

Design and Access Statement: 26 Hillway N6 6QA

This Design and Access Statement is for alteration of a detached dwelling.

Use

The property will remain a single residential dwelling.

Access

The main entrance to the property will remain unaltered.

Existing building

26 Hillway is part of Holly Lodge Estate Conservation Area.
The property comprises of two floors above ground.

The proposed development will take place at the back garden.

The dwelling is constructed of the following materials at the back of the building where the proposed development will take place:

Walls – White render

Roof- roofing tiles

Doors and Windows – White upvc

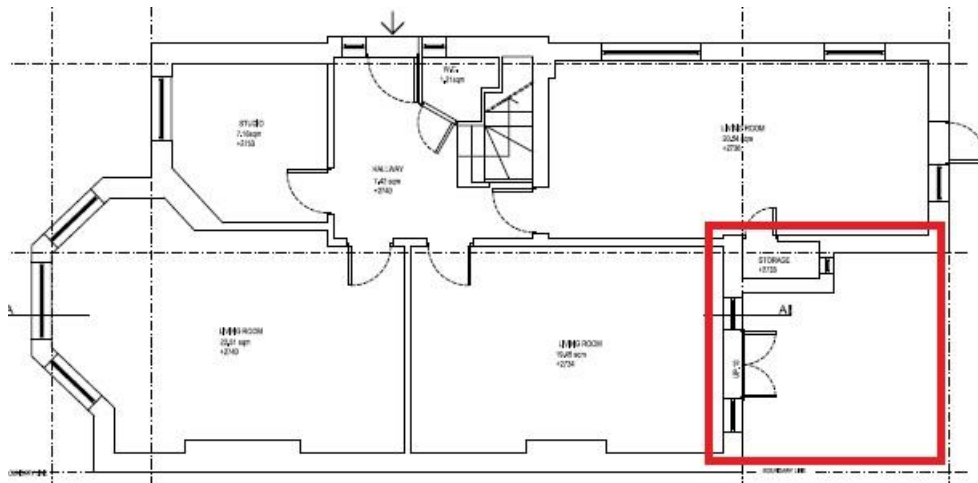


Figure 1 – Location of proposed development

Proposed works

Erection of a single storey rear infill extension.

The new extension will be constructed of the following materials:

Walls – white render to match existing

Roof- roofing felt

Doors and Windows – framed glass panels

Significance

The subject building on site is not a listed building or one of a kind.

Impact of proposal

The proposed design will not alter the character of Hillway as the front of the house will remain unaltered.

The changes that are to take place are to integrate the extension into the existing building and landscape. In addition this development will take place at the rear part of the dwelling, thus not being visible from the main road, furthermore preserving the local amenity.



Figure 2 - Picture of the above-addressed property where the development will take place