

Great Russell Street – Hotel

Construction Management Plan



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Section 1 – Introduction

This Construction Management Plan (CMP) has been prepared on behalf of the Applicant as part of the Planning Application for the site at Great Russell Street. The CMP defines the responsibilities and procedures for management of the potential impacts associated with the construction of the underground hotel and associated environmental improvements along Great Russell Street and Adeline Place.

The CMP will identify the measures to be taken in order to construct the hotel in a safe, organised and professional manner, with minimum disruption to neighbours, hotels, retailers and adjacent businesses. It will provide the framework to avoid impacts that may be unforeseen or unidentified until construction is underway and seeks to ensure that relevant legislation is observed and standards of best practice are adopted throughout the construction of the development.

This plan has been developed with the support of the client and professional team to ensure a full understanding of the scheme is captured.

This CMP falls within an on-going process of engagement with residents, statutory bodies and The London Borough of Camden. Further feedback with the relevant stakeholders will be incorporated into the final construction plans.

This CMP has been produced by John Sisk & Son Ltd who have a wide range of skills and expertise available to deliver this exciting project to a high standard, having undertaken a number of projects across multiple inner London Boroughs, including Camden.

The scheme involves the conversion of an existing underground car park, below the existing YMCA building, into a two storey underground hotel with street level access. Hotel deliveries will be via the retained out ramp off Adeline place.

Construction operations would commence with an initial site establishment at the existing car park entrances off Great Russell street, providing a secure entrance and exit facility to prevent members of the public accessing the site.

The initial phase of works would be to install local hoardings around the two existing entrance and exit ramps, these will include access doors to provide an entry route for all materials into the lower floors.

Following reconfiguration of the exit ramp it will remain as the primary access point for material deliveries and waste material removal. Once the main access has been reconfigured works to constructing the room pods will commence starting from the lower level and working out towards the exit ramp. The overall construction period would be between 40 and 50 weeks depending on the construction method finally adopted.

Site offices and welfare facilities would be constructed at level -4 below the existing pool area that will not form part of the new room configuration; this will be accessed by a secure biometric turnstile adjacent to the new access ramp.

The primary consideration is managing the material entrance across the pedestrian footpath, it would be proposed subject to the appropriate licensing authority to put in place temporary pavement and lane closures whilst unloading and loading is being undertaken, with pedestrians using the opposite pavement.

The majority of the works will be underground thus minimising the dust and noise impact to neighbouring properties. However there will be a need to do some works at ground floor level which will be carried out as efficiently and quietly as possible all in line with the Camden's Considerate Contractors guidance. There will be ongoing dialogue with local neighbour and residents to ensure they are kept informed of what progress is happening on site and what is coming up.

It is understood that Camden's recently approved West End Project (WEP) will affect the streets surrounding the development over the next 2-3 years. Final coordination with Camden will be contractor sensitive and will be subject to the WEP's progress at the date of commencement. Further consultation with Camden regarding the WEP will be undertaken post-determination and prior to submitting the final CMP for Camden's approval to ensure construction does not affect the WEP works.

Section 2 – Logistics

Our initial proposal for the logistics operation of this project have been developed taking on board the usual requirements of both TFL and Camden Council. This scheme will also minimise the impact on pedestrians and local residents, whilst maintaining an optimum access strategy to enable the project to be delivered in the required timeframe.

The scheme proposed may need to be modified as final details are confirmed and following consultation with the relevant stakeholders.

The logistic solution proposed is covered under the following headings:

- Site opening Hours
- Security and personnel access and egress
- Project accommodation
- Site deliveries material; movements and storage
- Waste removal
- Specialist hazardous waste
- Noisy works
- Fire Safety

2.1 Site opening hours

The normal site hours for activities that will be audible at the site boundary or penetrate the upper floors of the building, will be between 8am – 6pm Monday to Friday. Weekend working will take place if required on a Saturday between 8am – 1pm. The site will only be open on Sundays in exceptional circumstances with prior arrangement with Camden council's noise team.

2.2 Security and personnel access and egress

The site will be secure from start of the works by a neat plywood based hoarding to the two entrance and exit ramps, with operative's access via the existing entrance off Great Russell Street, using a key pad door control. All site personnel will be required to sign in and out each time they enter or leave the site.

Once initial modifications are constructed to the current exit ramp a biometric turnstile access will be installed near the exit ramp providing direct access down to the accommodation at level -4.

