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The architectural style of the rear elevation has been changed as follows:

A curved bay window has been introduced to the rear elevation, replacing 2 no. sets of glazed double doors.

The number of bays and windows has been reduced, and their proportions / shapes adjusted.

The proposed railings to the ground floor windows, first floor windows and dormers have been omitted.

The proposed external mouldings and columns have been changed.

The proposed windows are now painted timber sash windows, not bronze painted timber casement windows.

The brick voussins to window and door heads have been omitted.

The Portland stone chimney flues have been replaced with square base clay chimney pots.

The low level wall to the side passage is now in London stock brick, not stucco.

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#### C.12 - Drawing 111 Revision D, Proposed West Elevation

The ridge height of the house has been reduced to just below that of the Approved Scheme.

The architectural style of the west elevation has been changed as follows:

The metal rainwater goods are now painted "off white" instead of black.

The Portland stone chimney flues have been replaced with square base clay chimney pots.

The width and position of the side elevation chimney breasts has been amended.

The proposed external mouldings and columns have been changed.

The proposed windows are now painted timber tilt and turn windows, not bronze painted timber windows.

The proposed windows have been adjusted in respect of proportions and shapes also.

The proposed full height side window to the rear single storey element has been omitted.

The proposed wall finish of sand cement render painted to match opposite has been replaced with render walls painted off white.

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#### C.13 - Drawing 112 Revision D, Proposed Section A-A

The ridge height of the house has been reduced to just below that of the Approved Scheme.

The architectural style of the east elevation has been changed as follows:

The metal rainwater goods are now painted "off white" instead of black.

The Portland stone chimney flues have been replaced with square base clay chimney pots.

The proposed external mouldings and columns have been changed.

The proposed window is now a painted tilt and turn window, not a bronze painted timber window.

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The proposed window has been adjusted in respect of proportion, shape and location.

The proposed wall finish of London stock brick has been replaced with render walls painted off white.

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12.3 For ease, the following summarises the applications that have been made to discharge conditions attached to the Approved Scheme, indicating where the same materials are to be used in the Amended Scheme:

<b>No. *</b>	<b>Description</b>	<b>Item submitted for approval</b>	<b>Use in Amended Scheme?</b>
3	Materials to be used in the construction of the external surfaces of the building	Window	Window to be replaced with detailed design drawing for sash window submitted with this application - Drawing 118 Rev C
		London stock brick	The same brick approved by the Planning Officer will be used for the low level side wall entrance to the side passage.
		Welsh slate	The same Welsh slate approved by the Planning Officer will be used for the roof of the Amended Scheme.
4	Fenestrations, railings and architectural detailing	Fenestration	Window to be replaced with detailed design drawing for sash window submitted with this application - Drawing 118 Rev C
		Elevation for Approved Scheme	Drawing 109 Rev D contains the elevation for the Amended Scheme.
		Railings	The same detailed railing design submitted for approval for the front and

No. *	Description	Item submitted for approval	Use in Amended Scheme?
			rear railings will be used for the Amended Scheme (for the front and rear railings).
5	Earthworks	Level drawing for existing levels and revised levels for Approved Scheme	A substantially similar scheme will be used and details will be submitted to the Planning Officer for approval.
6	Landscaping	Drawings for the Approved Scheme	A substantially similar scheme will be used and details will be submitted to the Planning Officer for approval.
7	Planting	Detailed planting schedule submitted for the Approved Scheme.	A substantially similar schedule will be used and details will be submitted to the Planning Officer for approval.
8	Hoarding	The hoarding is being erected in week commencing 2 November 2015.	The hoarding is the same.
9	Structural engineer	The structural engineer's appointment has been notified to the Planning Officer.	The structural engineer is the same.
10	Structural calculations for retention and making safe of highway	Will be submitted during November 2015.	The same drawings and calculations will apply to the Amended Scheme.

\* Refers to conditions attached to Approved Scheme on appeal.

### **13.0 Appendices**

Appendix 1 List of supporting documents

Appendix 2 List of drawings submitted with Section 73 application