



THE MULBERRY HOUSE SCHOOL

68 Shoot Up Hill, London NW2 3XL

PROPOSED EXTENSION

DESIGN AND ACCESS STATEMENT: September 2015

Design Team

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THE MULBERRY HOUSE SCHOOL – PROPOSED ALTERATIONS – DESIGN AND ACCESS STATEMENT: September 2015

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View of extension from Shoot Up Hill



View of the existing situation 1



View of extension and 'beanstalk' stair and lift from Minster Road



View of the existing situation 2

1.0 Summary

The design described in this Design and Access Statement does not vary in any fundamental way from that described in the Pre-Application submission, which was responded to positively on 29 July 2015. In the Applicant's understanding, the proposal does not constitute 'Major Development'.

The need for new space reflects the demand that exists among working parents in the neighbourhood for early-years education. The single level of additional accommodation will enable the school to offer such parents a further 20 places for their young children. The proposed roof play area will result in the school being able to have sufficient play space on site, and therefore not need to continue the present practice of shepherding children to more distant facilities for play.

Among the design challenges faced, a significant one emanates from the fact that the new storey cannot be structurally supported on the existing building. This however has resulted in design guidelines that have given simplicity to the proposal. Equally challenging is the need to construct the building predominately during school holiday periods, implying a major accent being placed on off-site manufacture.

The site lies on the corner of Shoot Up Hill and Minster Road in NW. The existing building is the lowest of a series of surrounding buildings that vary from converted detached and semi-detached houses to bespoke blocks of apartments. The planning policy context has been addressed and the response to the Pre-Application considered the proposal to be compliant. As the design has not altered in any significant sense, this compliance remains the case.

The impact of the proposed building on the local context has been carefully assessed both in terms of visual impact and acoustic impact. The roof playground has high balustrades on all sides, an absorbent and quiet floor surface and a roof, measures that will contain the sounds of children playing. The roof, designed as a metaphorical 'cloud', will minimise the visual impact of children playing – should such a thing be considered negative in the first place. The classroom space will have no negative impact on surrounding residents, either acoustically or visually. No rights of light of neighbouring properties are impacted on. Overall, when compared with the existing situation, the proposal will add to the visual quality of the neighbourhood.

The design principles and concepts at work seek a simple architectural and engineering design, which is environmentally sustainable, and an elegantly detailed building using high quality materials.

The layout reflects these ambitions by the creation of three main elements – a single flexible learning and teaching space – a covered open air play roof – and a cylindrical 'beanstalk' stair and lift, providing access to the existing first floor and to the new accommodation. This will enable the school to increase its readiness for the needs of special needs occupants. In terms of scale, the proposed building will carefully relate to the heights of its neighbours to the southeast, to the northeast and across Minster Road.

The appearance of the building and the materials to be used has been given close attention. The Pre-Application feedback in part read, *"Any future application should include details of the facing materials including samples that will assist planning and design officers to assess the proposals."* The materials proposed are described in this document and on the accompanying drawings, while the applicant will provide key samples for approval prior to any construction commencing.

No landscape changes are proposed to either the front or rear playgrounds. Two small boundary trees on Minster Road will be trimmed for site access reasons, however the main trees on the site will be fully retained. The landscape of the roof play area will be simple all-weather 'Slate Grey Artificial Synthetic Turf'.

Significant steps have been taken by the school and parents to reduce the use of cars. Their transport plan has been submitted to Camden and is known to the planning officers who will consider this application. Access and Security matters have been considered fully, while the impact of construction on the neighbourhood is contained in the attached draft Construction Management Plan.

Consultations have been held with children and parents, with neighbours and with Councillor Flick Rea. These proposals have been explained and views listened to. In the conclusion, suggestions are made on what the applicant considers would be useful Conditions that could be placed on a planning approval.

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2.0 Introduction

This document is based on key guidance on the preparation of Design and Access Statements including that of Camden, CABE and DCLG Circular 01/2006. The proposals described do not vary in any fundamental way from that described in the Pre-Application submission, which was responded to on 29 July 2015, in an encouraging way. The design development since has concentrated on the technologies to be built into the proposal to ensure environmental sustainability – including the preparation of a thermal computer model – and on the detailed design of the external cladding and other architectural matters. The scale and size of the proposed building have not required amendment to the Pre-Application scheme in any way.

3.0 Statement of Need

- 3.1 There is a need to provide extra space for the children of working parents in the neighbourhood.
- 3.2 There is also the need to extend the range of learning experiences available to the school community.
- 3.3 The overarching goal therefore is to build a single-storey of accommodation above which there will be an open but roofed play area.
- 3.4 This will provide improved teaching / learning space and mean that children will not need to be taken off-site during breaks due to a lack of play area.
- 3.4 The existing building might be upgraded after the present initiative is completed in order to bring it up to contemporary standards of thermal insulation.

4.0 Intended Uses

- 4.1 Flexible classrooms and hall / meeting room 21 metres long and 7 metres wide for the education / learning of 2 to 7 year olds.
- 4.2 Appropriate storage space.
- 4.3 Children's toilets.
- 4.4 A staff / visitor's toilet.
- 4.5 A new lift and enclosed external stair and an extension to the existing internal stair.
- 4.6 A covered open-air roof play area sitting directly on top of 4.1.

5.0 Particular challenges

- 5.1 Among the design challenges faced, a significant one emanates from the fact that the new storey cannot be structurally supported on the existing building.
- 5.2 Further, with a significant design accent therefore placed on lighter materials given the span across the existing building, the extensive use of glass has challenged the design team to create a non air-conditioned building. This has been achieved, and made more sustainable by the integration of significant amounts of photovoltaic panels on the southeast wall (Elevation D) for the generation of renewable electricity.
- 5.3 Equally challenging is the need to construct the building predominately during school holiday periods, implying a major accent being placed on off-site manufacture. Three limited periods of construction are therefore foreseen and these may require permission from Camden to work beyond normal hours during these limited periods. There is a fundamental need to complete the works by the end of the summer school break in 2016.

6.0 The site and planning policy context



- 6.1 The site is part of The Mulberry House School, registered at 7 Minster Road, London NW2 3SD. The school building affected by this planning application faces Minster Road and Shoot-Up-Hill, and is numbered 68 Shoot Up Hill.
- 6.2 Adjacent buildings and interfaces will be important in terms of neighbourly relations and in terms of planning. The design illustrated within this Design and Access Statement and on the accompanying drawings has taken cognizance of this matter by minimizing its impact especially on No 66 Shoot Up Hill and in terms of visual and acoustic impact from the playroof.
- 6.3 A topographical survey of the site and a measured building survey have been commissioned. The former has been used in the creation of the application plans, while the latter can be found at Appendix 15.1.

6.4 The planning policy context is as follows:

6.4.1 **Strategic**

The relevant policies that would apply to this planning application are taken from the London Borough of Camden Local Development Framework (LDF) Core Development Strategy and Development Plan Policies adopted November 2010 and the revised London Plan adopted 2015. The LDF is accompanied by the Camden Planning Guidance (CPG), which was adopted April 2011 and partly revised since in 2013.

6.4.2 **Design**

In terms of design, The Council's policy position on promoting high quality places, which ensures Camden's places are safe, healthy and easy to use is set out in Policies CS14 ('Promoting high quality places and conserving our heritage') and DP24 ('Securing high quality design'). Policy DP24 of the LDF expects all developments to be of the highest standard and to consider the character, the setting and context of neighbouring buildings. Policy DP24 also expects developments to consider the quality of materials that are used and provide visually interesting frontages.

6.4.3 **Amenity**

Protecting the amenity of residents and visitors is a key Council priority. Policies CS5 ('Managing the impact of growth and development') and DP26 ('Managing the impact of development on occupiers and neighbours') set out the Council's stance in this respect. The Council's adopted planning guidance CPG1 (Design), CPG6 (Amenity).provides further advice on the application of the Council's policies.

6.5 The Pre-Application feedback (see Appendix 15.2) considered that the proposal adequately addressed this planning policy context. Given that the building has not changed in any significant manner since, there is therefore the reasonable presumption that the building described also fully complies.

7.0 **Impact on local context**

7.1 The impact of the proposed building on the local context has been carefully assessed both in terms of visual impact, acoustic impact and external artificial lighting.

7.2 The roof playground has high balustrades of translucent glass on all sides, an absorbent and quiet floor surface and a roof, enclosure measures that will contain the sounds of children playing.

7.3 The roof over the play roof is designed as a metaphorical 'cloud', and will, apart from acting as an acoustic container, minimise the visual impact of children playing.

7.4 The classroom space will have no negative impact on surrounding residents, either acoustically or in terms of visual intrusion.

7.5 No rights of light of neighbouring properties are impacted on.

7.6 Overall, when compared with the existing situation, the proposal will add to the visual quality of the neighbourhood.