A dedicated green route will be maintained to the welfare facility, ensuring the safe access and egress of workforce when not wearing construction PPE.

All site operatives will receive a site induction and be required to hold a relevant construction skills safety card prior to working on site, they will then be set up on the biometrics database to monitor their access and egress onto site.

The site hoardings and gates will be checked daily to ensure they are fully secure whilst the site is not occupied.

Visitors will be required to sign in and out on each visit and will be escorted around the site as required, by a fully inducted member of the team.



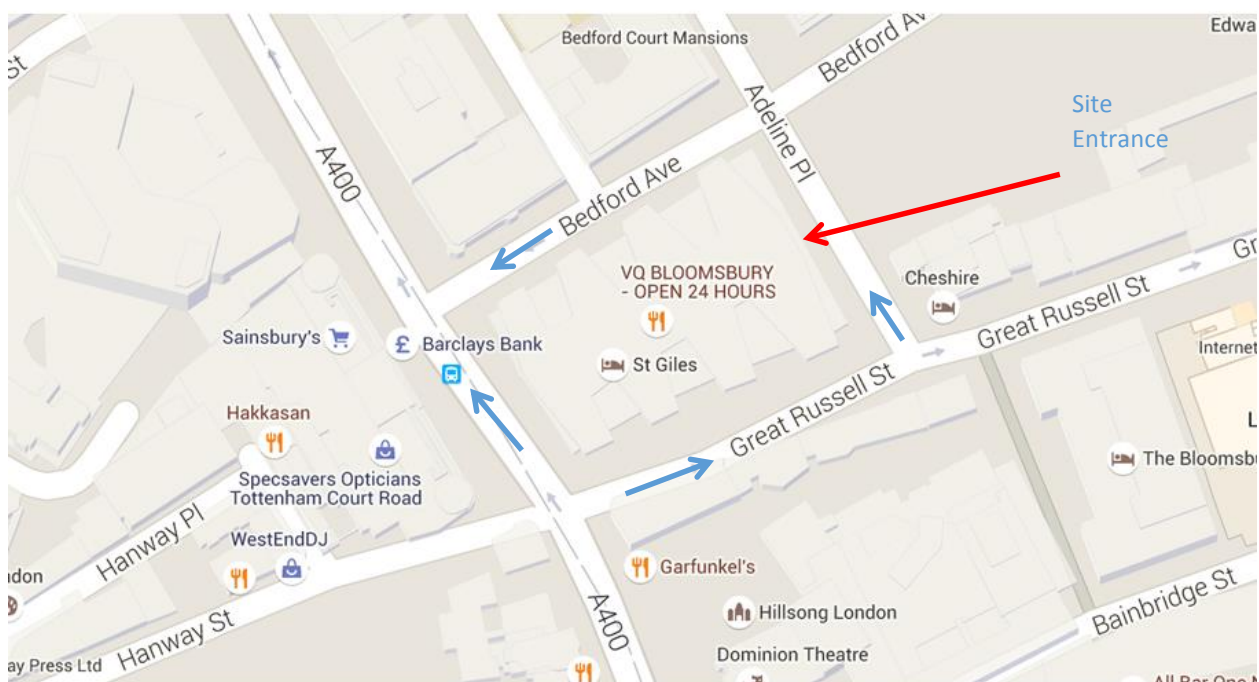
Existing entrance ramps

There will be a requirement to maintain fire access to the upper floors of the building throughout the project, this will involve some local rerouting through temporary access corridors that will be kept clear and well lit including emergency lighting.

