

**BUILDING SURVEY
REPORT**

ON

**45 NEW OXFORD STREET AND
15-16 WEST CENTRAL STREET,
LONDON W1**

PREPARED BY:-

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BOTLEYBYRNE
CHARTERED SURVEYORS

**JUNE 2012
MDB/BBCS**

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BUILDING SURVEY REPORT

OUR REF: MDB/DC/BBCS

21st June 2012

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For the attention of: L Hill Esq

Dear Sirs

45 NEW OXFORD STREET AND 15-16 WEST CENTRAL STREET, LONDON W1

In accordance with your instructions we have carried out a building survey of the above property and we report as follows.

1.00 GENERAL DESCRIPTION

The property occupies a corner plot at the junction of New Oxford Street and West Central Street. The property is Grade II listed and within the Bloomsbury Conservation area.

The site comprises three interconnected buildings that were constructed at different times. To the front of the site, the original property built in the mid/late Victorian era circa 1875s. this building is formed over basement, ground and two upper floors and comprises solid load-bearing masonry walls, supporting intermediate floors of timber construction and with a timber framed and pitched roof over.

Adjacent to this and along West Central Street, this property is "L" shaped, presumably constructed to fill a void on the site, and formed over ground and first floors and is constructed in a similar fashion, being of solid load-bearing external walls supporting timber floor and roof structures above. We estimate this property to have been constructed in the 1930s. Finally there is a section to the rear of No43 that appears to have been separated from No43 and interlinked with West Central Street. The construction and detailing of this portion is as per No45.

The properties are formed in solid load-bearing masonry and are finished with stucco render with a painted finish. Fenestration is primarily by way of timber framed and single glazed sliding sash windows, although there are a number of metal framed windows along the West Central Street elevation.

The roofs over both properties are tiled and pitched, draining to perimeter valley gutters and for the most part into internally routed uPVC rainwater goods.

Continued/....

Internally, the property is divided between three occupying tenants. William Hill occupy the original structure at No45 New Oxford Street over ground and basement. True Casts Ltd occupy a part of the ground floor only, which is known as No15 West Central Street. Academy Films Ltd occupy part of the ground floor known as No16 West Central Street and the entire first and second floor areas. Each tenant has fitted out the internal areas to suit their own requirements.

The property is provided with mains gas, water and electricity. There is no air-conditioning, although William Hill have installed 'comfort cooling' type plant to suit their own requirements. Heating throughout the property is a mixture of wall mounted electric heaters and perimeter pressed metal radiators.

2.00 INSPECTION AND BASIS OF REPORT

We inspected the property on 19th June 2012. The survey was conducted by M D Byrne MRICS. The weather at the time of our survey was dry with sunny spells, although the preceding weeks have seen an unusually high quantities of rain.

Access was limited at roof level to the roof over no 45 Oxford Street only. We understand there is a basement beneath 15-16 West Central Street which does not form part of the sale and was not inspected. Nevertheless we believe we have seen sufficient of the property to form a reasonable opinion.

Our survey was carried out with a view to you acquiring the freehold interest in the property and the report has been carried out on this basis. We have not seen the occupational leases.

Our survey was conducted in accordance with our Standard Conditions of Engagement for Survey Work, a copy of which was forwarded to you previously and a further copy is appended.

At the time of our survey we took a number of photographs, some of which are appended, and these will assist in identifying various matters referred to within the main text of the report.

We also enclose a summary list of works, which we feel are outstanding at the property, together with broad budget costs.

We have also undertaken a fire insurance valuation of the property and this is also appended.

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3.00 CONDITION OF MAIN BUILDING

3.01 Main Structure

The building is formed with solid masonry external walls and these support the timber floor and roof structures above. The external walls are finished with stucco render and are painted.

Although the walls appear to be structurally sound, there has been some structural movement and this has largely manifested itself between window sills and heads where settlement of timber lintels has occurred over time, allowing brickwork to be disturbed slightly, resulting in consequential cracking to the stucco render. We do not consider this structural movement to be of undue concern but see comments below regarding walls.

Internally, intermediary supported walls, cross walls and cast-iron columns, albeit concealed, appeared in good structural order.

There is no evidence to suggest that serious structural movement has occurred recently and the main structure is essentially stable.

3.02 Roofs

There are three main roofs over the property, one over the second floor front portion of the site known as No45, the other over the first floor rear portion "L" shaped along west Central Street and the third being the infill section behind No 43. All roofs comprise timber framed pitched roofs weathered with manmade tiles and draining to lead valley and box gutters, which in turn drain to internal downpipes.