8.0 **Design principles and concepts**

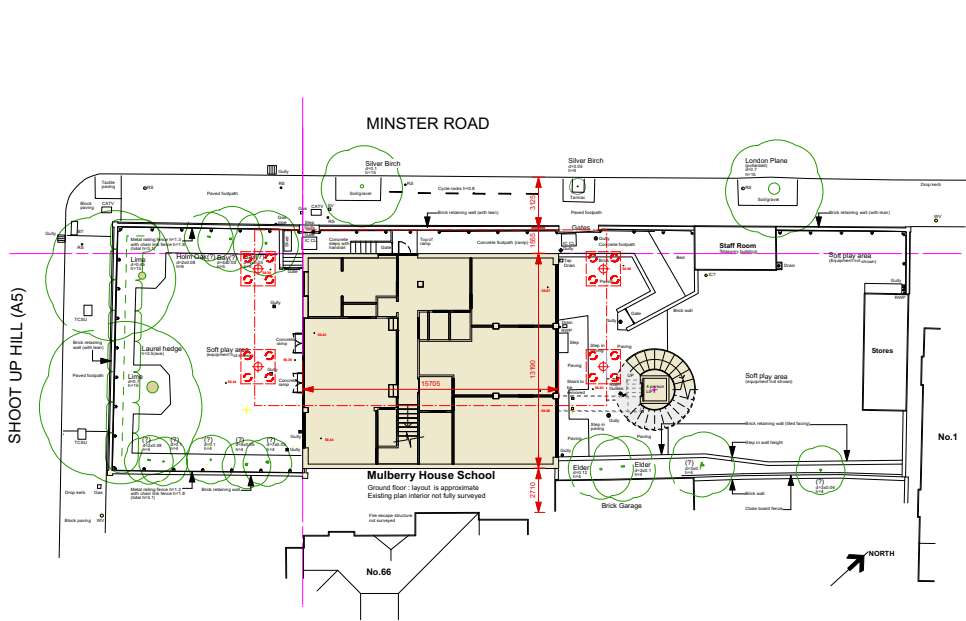
8.1 The new building should relate to its immediate context in terms of scale and size. It should create a strong architectural presence appropriate to a corner site. It should utilise design concepts suitable for a school building referring to children's imaginations, with cultural ideas such as the 'beanstalk', and a play roof acting as a raised landscape below a 'cloud'. As such, the resultant building should add to the architectural portfolio of Camden.

- 8.2 The main design and technical ideas at work include the following:
- 8.2.1 To creatively place no further load upon the structure of the existing building.
 - 8.2.2 To build outside the 45° light angle from the existing parapet to the adjacent building at 66 Shoot Up Hill in order to minimise rights of light issues.
 - 8.2.3 To express parts of the 100+ tonnes of steel behind translucent and transparent glass where appropriate.
 - 8.2.4 To create two horizontal floor plates more than capable of taking the live loads of use of the teaching spaces and the play roof.
 - 8.2.5 Otherwise to express the lightness and simplicity of materials used.
 - 8.2.6 To thematically express in the composition of facades 'A', 'B', 'C' and 'D', the architectural conditions of front (bay window), rear (trees), the side to Minster Road (shadows) and the side to the adjacent building (privacy).
 - 8.1.7 To create a 'beanstalk' stair enclosed in translucent cladding linking the ground level to the existing first floor and the two new levels of the school.
 - 8.1.8 To link the new accommodation into the existing staircase.
 - 8.1.9 To create two 'green' roofs of wildflowers adjacent to the extension of the existing stair.
 - 8.1.10 To create a light-weight 'cloud' roof over the roof play area.

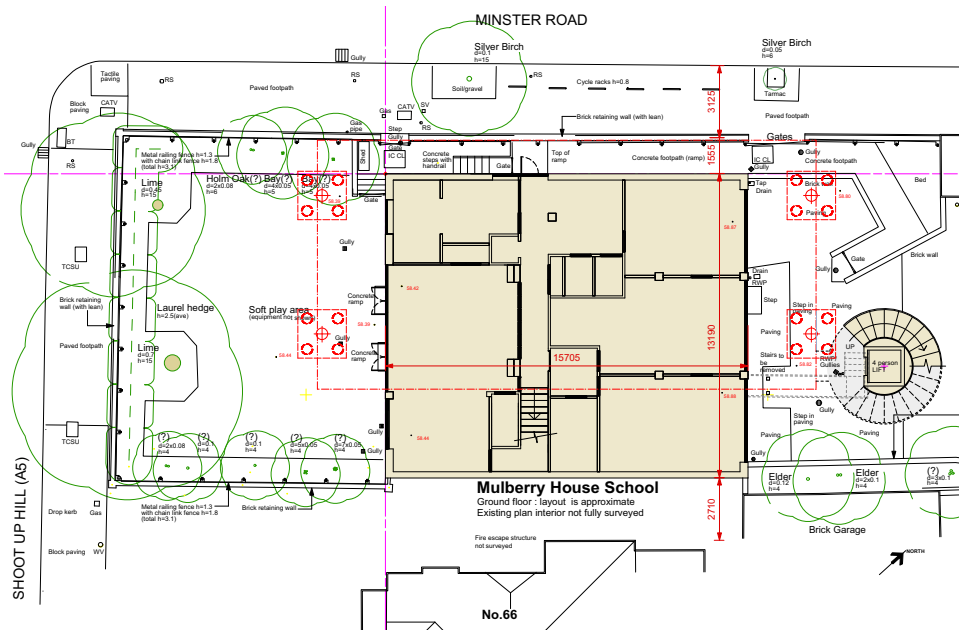
9 **Layout and scale**

Layout

- 9.1 Impact on the existing site is limited.
- 9.2 Only four columns impact on the existing playgrounds.
- 9.3 These columns require to stand free of the existing building in order that piled foundations exert no structural pressures on that building.
- 9.4 Due to these criteria, they have determined the overall length of the new accommodation.
- 9.5 The width of the new building on the other hand is determined by the intention to remain outside the 45° light angle.

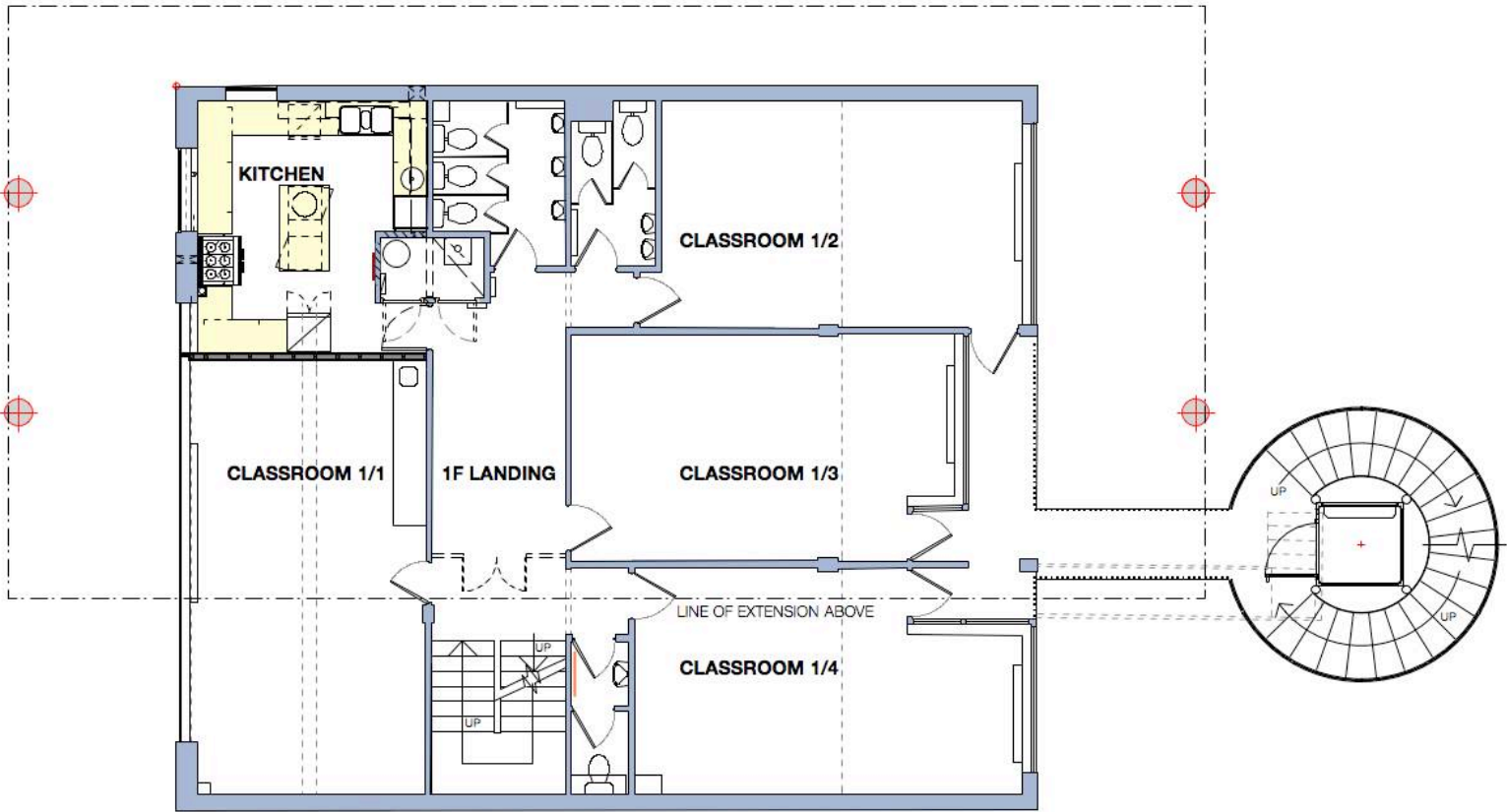


The whole Site Plan (the new building is shown in red hatch)



Part Site Plan (the new building is shown in red hatch)