2.3 Location

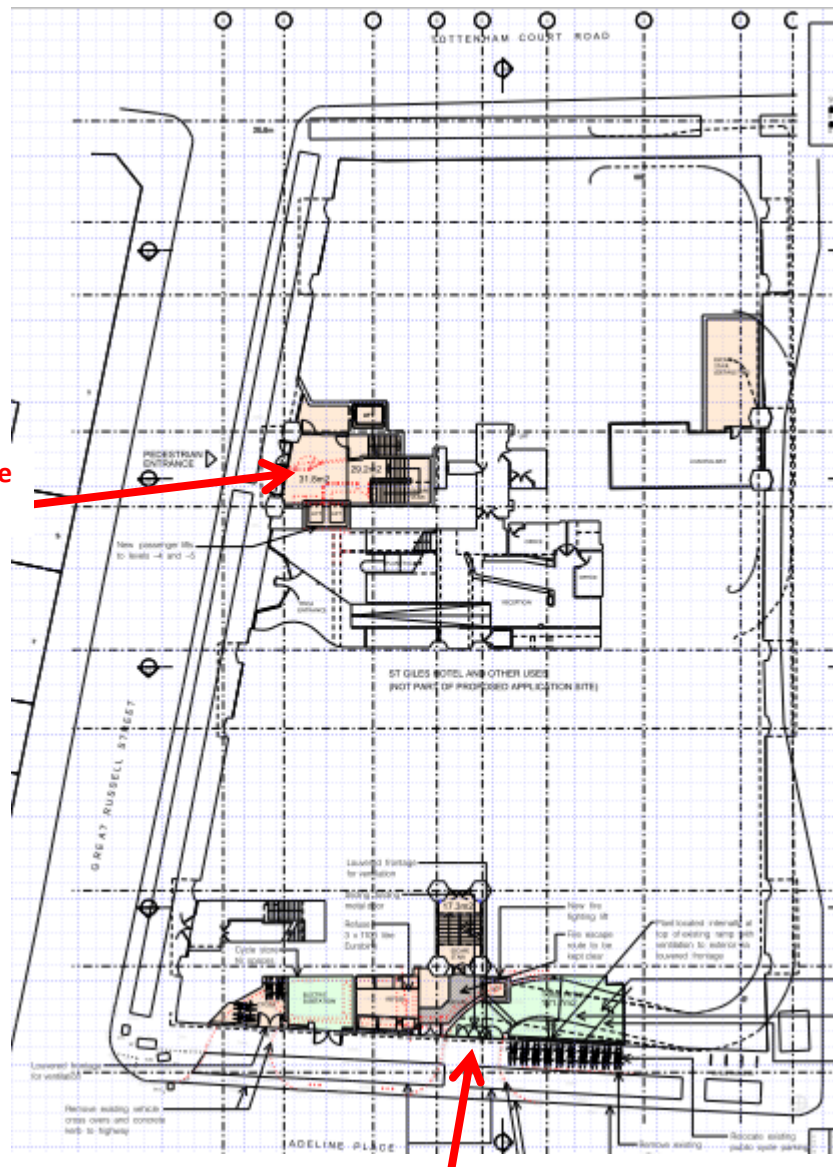
The project is located on the corner of Great Russell Street and Adeline Place with just the entrance and exit ramps visible at ground level.

Location plan indicating direction of flow for construction traffic



The works will primarily be carried out at level -4 and -5 some 10 metres below pavement level, as such the impact of this project on the neighbours and public will be limited to the two entrances one on Adeline Place and the pedestrian entrance on Great Russell Street. The pedestrian access will be primarily for emergency evacuation of both the site and the building above as is currently the case.

Ground Floor Plan



Site entrance - hoarded at ground level

2.4 Site deliveries material; movements and storage

All deliveries will be via the existing ramps accessing at the ground floor level located on Adeline Place. Proposal for a temporary lane closure will be discussed with TfL to enable delivery vehicles to be unloaded outside the site.

The materials will be unloaded via a gas powered forklift unit, if self-off load facilities are not provided. Along with pallet truck units, the materials will be transported down the existing ramps to the work areas.

The work areas will be progressed sequentially from the bottom level up, utilising the access ramp for final area storage. No materials to be left outside the building unattended.

Deliveries will be on a just-in-time basis, to limit the materials needing to be stored within the building. There will be the capacity for some storage in the back of house and receptions areas until the construction programme needs these zones to be fitted out.

2.5 Project accommodation

The site accommodation for the initial stages will be in the existing entrance area located off Great Russell Street, until the modifications are complete to the existing exit ramp.

The main accommodation will be constructed at level -4 below the swimming pool area this will include changing rooms, toilets and office accommodation.

2.6 Waste removal

Waste will be removed from site regularly to a transfer station for recycling and disposal using onsite wheelie bins that are emptied into a mobile compactor.

2.7 Special and hazardous waste

Any waste needing to be removed as special / hazardous waste will be removed by specialist licensed contractors.

2.7 Noisy works

Noisy works will need to be carefully monitored. It should be acceptable to work through the day with typical site noise from delivery plant and local demolition works. If noise restrictions are required we would restrict noisy works to 2 hour periods with 2 hour gaps all in agreement with Camden Council.

2.7 Fire safety

A wireless fire alarm system will be installed throughout the works to notify all workers when a fire evacuation is necessary. Regular evacuation drills will be undertaken especially when new contractors commence work, fire assembly point will be established in Bedford Gardens.