These pitched roofs are not covered with their original finishing, which would have been natural slate and have been replaced with manmade tiles. Manmade tiles are a cost effective solution but your Solicitors should confirm that this work is in compliance with Local Authority and listed building guidelines. There are a number of tiles which are broken and these should be replaced.

Internally the roof space of No43 is close boarded and the walls are unfinished. This space is used for storage. There are signs of historic water ingress but not of current leaks.

Roofs over the first floor studio areas contain metal framed roof lights which appeared in good condition.

A timber dormer window providing access to the second floor roof is in poor condition and requires maintenance.

Continued/...

Pitched roofs drain to lead valley gutters and these have been patch repaired over the years as evidenced by various flashband, mineral felt and other such temporary repair solutions. We would suggest, therefore, that although the tiled roof seems to have been replaced in the relatively recent past, say 10 years, the opportunity to replace the gutter was not taken at the same time and consequently is now becoming time sensitive.

The configuration of the roofs in so far as there are essentially three roofs over three buildings usually indicates that access and repair works may be problematic in the future.

Satellite dishes were noted on the roof of No43. We do not know whose these belong to or how they are serviced. You should query this with the vendor.

3.03 Chimneys and Parapets

There are a number of chimney stacks at high level, the majority of which are finished with an exposed aggregate cement render. Much of the render is cracked, some has been repaired but all require some degree of repair and reinstatement.

There is a feature parapet, including bottle balustrades the New Oxford Street portion of the property. These are formed in concrete and with a painted stucco render finish. Again, due to a lack of maintenance, the stucco render is cracked and delaminated, allowing water ingress to the substrate beneath. Maintenance works are required as soon as possible.

3.04 Walls

External walls have a stucco render and paint finish. There are also projecting cornice details at first and second floor levels. It is apparent that no external maintenance of the elevations has occurred in the recent past (say 10 years). As such the exterior of the property is in poor condition, decoration have failed and are peeling, stucco is cracked as a result of movement referred to above. These cracks have not been repaired so water has entered the fabric resulting in further cracking and delamination of the stucco. This does present a risk of rot to timbers embedded in the wall but we saw no signs that this had actually occurred.

The cornices are not discharging water adequately and this has resulted in their deterioration together with staining and foliage growth.

Repair and redecoration works are required to the external elevations to prevent their further deterioration.

Continued/...

3.06 Windows and Doors

Windows to the property comprise timber framed and single glazed sliding sash windows with a paint finish. The windows at ground floor along West Central Street are metal framed but of the same design. Decorations to all elevation windows have failed and are in poor condition exposing timber beneath. Sash windows were inspected where ill-fitting and difficult to operate. Repair, refurbishment and redecoration of windows is required.

Over the first floor areas to West Central Street the pitched roofs incorporate large metal framed roof lights and these appeared in good condition with no notable defects.

Some secondary glazing has been installed along the New Oxford Street elevation, presumably to reduce noise pollution internally.

Doors are generally of the tenants own installation and are in fair condition.

3.05 External Areas

External areas are confined to pavement lights which we assume are within the sites curtilage.

To the New Oxford Street elevation these comprise cast-iron framed and glazed pavement lights. These are all in very poor condition, many of which have been repaired or replaced and on the whole, are supported by timber props internally. This situation is untenable. We understand from the tenant that historically there had been a fire due to cigarette smokers dropping cigarettes down between the pavement lights and into debris accumulated in the basement.

Along the New Oxford Street elevation are further pavement lights but with metal grilles over. These areas serve as ventilation, air extract/intake for this particular tenant's air-conditioning kit, which is located within the basement area. The grilles are buckled and the surrounding areas are in disrepair.

Pavement lights and adjacent pavement areas require replacement and refurbishment.

3.04 Internal Fittings, Finishes and Decorations

Internally, the three tenants have fitted out their demises to suit their own requirements.

Continued/....

William Hill

William Hill occupy the basement and ground floor of 45 New Oxford Street only. The ground floor areas are fitted to William Hill's corporate style with carpet and tiled floors, shop fit to the walls, service counter and suspended ceiling with recessed spotlights above. Male and female WCs are also provided.

William Hill have also installed a timber frame and painted shop facade as part of their fit-out. This particular style is slightly different to their normal high street brand and we expect this was as a condition of the listed nature of the building and its location within a conservation area. Your solicitors should confirm the requisite licences and provisions were obtained.

At basement level, there are various rooms which appear to be unused. The floor is concrete, the walls are plastered and painted and the ceilings are suspended. To the perimeter of the basement areas are pavement lights. Pavement lights are defective as mentioned above. Some dampness was detected to the walls at low level but on the whole the basement areas are dry.