9.6 The proposed first floor

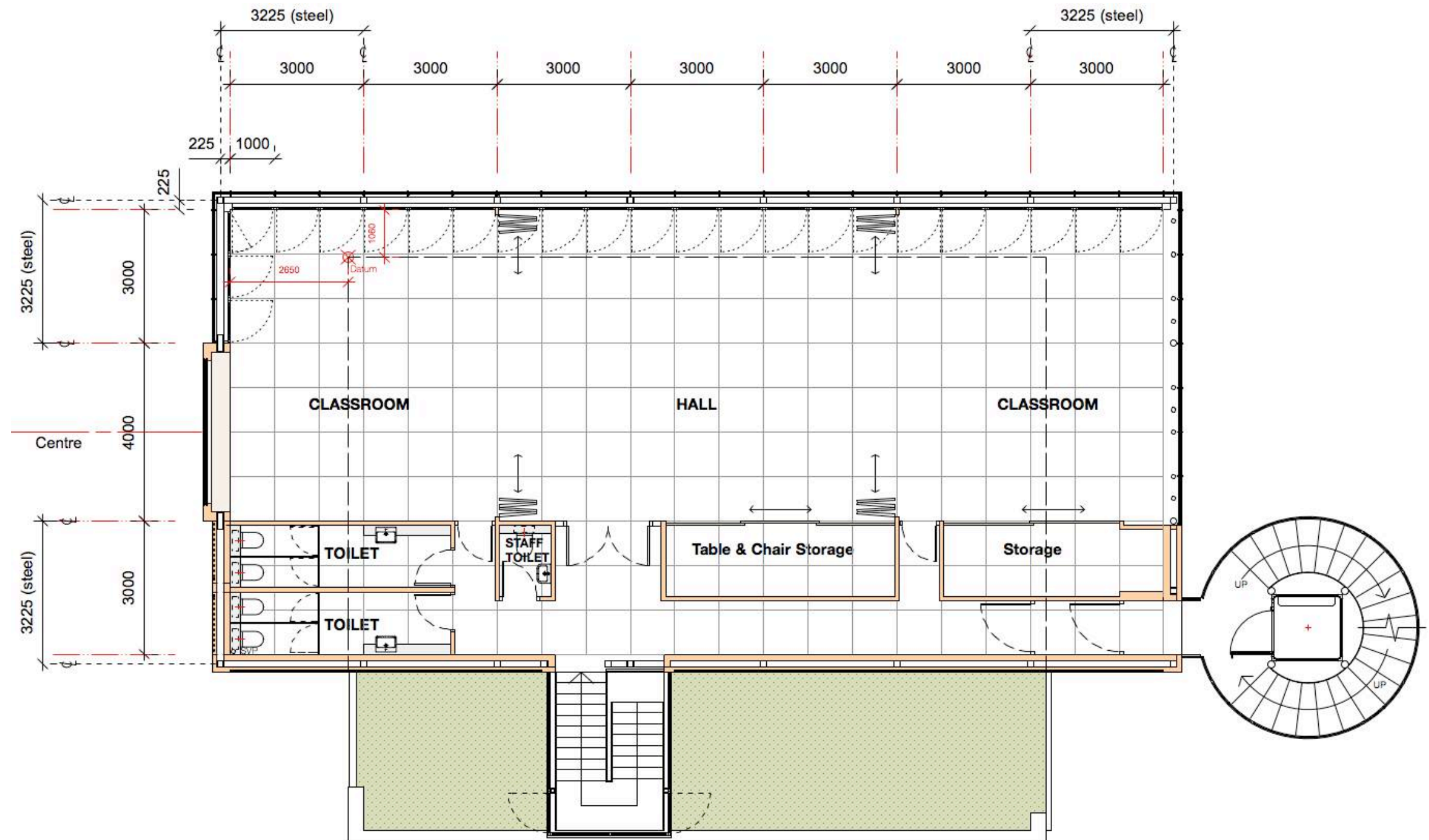


First floor plan showing the expanded kitchen and access to the new stair / lift tower (the new floor is shown in hatch and the main columns in tone)

9.8 The proposed second floor

The plan is a simple articulation of the structural solution to spanning across the existing building and having the four supporting columns stand free of the walls of that building.

A circulation and service zone is located to one side leading to the new raised stair and the external spiral stair and lift tower.

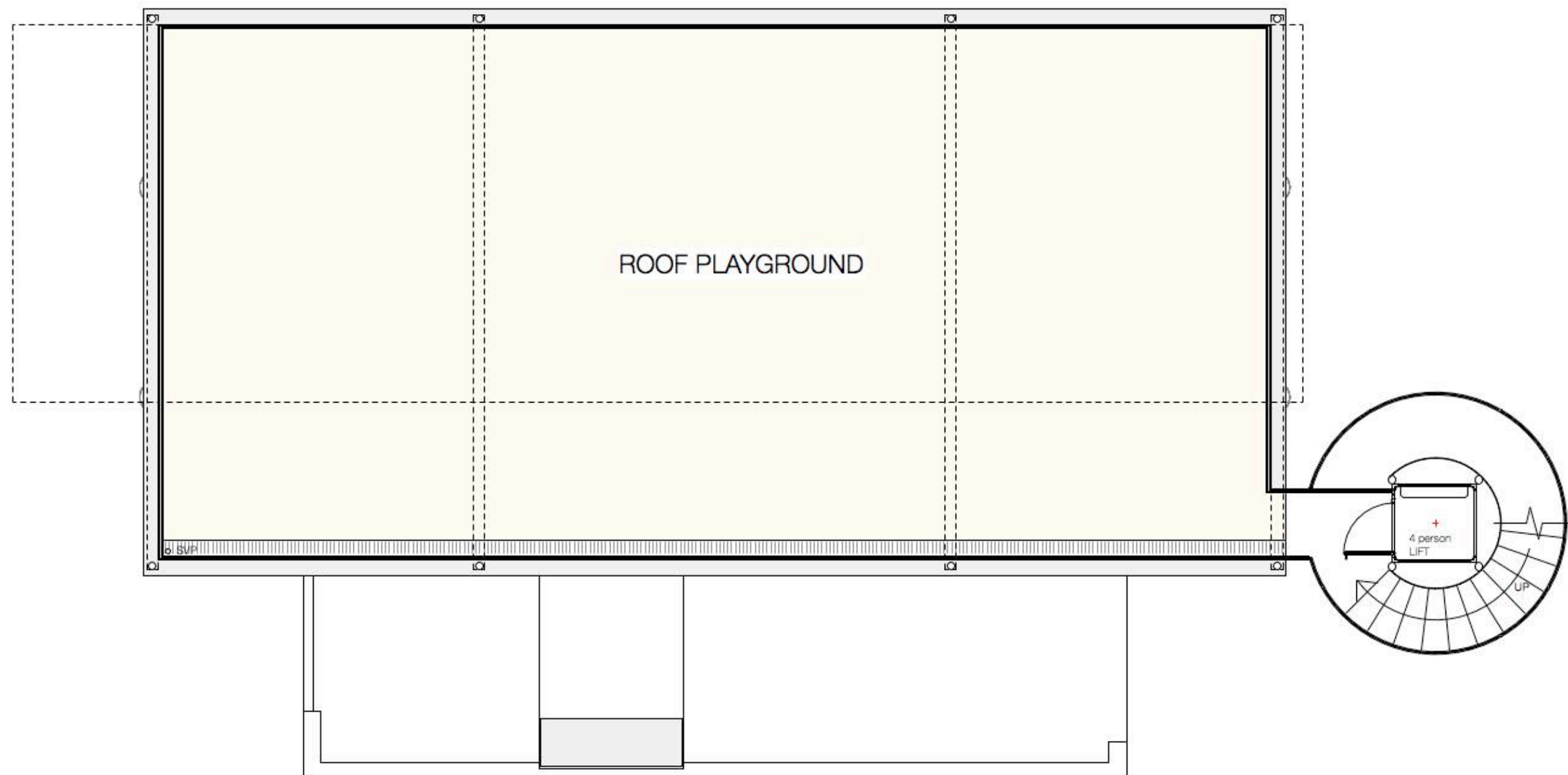


Plan showing the flexible teaching / hall area (access to the 'green' roofs is shown in hatch)

9.9 The roof play area and its roof

Accessed from the new external stair and lift, the space is simple, with a safe floor surface of grey all-weather carpet and with 1500mm high eye level translucent glass balustrades to ensure safety for children and privacy for neighbours.

A roof 'cloud' lies above providing weather protection.