Fire escape routes from the building above the site will be kept clear at all times and any modifications to the access routes will be fully boarded and well lit and include emergency lighting.

Section 3 – Local Environment

3.1 Communication with our neighbours and local residents

The site management team for the construction process will also liaise with neighbours, retailers, hotels and businesses within the vicinity of the works, to ensure they are kept informed of any major operations such as heavy plant deliveries.

Following initial consultation to advise neighbours of what is being carried out and when, a regular newsletter will be distributed to all neighbours, similar to an example shown in appendix A.

Together with liaison meetings to show the neighbours by photographic displays the current progress, and encourage feedback or concerns. The site team will also display a contact number for neighbours to call if anything concerns them.

3.2 Managing the local environment.

Regular maintenance of the hoarding and daily cleaning protocol will be established to ensure the external perimeter of the site is maintained to a high standard.

Smoking area will be designated away from the site entrances and maintained daily.

3.3 The West End Project.

In January 2015, the Council Cabinet approved the West End project which is a set of public realm proposals in and around Tottenham Court Road aimed at making the area more pedestrian and cycle friendly ahead of Crossrail completion in 2018. In the vicinity of the site, Bedford Avenue will be closed at the junction with Tottenham Court Road to all traffic except for cyclists. Paving upgrades are also proposed on many roads including Great Russell Street.

Following determination and prior to approval of the final CMP, further consultation will be undertaken with Camden to coordinate the works on site to ensure that the WEP works are not affected. Final coordination will be contractor sensitive and subject to the WEP's progress at the date of commencement.

Appendix A – Typical Newsletter

PDF attached

Regenerating St John's Hill Estate



Issue No.1 March 2014



Welcome to the first newsletter from John Sisk & Son Ltd (Sisk). We officially started on site early March and are pleased to be a part of the St John's Hill regeneration, in partnership with Peabody.

'Meet The Contractor' Engagement at St John's Hill

Sisk would like to thank all the residents that attended the Meet the Contractor event on Saturday. Your contributions in helping to choose name proposals for the development made the Meet the Contractor event a great success!

We hope to have our offices up and running shortly, however this event was useful for letting the resident's know who their main point of contact at Sisk is during the development.

Our Community Liaison Manager, Marcia Coke, will be available to respond to any further queries you may have regarding the development. Her contact details have been provided overleaf.

You will notice more activity as we begin to establish our offices and prepare to start construction. From previous updates you will also know that demolition and piling works should be under way this March.

We would like to apologise for these disruptions. Please remember the Gate House has been set up as a respite area for resident's during the dismantling of Block Q.



Sisk's Team Leader Swash buckled



MP/Councillors join in

For the past five years, Peabody has been working on a scheme to regenerate the existing St John's Hill Estate. Sisk are partnering with Peabody to realise this vision for quality new homes for the community.



What's Happening in March/April?

Description/Area of Work

What residents will see/how we will manage the works



Demolition of Block Q and
Reduction of Basket Ball Court

Over the next few months you will start to see a lot more activity on site. We are going to be demolishing a further section of Q Block to enable the build of the new development.

As part of the demolition process, scaffolding will be put up and covered with plastic sheeting called mono-flex. Both sides of the building will be covered to reduce dust. One side of the building is left open for the machine to gain access to take the building down. We'll start by removing the small parts like tiles and vinyl and then move on to the hard demolition of the actual building.

You will have noticed that we have had to reduce the size of the basket ball court so that the Virgin and BT cables can be re-diverted into the ground at the back of Block R and the area closed off with hoarding.



The Green Park

Unfortunately we are also going to have to cut down two of the trees on the green to form a link to the Phase 2 car park. We appreciate that these trees will be greatly missed by residents and we are looking at ways that we can incorporate the wood from the trees into the new development, or perhaps turn them into play equipment or benches.

Hoarding will also be put up in front of the Blocks to separate the site works from the walkway to residents homes.



Block K&L Car Park

Finally, so that we can accommodate the site team, further cabins are expected to be delivered to car park area opposite Block K&L. Before we can do this, the car park grounds will have to be levelled. We hope to cause minimal disruption however there will be some use of mechanical equipment as the platform is constructed to receive the cabin offices around the end of March.



Piling Rig

The Months Ahead

Over the next few months, we will carry out the piling and foundations. Two piling rigs will be delivered before the end of March. The bored piling method that we have chosen to form the basement car park causes the least disturbance and vibration to buildings.



Useful Contacts

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