Overall, William Hill's demise is in good condition, although the basement areas require to be tidied up and perimeter pavement lights and vents require immediate attention.

True Casts Ltd

This tenant occupies a small portion of the main property, being 15 West Central Street. This space is essentially three open plan areas, the first being the entrance lobby in which a stud partition construction has been formed to provide male and female WC accommodation. Through this area is an open plan office and smaller meeting room behind.

Finishes are timber boards to the floor with plastered and painted walls and ceilings. Finishes and fixtures are in generally good condition with no cause for undue concern.

Academy Films Ltd

This tenant occupies part ground and then the entire first and second floor areas. The first floor links between New Oxford Street and West Central Street and provides access into the second floor which is solely within 45 New Oxford Street. Finishes are to a relatively high standard and mainly comprise timber boarding to the floors, plastered and painted walls and ceiling with either feature chandeliers or recessed spotlights.

Continued/...

Finishes are typically worn and tired but in serviceable condition. This tenant was in the process of installing a new kitchenette at the time of our survey.

Damp staining was noted in a number of areas to the second floor and also the first floor ceiling areas. This is as a result of external defects to the roof and walls and which should be addressed as part of an imminent external repair and redecoration project.

3.05 Deleterious Materials

Although the properties construction pre-dates much deleterious material (asbestos, high alumina cement (HAC) etc), it has been substantially refurbished and reconfigured so such materials may have been introduced. We did not, however, notice any deleterious materials during our inspection but you should query their presence with the vendor.

The property should have an Asbestos Register under the Control of Asbestos at Work Regulations 2006 and your Solicitor should obtain copies of this.

3.06 Fire Precautions and Means of Escape

During our survey we did not notice anything fundamentally untoward in so far as fire protection and means of escape arrangements are concerned although a number of general observations were noted.

The Regulatory Reform (Fire Safety) Order 2005 places a responsibility for fire safety on the owners and operators of the property and we recommend you make enquires as to whether a Fire Risk Assessment has been carried out by the individual tenants and obtain copies of the same.

During our survey we noted the following:-

- Despite the property being occupied by three individual tenants, there is no linked fire alarm.
- The secondary fire escape serving the first and second floor is obscured by debris and has a roller shutter over the door. We are not sure how this would operate in case of emergency.
- The tenants, True Cast Ltd, were noted to have a heat sensor detector above their front door, however this still had its protective cap on so is useless.
- The basement to William Hill contains a lot of cardboard debris, together with defective pavement lights and air-conditioning plant and has no smoke or heat detection.

Continued/....

We would, therefore, expect that should the property be subject to a Fire Risk Assessment, a number of items will be identified that will need to be addressed.

3.07 Disabled Access

We have not carried out a Disabled Access Audit but it is evident that the property falls short of the requirements under the Disability Discrimination Act 1995.

The most obvious shortcoming being that there is no level access into any of the tenant's demises. William Hill come the closest to providing level access but the access door provided is not DDA compliant.

3.08 Service Installations

We would stress that we have not tested or closely examined any of the service installations. Moreover, many of the services appear to have been decommissioned or are now obsolete. The following is based upon our general observations.

- The property is served by mains gas, water and electricity.
- There is no common ventilation or air-conditioning system. William Hill have provided their own air-conditioning which is located within the basement. The other tenants have no benefit of this.
- True Cast Ltd unit has no cooling but is heated by way of wall mounted electric convector heaters. These are inefficient and not particularly safe.
- Academy Films Ltd is accommodation is heated by way of perimeter pressed metal radiators, which are single fin (and inefficient) on the first floor and double fin convector heaters on the second floor. The space appeared to be heated by an electric boiler unit provided within the roof space.

There is a significant amount of redundant and old electrical installation within the basement. We recommend you have the electrics, water and gas checked and certified, together with any redundant installations removed.

4.00 SUMMARY AND CONCLUSION

The property dates back to the 19th Century and has many of the defects and shortcomings which are to be expected with a building of this age.

The main structure has suffered minor movement over the years but this has been exacerbated by a lack of routine maintenance. We estimate the building has not been externally repaired or redecorated for 20 years or so. An external refurbishment project is necessary in this short-term. We would estimate this to cost in the region of £125,000.00 excluding fees and VAT (see appended breakdown).

There are defects to the pavement lights which are detrimental to the property but also present a health and safety risk to the general public. These pavement lights should be comprehensively repaired at your earliest convenience.

Your Solicitors should advise you with regards to the contents of the various leases but we are aware that all leases are on relatively short-terms and with break options. True Cast Ltd have a service charge cap of £5,000.00 per year. With this in mind, you must ensure that any funds, sinking funds and so on, are passed on from the incumbent landlord and that you are properly advised with regards to dilapidations as these will most certainly arise. Solicitors should also advise regarding the flying freehold status relative to the under-sailing basement.