Plan of the play area

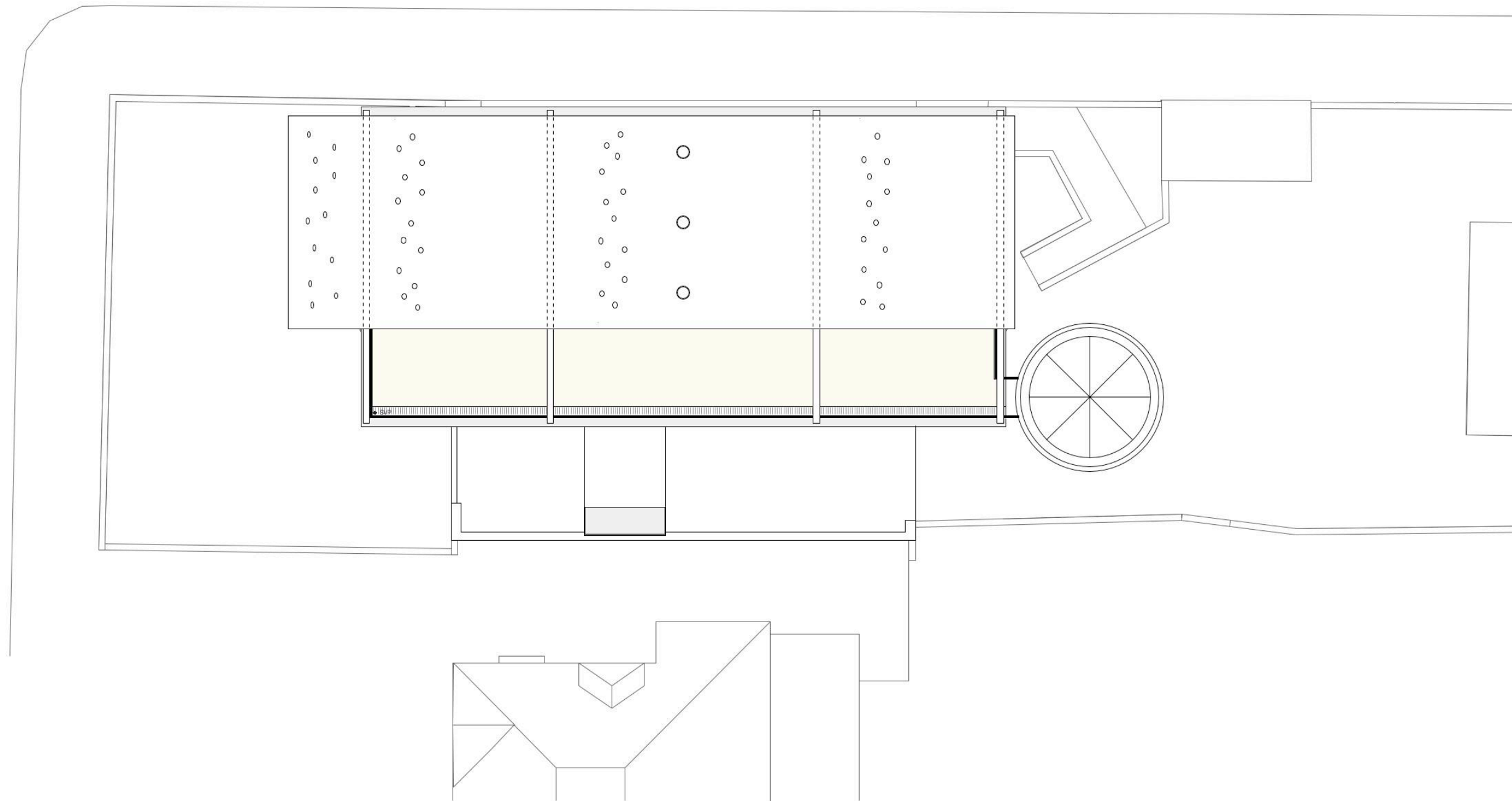
9.10 The roof play roof

A roof 'cloud' lies above the new playground providing weather protection to the main bulk of the roof play area below.

This limited coverage is influenced by the decision not to place it within the 45 degree light angle from No 66 Shoot Up Hill.

It is shaped in a way that also provides solar shading to the main window to Elevation A.

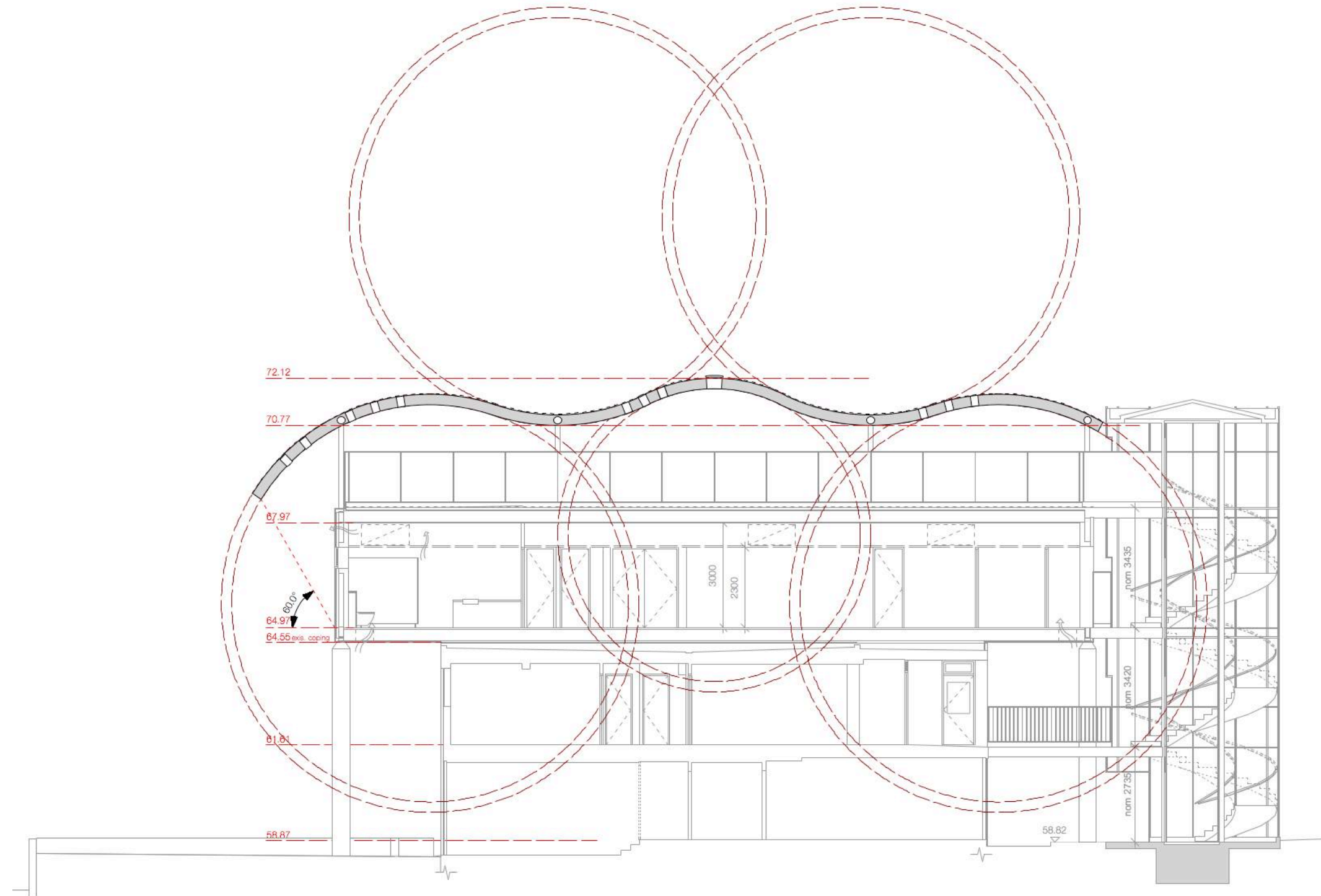
Lenses facing south will provide sunlight 'spots' on the roof surface below acting as solar clocks.



Plan of the play area roof

9.11 The roof play roof geometry

The shape of the 'cloud' is based on a series of circles.



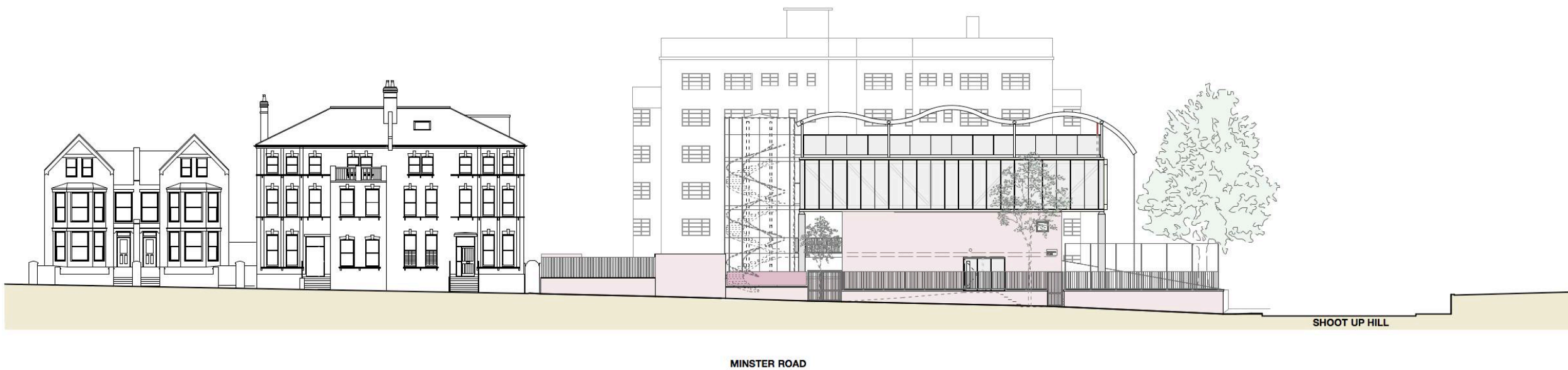
The circles that generate the shape of the roof to the play area

Scale

9.12 The building sits within Shoot Up Hill related in scale to its immediate neighbours and is lower than the nearby apartment buildings.



9.13 it also relates closely to the height of the semi-detached building further along Minster Road.



10 Appearance and materials

10.1 Having established an appropriate scale for the proposed building, and its relationship volumetrically to the existing building below, the detailed consideration for the appearance of the four elevations has followed.

Given the heterogeneous nature of the surrounding architecture – of differing periods and architectural characters – and given that the site does not lie adjacent to, or within sight from a Conservation Area, a building with a contemporary architectural language has been considered appropriate.

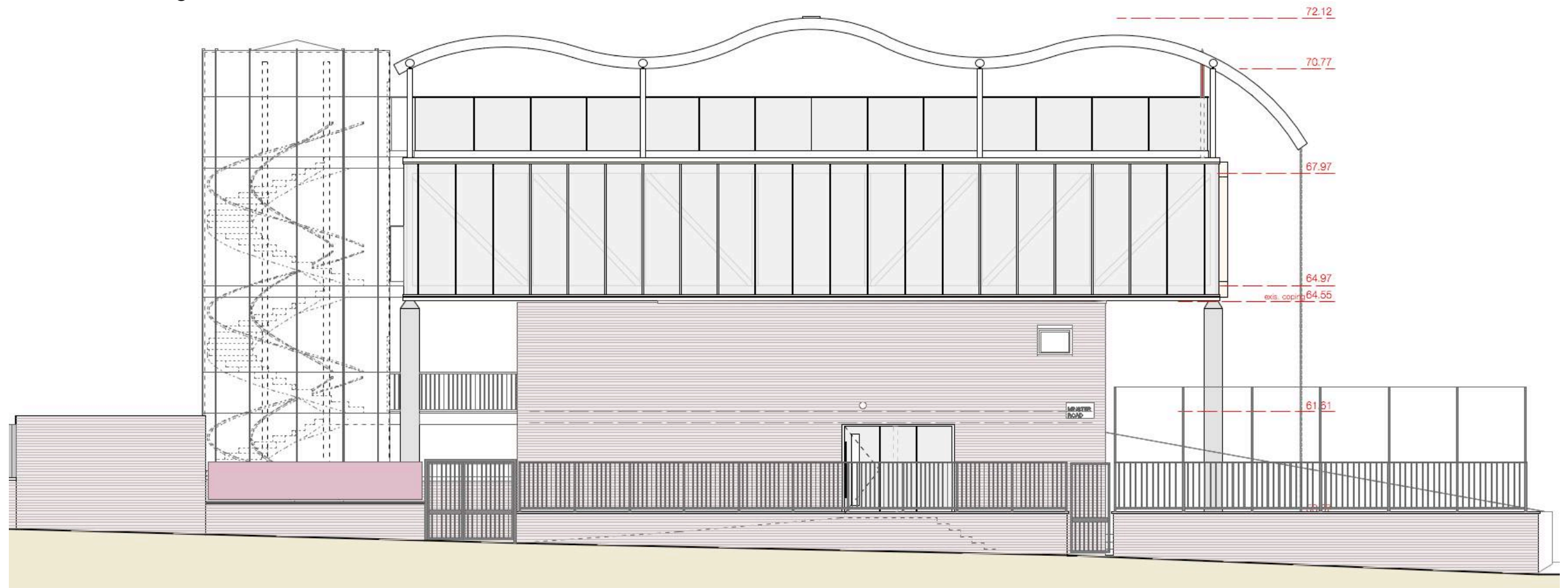
This attitude has not been contradicted by the feedback to the Pre-Application, and has allowed the design team to express the nature of the engineering challenges – the structural separation from the existing building and a sustainable environment without recourse to air conditioning – with architectural composition and high quality materials.

10.2 Elevation A – facing Shoot Up Hill



The design intention for this elevation is to create an appropriate 'frontage', given that it faces the primary road within its context. The principal element that signifies this role is the central bay window of clear glass. Otherwise the elevation relates closely to adjoining elevations by wrapping the same materials around the two main corners. The roof to the play roof reduces solar gain into the building, and contributes to the containment of the noise emanating from children's play during breaks.

10.3 Elevation B facing Minster Road

**MINSTER ROAD**

The design intention for this elevation is to clearly express the span of the building in a muted manner. This will be achieved by way of a wall of translucent external glazing that will reveal the main structural elements lying behind as shadows. The high balustrade to the play roof above will similarly mask the children when there at break times. The roof to the play roof is conceived as a 'cloud', with rainwater to the front of the building taken down by way of a chain.

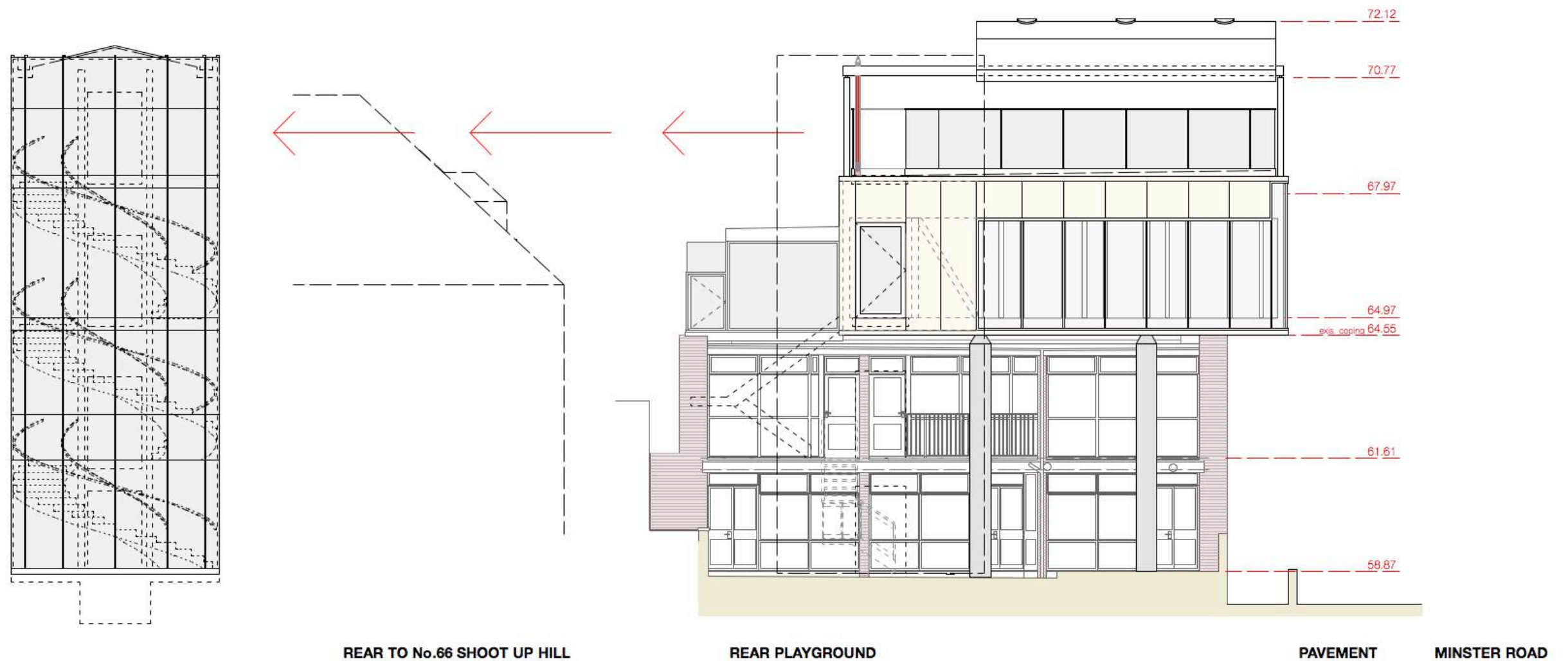
A new entrance screen at ground floor level will continue the use of translucency – there being transparent vision panels where needed.

The 'beanstalk' stair and lift to the left of the drawing above will be described on Elevation C.

A 'character' integration of etched figures will be developed and submitted to Camden in the period ahead, with approximately 50-centimetre high figures incised on each of the vertical panes of translucent external glazing. A precedent is shown below.