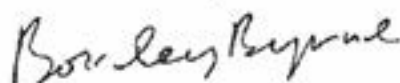
We would recommend you have the services tested throughout the building, in particular the electrics. Your Solicitors should also advise with regards to fire safety assessments and deleterious materials.

On the basis the property is free from any major structural defects and is overall in no worse a condition than to be expect, having regard to its age and character, we see no reason to deter you from proceeding with the acquisition.

We have not inspected those parts of the building which were hidden or inaccessible at the time of our survey and we are unable to report that such parts are free from any defects. We have not tested or closely examined any of the service installations.

Finally, we confirm this report is confidential to yourselves and your professional advisers. No responsibility is accepted to any other party for the whole or any part of its contents.

Yours faithfully



BOTLEYBYRNE
CHARTERED SURVEYORS

APPENDIX I

SCHEDULE OF WORK

45 NEW OXFORD STREET AND 15-16 WEST CENTRAL STREET, LONDON W1

Outline Schedule of Works with broad budget costs

ITEM OF REINSTATEMENT/REPAIR/REDECORATION	COST £
1. Scaffold/access	£30,000
2. Brickwork repairs	£10,000
3. Render repairs	£10,000
4. Window Repairs	£10,000
5. Roof repairs	£10,000
6. Gutter re-lining	£10,000
7. Redecorations	£10,000
8. Pavement light replacement	£20,000
9. Contingency	£10,000
Works total:	£120,000
Contractor's Preliminaries	£5,000
Contractor's overheads and profit	£10,000
Contract sum	£135,000
Surveyors fees for managing works inc coordinating listed building/conservation area consents(12.5% of contract sum)	£16,875
CDM fees (2% of contract sum)	£2,700
Total cost of works, Excl VAT	£154,575.00