10.4 Elevation C facing the rear playground

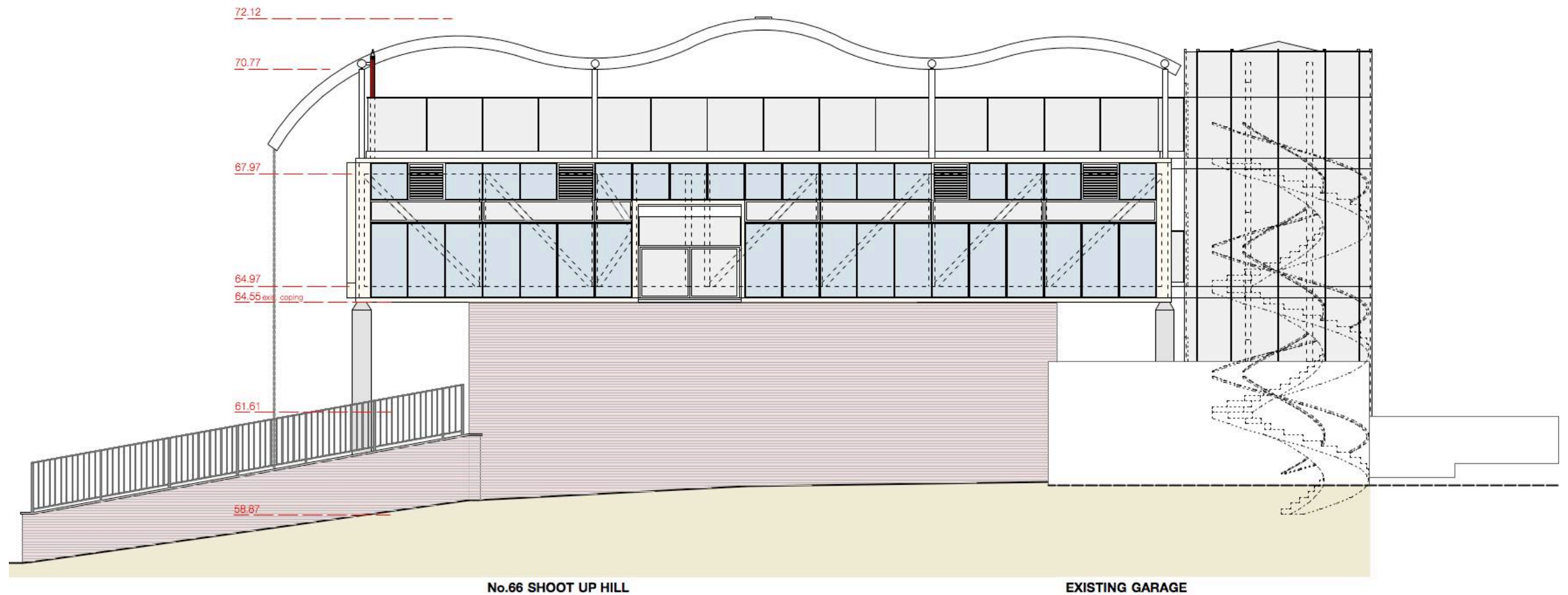


Note: The 'beanstalk' stair and lift element has been moved to the left – with its accurate position shown in hatched line – in order to reveal the whole rear elevation.

The design intention for this elevation appropriately addresses the existing garden playground as a 'rear' rather than a frontage, and the vertical structure will be of circular elements – analogies to trees – with external panels of clear glass and of light honey-coloured aluminium.

The 'beanstalk' stair and lift will be open to the air, with a curved translucent cladding. This will enable the children to move upwards from their 'everyday' classroom experiences to a separated world of play and exercise on the play roof.

10.5 **Elevation D** facing the adjacent property at 66 Shoot Up Hill



The design intention for this elevation is to create privacy to and from the building at 66 Shoot Up Hill and to do so in a creative manner, with sustainability at the core of the intention. As such, the main accommodation will be primarily clad with electricity-generating photovoltaic panels, with the balustrading of the play roof above of translucent glass. The extension of the existing stair upwards to give access to the new accommodation will also be translucent – as will the 'beanstalk' stair. A clear glass strip will provide natural light into the corridor of the new classroom level, but will be above eye level, reinforcing the privacy theme that predominates this elevation.

10.6 The palette of external materials

- 10.6.1 To achieve the intentions outlined for the four elevations above, and to embody the strategic ambition to create a sustainably-designed building with a contemporary architectural language, durable materials – fully consistent with the Pre-Application – have been chosen.

They are also materials that are consistent with two further imperatives:

- a) High quality construction.
- b) Significant amounts of off-site construction in order to address the time constraints on on-site construction brought about by the need to build only during school holiday periods.

- 10.6.2 **Elevation A** (facing Shoot Up Hill) – See Application Drawing No. MUL-AL (0)16 for the location of key numbers.

- 1: White painted steel columns and beams
- 2: Translucent glass
- 3: Clear glass
- 4: Photovoltaic panels to generate renewable energy (electricity)
- 5: Grey membrane roof with glass lenses
- 6: Chain
- 7: White PPC aluminium
- 8: Translucent polycarbonate sheets
- 9: Honey-coloured anodised aluminium panels and dressings
- 10: Honey-coloured anodised aluminium glazing/cladding frames

Facade 'A' to SW a 400mm zone in 3 layers; part external translucent double glazed /structural zone / part triple glazed bay & part similar to SE facade to suit space.

- 10.6.3 **Elevation B** (facing Minster Road) – See Application Drawing No. MUL-AL (0)17 for the location of key numbers.

- 1: White painted steel columns and beams
- 2: Translucent glass
- 3: Clear glass
- 5: Grey membrane roof with glass lenses
- 6: Chain
- 7: White PPC aluminium
- 8: Translucent polycarbonate sheets
- 9: Honey-coloured anodised aluminium panels and dressings
- 10: Honey-coloured anodised aluminium glazing/cladding frames

Facade 'B' to NW a translucent children's "character" wall; 400mm zone in 3 layers; external translucent double-glazed / structural zone / blackout blinds / internal single glazed with access panels to interior of wall zone.

A replacement door and screen to the ground floor entrance to the school will be of translucent double-glazing units with clear vision panels to the door and to the secretary's office.

10.6.4 **Elevation C** (facing the rear playground) – See Application Drawing No. MUL-AL (0)18 for the location of key numbers.

- 1: White painted steel columns and beams
- 2: Translucent glass
- 3: Clear glass
- 5: Grey membrane roof with glass lenses
- 7: White PPC aluminium
- 8: Translucent polycarbonate sheets
- 9: Honey-coloured anodised aluminium panels and dressings
- 10: Honey-coloured anodised aluminium glazing/cladding frames

Facade 'C' to NE clear double-glazed with circular structural and glazing sections and internal blackout blinds.

The 'Beanstalk' stair and lift tower; translucent polycarbonate curved sheet external enclosure to galvanised steel spiral stairs around core steel structure "stem" with glazed platform lift. This design element acts as the principal external access to floors & roof playground.

10.6.5 **Elevation D** (facing 66 Shoot Up Hill) – See Application Drawing No. MUL-AL (0)19 for the location of key numbers.

- 1: White painted steel columns and beams
- 2: Translucent glass
- 3: Clear glass
- 4: Photovoltaic panels to generate renewable energy (electricity)
- 5: Grey membrane roof with glass lenses
- 6: Chain
- 7: White PPC aluminium
- 8: Translucent polycarbonate sheets
- 9: Honey-coloured anodised aluminium panels and dressings
- 10: Honey-coloured anodised aluminium glazing/cladding frames and grilles

Facade 'D' to SE in three layers; internal framed display wall / structural zone / external framed wall similar to other facades with photovoltaic panels and strip double-glazing.

10.7 **A detail**

In a front corner of the roof play area, the top of the new drainage system will require venting. In order that this potentially unsightly feature can be creatively addressed, the manufacture of a 'pencil' wrapping is proposed.

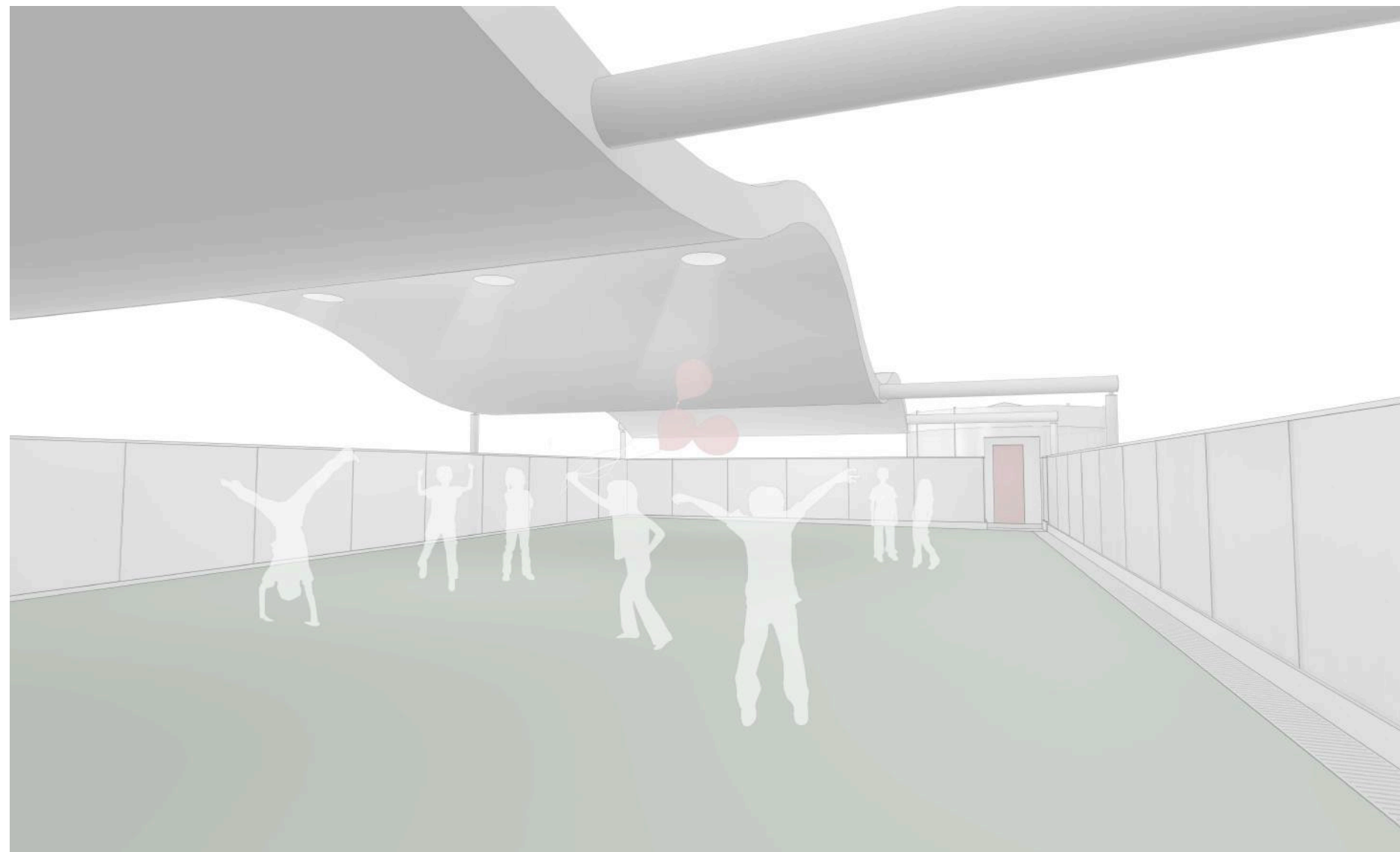


Example of an oversized pencil for use as cladding to the soil vent pipe in the corner of the roof play area

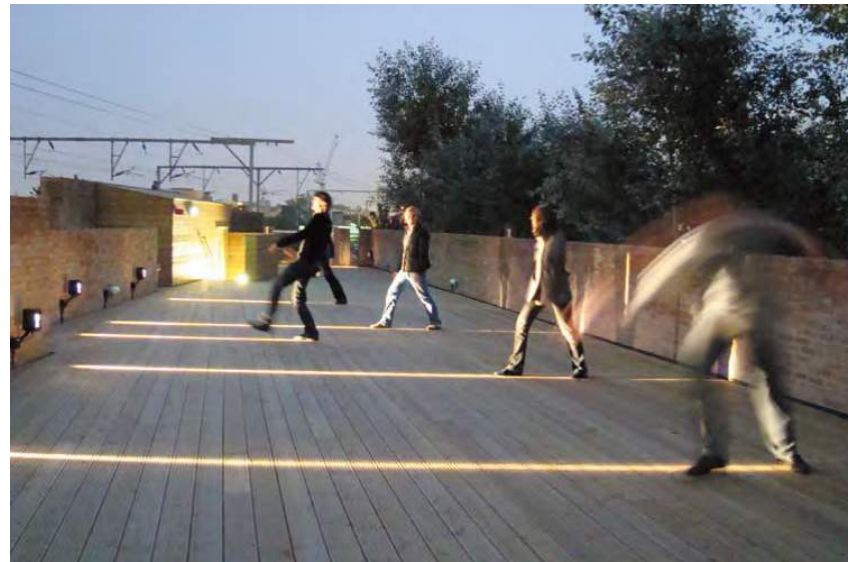
11 Landscape and external lighting

- 11.1 There are no current proposals to change the landscape character of the front and rear playgrounds. Once the four main columns are constructed and the new connections to drainage are completed, the existing surfaces will be reinstated.
- 11.2 There are two flat roof areas of the existing building which will remain exposed once the new storey is built. These will be re-roofed as 'green' roofs with the integration of wild flowers. Both are accessed for maintenance only from the last half landing of the school's internal stair.
- 11.3 The landscape of the roof play area will be simple. The floor will be of robust charcoal grey all-weather carpet, which will both absorb vocal sound and hide completely the sound of footfalls. The high balustrades will be of obscure glass and the soffit to the 'cloud' roof will be of white 'Trespa' boards. Lighting for winter use will be placed at low level in order to remove all light pollution affecting neighbours.

11.4 The covered play roof



View towards the 'Beanstalk' stair



Example of low-level lighting to be used on the roof play area

11.5 External lighting

The front and rear of the building will be sensitively and mutely floodlit. Details of these intentions will be submitted to Camden for approval prior to any construction commencing.

12 Travel Plan, access and security

Travel Plan

- 12.1 The Travel Plan by the consultant Jane Simmons, commissioned by the school, has already been submitted to Camden. As advised by the senior planning officer in charge of the project within Camden, in an email of 3 August 2015 in response to the following from the head teacher – “At the pre app meeting I offered our travel plan. Lorraine Hinds had already received all our documents in relation to school travel 2015.” The applicant was advised not to re-submit the Plan and to “incorporate a heading into the design and access statement stating this.”

Access

- 12.2 Once completed, the extension will not affect current patterns of access to the school. During the periods when the school is in use between the three main periods of construction, access should generally be as at present in terms of entry to and leaving from the school, however there may be some necessary limitations placed on the use of the playgrounds.
- 12.3 This caveat relates to CDM matters. Impacts will be minimised and managed in a way that brings no danger to pupils, staff or visitors.

Security

- 12.4 Measures to ensure the security of the school during construction phases will be worked out with the Contractor once appointed.
- 12.5 Otherwise, the security of children as currently in place will remain, the fenced perimeter controlled by a monitored electric locking gate are retained.

13 Consultations, strategic programme and conclusion

13.1 Consultations

- 13.1.1

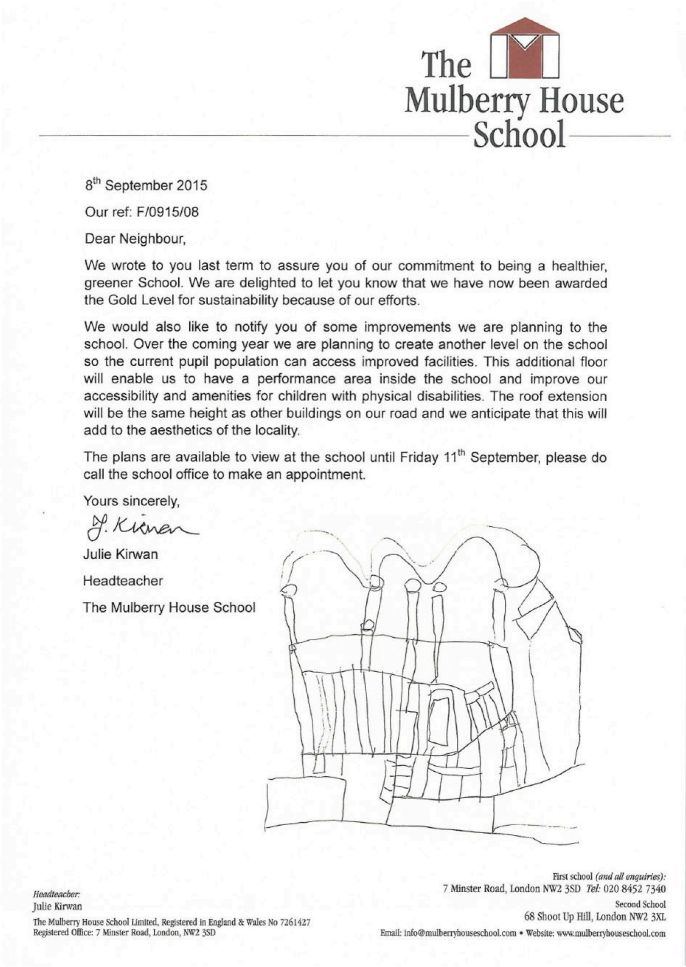
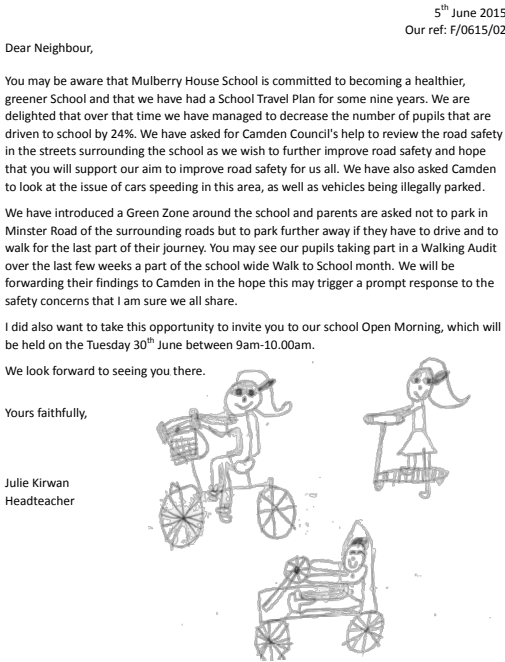
School children have been presented with the full set of planning application drawings the subject of a school assembly.
- 13.1.2

Parents have been presented with an exhibition of the full set of planning application drawings.
- 13.1.3

The neighbour's representative James Earl has been presented with an exhibition of the full set of planning application drawings.

"Dear James
I hope you are well. I have arranged a meeting with the architect and design team to show neighbours and our current parents the plans for the additional floor. This will take place on September 9th from 4pm -8pm in our school hall.
I do hope you will be available to drop in and have any questions that you may have answered. Other neighbours are of course welcome to attend. Refreshments will be served.
Kind regards, Julie Kirwan, Headteacher, The Mulberry House School"
- 13.1.4

Neighbours have had invitations to discuss the proposals by invitations delivered by hand (See appendix 14..



- 13.1.5

Councillor Flick Rea has been briefed on the project.

13.2 Strategic programme

- 13.2.1 September 2015: Submission of full planning application.
- 13.2.2 September 2015: Interview Contractors.
- 13.2.3 October 2015: Complete production information for Phase 2 construction.
- 13.2.4 Early to Mid-November 2015: Receipt of planning permission.
- 13.2.5 **Phase 2 Construction:** Either side of Christmas 2015 and New Year.
- 13.2.6 January and February 2016: Complete production information for Phase 3 construction.
- 13.2.7 **Phase 3 Construction:** Either side of Easter 2016.
- 13.2.8 April and May 2016: Complete production information for Phase 4 construction.
- 13.2.9 **Phase 4 Construction:** Summer 2016.
- 13.2.10 Post construction matters including school inspection visits.