APPENDIX II

PHOTOGRAPHS



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

1. Front of building.
2. Damp staining and defects- at cornice level



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

3. Typical cracking between window heads and eills-
4. Defective decorations



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET WI

5. Defective pavement grille
6. Defective pavement lights



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

7. Roof over no 45 New Oxford St

8. Cracked tiles and defective gutter

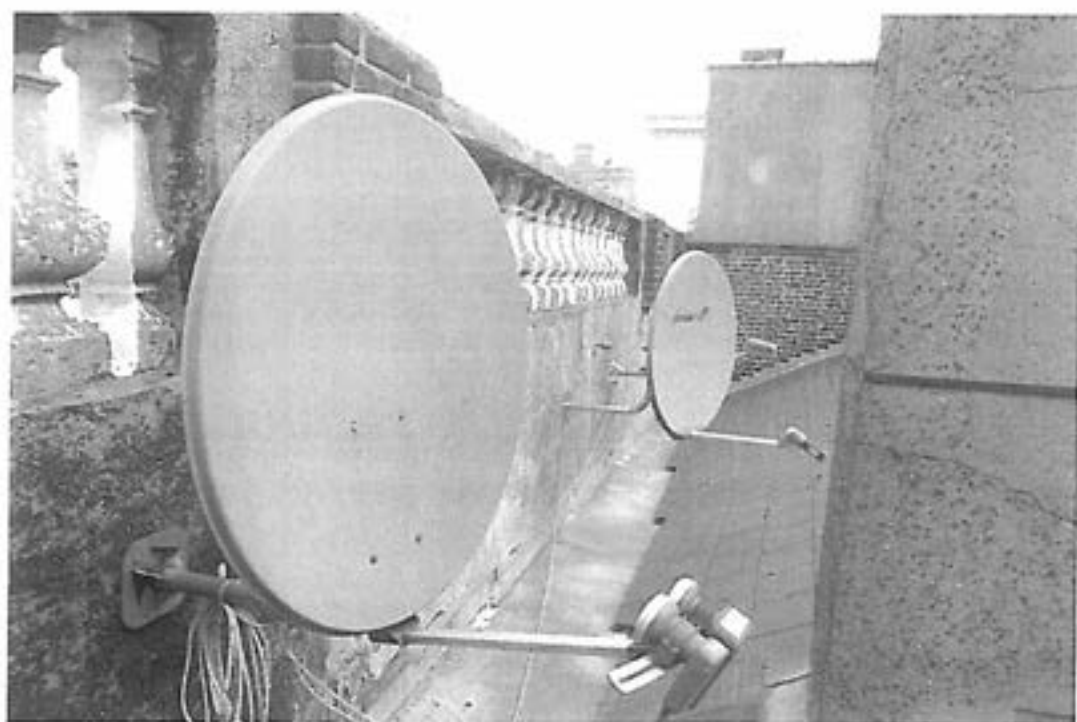


ILLUSTRATION 9

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

9. Satellite dishes at roof level

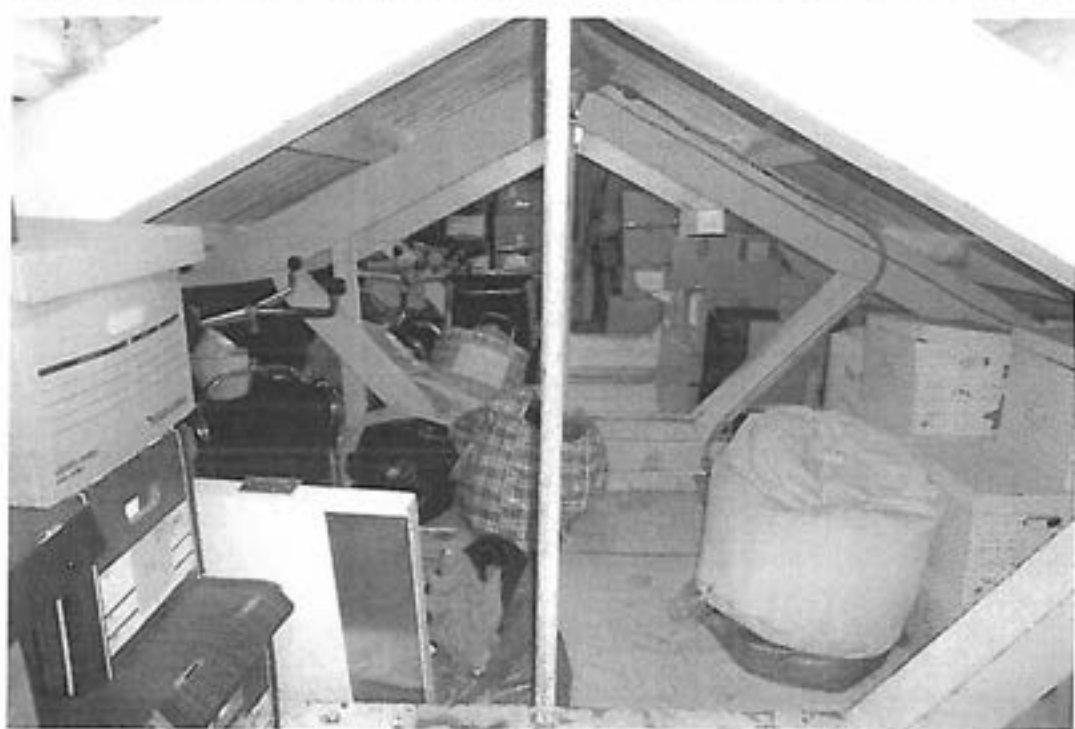
10. Defective render to balustrade



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET WI

- 11. View to roofs over West Central Street
- 12. Historic gutter repairs



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

13. Roof space

14. Internal face of exterior wall at 2nd floor level to
No45 New Oxford Street

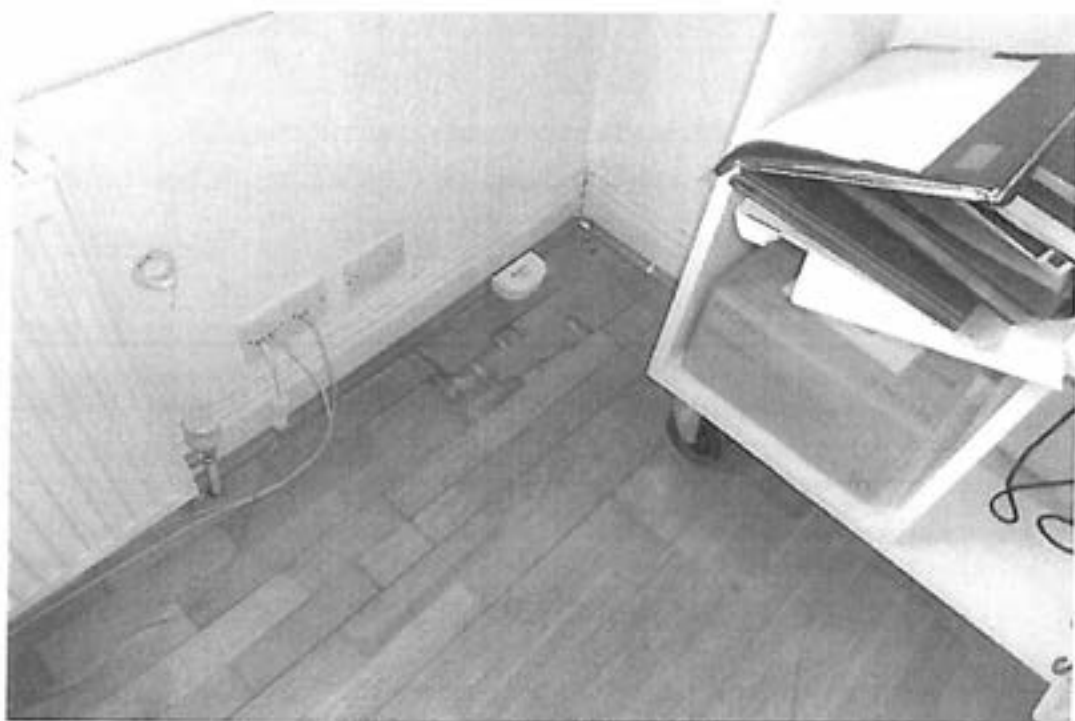


ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

15. Typical view of office accommodation

16. Studio at first floor



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

17. Damp staining at 2nd floor level

18. Damp staining to front elevation



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

19. Ground floor offices

20. William Hill ground floor fit out

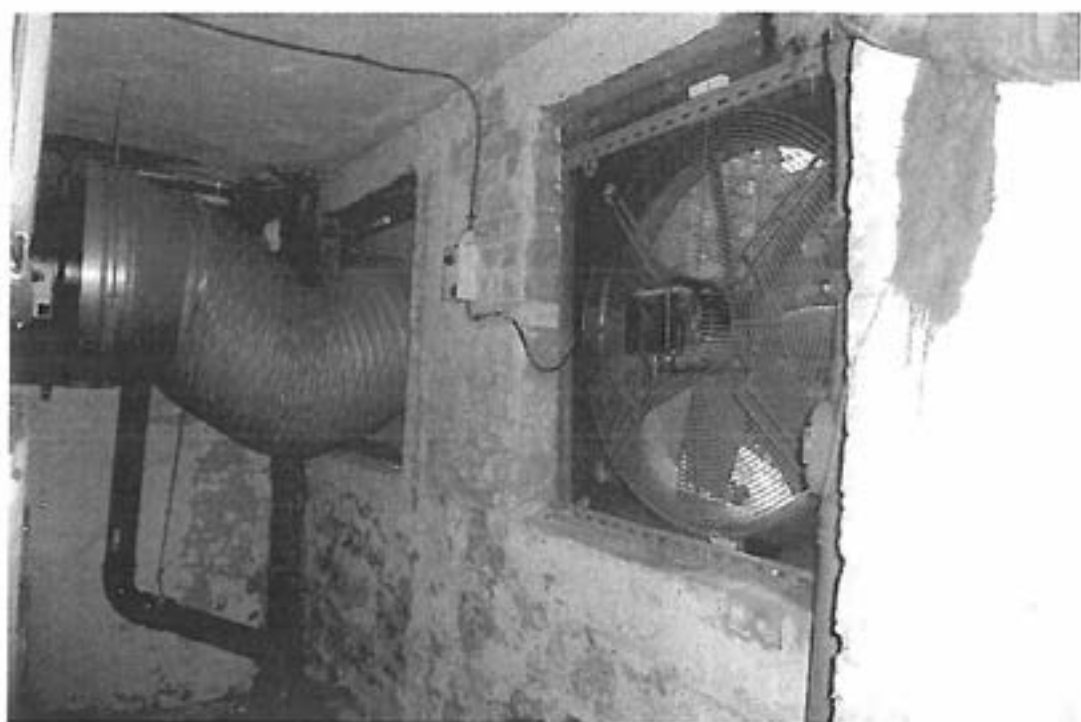


ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET WI

21. Basement area

22. Defective front elevation (reverse) light



ILLUSTRATION

45 NEW OXFORD STREET AND 15-16 WEST
CENTRAL STREET W1

- 23. William Hill ventilation kit
- 24. Typical redundant electrical installation

APPENDIX III

FIRE INSURANCE VALUATION

OUR REF: MDB/DC/BBCS

21st June 2012

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For the attention of: L Hill Esq

Dear Sirs

45 NEW OXFORD STREET AND 15-16 WEST CENTRAL STREET, LONDON W1
FIRE INSURANCE CERTIFICATE

Following our appraisal of the Buildings Insurance cover, we recommend that the above property is insured against fire and other standard perils in the sum of:-

£3,379,146

The valuation is made up as follows:-

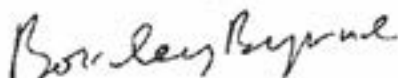
Section	Area m ² (ft ²)	Rate £/m ² (ft ²)	Dem %	Fees %	Total £ (Excl. VAT)
ALL	974 (10,485)	2,650 (246)	10	19	3,379,146
			Total		£3,379,146.00

This valuation assumes that the accommodation will be similar in design and area to the existing building. The assessment is on the basis that the reinstatement will be in compliance with the conditions imposed by the Local Authority so far as the actual construction is concerned.

In accordance with your instructions, the valuation takes no account of inflation nor does it include VAT. This valuation does not include the basement area along West Central Street.

We would also point out that the valuation does not include a) special planning restrictions that the Local Authority may impose, b) any requirements which might be imposed by the Environment Agency for decontamination, c) tenants' plant, machinery, equipment, fixtures/fittings and contents or d) loss of rent or any other consequential loss.

Yours faithfully



BOTLEYBYRNE
CHARTERED SURVEYORS

APPENDIX IV

**STANDARD CONDITIONS OF ENGAGEMENT
FOR SURVEY WORK**

**STANDARD CONDITIONS OF ENGAGEMENT FOR ACCEPTING
INSTRUCTIONS TO UNDERTAKE BUILDING SURVEYS**

When accepting Clients' instructions to undertake building surveys our inspections and subsequent reports will be based on the following conditions unless these conditions are specifically modified at the time instructions are received:-

1. The report will be prepared for the sole use of the instructing client and BotleyByrne (UK) LLP accept no responsibility to any third party who may act on our findings without our prior knowledge and written approval.
2. Where the accommodation to be inspected forms part of a larger building we will endeavour to examine the fabric of the entire building externally and internally where access is readily available. It is unlikely however that we will be able to inspect those parts of the building that are occupied by other tenants or residents or be able to report in depth on large building complexes in which small units are being considered.
3. We shall not undertake a test of the underground drainage installation or of any of the mechanical or electrical services nor will we be able to raise heavy manhole covers or covers that are embedded to their frames and cannot readily be lifted without the aid of a contractor.
4. We shall not lift any fitted floor coverings or move furniture.
5. We will be unable to inspect concealed or hidden areas of the structure although we will endeavour to advise you in our report as to whether any exposing of such hidden areas should be undertaken to facilitate closer examination.
6. If any areas cannot be inspected due to access difficulties we will advise you of this and seek your further instructions on whether we should instruct builders to provide the necessary access facilities.
7. Although we will make careful inspection of all visible surfaces you should be aware that wood boring insects can be present in concealed woodwork without external evidence, and their larvae cannot be detected even in exposed woodwork before the first flight season. Similarly, dry rot and wet rot in concealed places can exist without external evidence.
8. We cannot verify from only a visual inspection whether calcium chlorides or high alumina cements are present in the use of concrete products utilised in some developments. To establish this it will be necessary to take core samples and have them laboratory analysed. Other deleterious materials such as asbestos products, and woodwool slabs used as permanent shuttering can be present in concealed areas and may only be detectable upon further investigation.

Continued.../

9. With buildings containing mechanical services offering a controlled environment it has been established that on occasions occupants can suffer from "building related illnesses". This can be caused by poor hygienic maintenance or through design faults. We therefore recommend that where systems are installed that consideration be given to specialist examination prior to acquisition or, from time to time, to ensure the created environment is maintained to a clean and hygienic standard.
10. Trees adjacent to buildings and hardstandings can cause damage by root action both through physical pressure on the sub structure and by resultant variants in moisture conditions of the soil leading to subsidence or heave. Some species of trees are more likely to cause damage to buildings, hardstandings or boundary walls, particularly during their initial growth period when extreme degrees of damage can occur. In some instances, trees on the land within the boundary of the building/s being inspected can cause damage to adjoining buildings or hardstandings or boundary fences. We do not carry out detailed inspections of such adjoining buildings which are of course not part of our instructions.

We suggest therefore that direct insurance cover; or insurance cover organised by the Building Owner or prospective landlord is always taken out or extended to meet the costs in respect of root or ground shrinkage movement caused by tree root growth whether specifically mentioned in our report or not.

11. Japanese Knotweed is a highly invasive weed that can cause damage to buildings and can be difficult to remove or treat. When carrying out surveys, we look for obvious signs of Japanese Knotweed but it is often difficult to identify as its appearance changes with the seasons. Lack of reference to the presence of Japanese Knotweed in our reports does not guarantee its absence.
12. Clay soils are prone to severe changes in volume either as a result of shrinkage or expansion caused by variants in moisture content. You should note that many insurance companies have or will be amending their policies and/or propose to charge higher premiums to reflect the higher degree of risk to foundation and other related structural damage.

We recommend you ensure that your insurance policy adequately covers damage arising from such movement that may occur in the future whether clay soils are specifically mentioned in our report or not.

13. When carrying out inspections of premises and buildings, particularly in respect of older buildings, we do not arrange for specialist soil surveys. Therefore will you please note that we are unable to offer informed comment on the development potential of a site that may in the future be limited due to difficult soil conditions that have not been ascertained from present defects in the buildings and from those which cannot be reported on by visual checking alone.

Our report in relation to a building survey seeks only to advise you on the condition of the subject building fabric and structure.

Continued.../

Case law suggests that surveyors carrying out building surveys outside of their normal geographical area of practice should review relevant local area geological maps. Due to time constraints, and in relation to this obligation placed on surveyors by the Courts, we will not normally review such information unless specifically requested to do by our clients. We may however make whatever enquiries we consider relevant with the Local Authority. No doubt your solicitors will be able to make more specific enquiries on ground conditions in their enquiries prior to purchase which we will be able to discuss with your further.

14. Many buildings constructed in the last 25 years, particularly office buildings, utilised systems of curtain wall cladding enclosures many of which are prone to problems with the deterioration of materials or inadequate design which may lead to water ingress. Such shortfalls in cladding systems are not always obvious from a visual inspection alone with many systems being bespoke in nature requiring the commentary of specialist consultants. On major cladding installations we invariably recommend the use of specialist cladding consultants on which we will be happy to advise you further
15. Where we are only required to provide a general overview of the condition of any building or buildings, our report will be a brief synopsis of our findings providing a commentary on the general condition and the major salient points. We do not purport that we will list all minor items or minor disrepair which may be contained in a more detailed report. Where we are inspecting groups of buildings of similar construction on for example large industrial estates, we will only carry out an inspection of a random sample of buildings in order to obtain an overall view of the general condition of all of the buildings on the estate.
16. In connection with all environmental issues please note that, we do not investigate whether the site is or has been in the past contaminated, or whether the property and land is on any type of Register, and your legal advisers should make enquiries on the subject property before you enter into any legal commitment to acquire an interest. Our assessment of the premises is on the assumption that the land is not contaminated, and is not on any Register.
17. Asbestos and asbestos products may exist in concealed parts of the building often left undisturbed until refurbishment or alteration or demolition works are carried out. Many building materials manufactured predominantly between 1930 and 1985 contained asbestos particles, utilised to reinforce products such as cement sheeting, ceiling tiles, fire lining boards, cavity barriers, insulation to pipework, boilers and linings to ductwork and chimneys. It is important to bear in mind the possibility of asbestos in one form or another being present in buildings pre-dating 1985 whether specifically mentioned in our report or not. Our inspection of the property and subsequent report are limited solely to providing advice on the general condition of the building.

Our inspection and subsequent report on the property should not in any way whatsoever be construed to be a review of the building in respect of any form of asbestos risk assessment related to any statutory provision.

Continued...../

18. The Disability Discrimination Act 1995 requires that providers of services, facilities and goods do not discriminate against disabled people. We recommend you seek further advice from your Solicitors on the implications and responsibilities of such matters. Whilst our survey will endeavour to draw attention to any relevant issues or shortcomings with respect to building access, our survey does not constitute a disabled access audit.
19. Under the current Health and Safety and Welfare Regulations, there are a number of requirements relating to the safety and welfare of building users including a requirement to provide lighting of a certain minimum illuminance level if VDUs are in use and a requirement to suitably protect any glazing which is in areas susceptible to breakage. We recommend you seek further advice from you Solicitors on the implications and responsibilities of such matters. Whilst our survey will endeavour to draw attention to any relevant issues or shortcomings in respect of Health and Safety requirements, our survey does not constitute a full Health and Safety audit.
20. In general, Fire Brigades and Insurers have raised concerns in respect of the use of composite "sandwich" cladding panels, particularly used in more modern industrial and shed retail buildings. This is particularly relevant where composite panels are utilised over the roof areas. In many instances, Fire Brigades will not attempt to enter into the building to fight the fire where such building materials have been used and Insurers now consider, that dependent upon the construction and constituent parts of the composite panel construction, increases in premiums up to fourfold where such materials have been incorporated into the construction.

Where possible, we will of course seek to identify where such materials are utilised, however, we will be unable without laboratory analysis and samples taken on site, to advise on the particular make up of such composite panels where used. No doubt your Solicitors will ensure that their enquiries include relevant questions where such panels have or may have been identified by way of our own inspection and report.

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