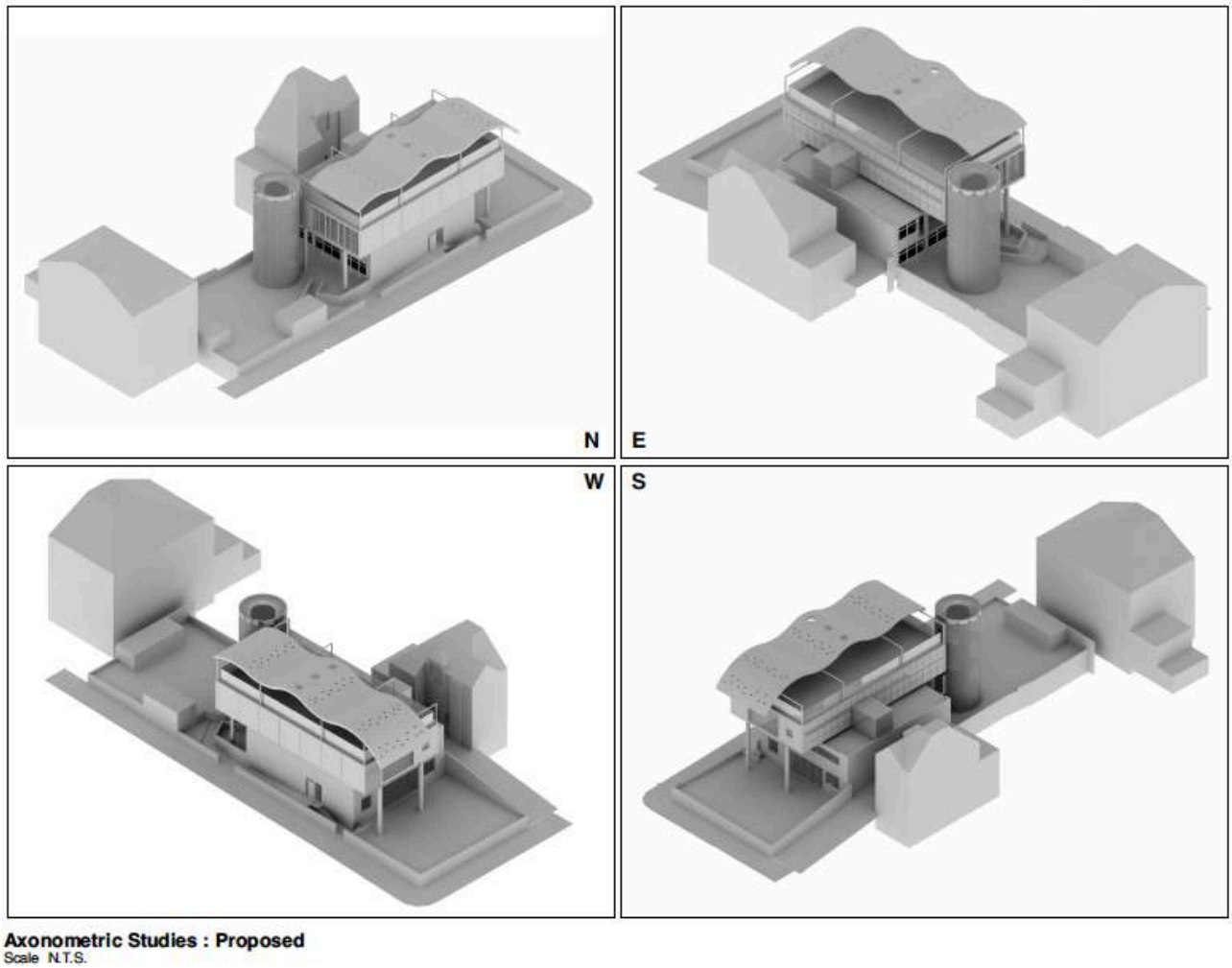
Note: Bank holidays: Monday 4th May 2015; Monday 25th May 2015; Monday 2nd May 2016; Monday 30th May 2016 may be used for works. Weekend presence may also need to be contemplated throughout the procurement process. This is analysed in the Preliminary Construction Management Plan at Appendix 14.4.

13.3 Conclusion

- 13.3.1 The full planning application to which this Design and Access Statement relates is fully in accordance with the principles of the design submitted to Camden as a Pre-Application. This Pre-Application received positive feedback – **“The proposed design which has been submitted as part of the pre-application process has been well received as a concept although it has been stressed that the success of the scheme will be down to the quality of the detailed design. The proposed ‘beanstalk’ staircase which would also accommodate a lift will is also considered acceptable.”**
- 13.3.2 For the past 7 weeks therefore, the design team has concentrated on the detailed design and are now of the view that the building as illustrated in the application drawings is sufficiently developed to warrant formal planning permission.
- 13.3.3 The Applicant is fully intent on building a very high quality building. They however would welcome planning conditions from Camden as follows:
 - 13.3.3.1 **EXTERNAL MATERIALS:** Drawings / specifications – with selected samples – of exposed steel, all glazing types, photovoltaic and other panels, with all glazing / panel frame profiles.
 - 13.3.3.2 **THE ‘CLOUD’ ROOF:** Drawings / specifications showing all materials and junctions on sides, soffit and roof surface.
 - 13.3.3.3 **ETCHED FIGURES:** Detail design of the etched figures to be integrated into the glazing of Elevation B.

- 13.3.3.4 **EXTERNAL LIGHTING:** details of all proposed lighting including that for the roof play area.
- 13.3.3.5 **SOIL VENT PIPE CLADDING:** details of the 'pencil' cladding to the soil vent pipe in the south east corner of the play roof.
- 13.3.3.6 **CONSTRUCTION MANAGEMENT PLAN:** A fully worked CMP to replace the draft submitted with the application once a contractor is appointed and in advance of construction of the main building commencing on site.

13.3.4 The Applicant and their Design Team believe that the building described in this DAS and illustrated on the application drawings will result in being a significant asset to Camden, while being fully sensitive to the neighbourhood within which it will sit.



14 Appendices

14.1 Existing building survey showing all plans, sections and elevations (submitted as a separate PDF file)

14.2 The LPA's response to the Pre-Application

Date: 29/07/2015
Our Ref: 2015/3390/P
Contact: Zenab Haji-Ismail

Direct line: 020 7974 3270
Email: Zenab.haji-ismail@camden.gov.uk

Dear Mr Douglas,
Town and Country Planning Act 1990 (as amended)
Re: 82 Shoot Up Hill, London, NW2 3XL

Thank you for your enquiry received on 15 June 2015 regarding a two storey extension to Mulberry School. This letter represents the Council's initial view of your proposals based on the information available to us at this stage. It should not be interpreted as formal confirmation that your application will be acceptable nor can it be held to prejudice formal determination of any planning application we receive from you on this proposal.

Overview of the Site and Proposal

The pre application relates to a two storey building that sits on the junction of Shoot Up Hill and Mister Road. The nursery school was built in the early 1970s. The building has been constructed in brick and to the rear of the building there is a modest rear extension. The site is not listed nor is it in a conservation area. Due to the increased demand for school places and limited assembly space, the applicant seeks to expand the school with an additional storey to accommodate a new hall and a playground at roof level.

Policy context

The relevant policies that would apply to this proposal are taken from the London Borough of Camden Local Development Framework (LDF) Core Development Strategy and Development Plan Policies adopted November 2010 and the revised London Plan adopted 2015. The LDF is accompanied by the Camden Planning Guidance (CPG) which was adopted April 2011 and partly revised since in 2013. These can all be viewed online at camden.gov.uk/planning.

Land Use

The principle of the extension to the school and installation of a staircase and lift access in the form of a 'beanstalk' to the rear is considered to be acceptable subject to the considerations set out below.

Design

The Council's policy position on promoting high quality places which ensures Camden's places are safe, healthy and easy to use is set out in Policies CS14 ('Promoting high quality places and conserving our heritage') and DP24 ('Securing high quality design'). Policy DP24 of the LDF expects all developments to be of the highest standard and to consider the character, the setting and context of neighbouring buildings. Policy DP24 also expects developments to consider the quality of materials that are used and provide visually interesting frontages. The proposal seeks to support the two storey extension by four supporting columns. The proposed facing materials of the second floor level extension include a translucent glass material. The proposed design which has been submitted as part of the pre-application process has been well received as a concept although it has been stressed that the success of the scheme will be down to the quality of the detailed design. The proposed 'beanstalk' staircase which would also accommodate a lift will also be considered acceptable. #Any future application should include details of the facing materials including samples that will assist planning and design officers to assess the proposals. .

Amenity

Protecting the amenity of residents and visitors is also a key Council priority. Policies CS5 ('Managing the impact of growth and development') and DP26 ('Managing the impact of development on occupiers and neighbours') set out the Council's stance in this respect. The Council's adopted planning guidance CPG1 (Design), CPG6 (Amenity).provides further advice on the application of the Council's policies. The site visit identified that the proposal may result in some harm to bedroom window of the adjacent house to the south of the site. However it is not considered that this harm would be so significant to justify refusal of the application. . The proposed extension unlikely to result in harm to other nearby properties.

Planning Obligations

It is considered that the proposed works at the school would require a Construction management Plan to outline how the works will be carried and nuisance during construction will be minimised. As the proposed works could lead to damage to the footways and carriageway directly adjacent to the site The Council may need to undertake highway works following completion of the proposed works. A financial contribution for highway works may be secured as a section 106 planning obligation. In terms of the Community Infrastructure Levy, a charitable institution, you will be able to claim an exemption before works commence on site.

Consultation

You are strongly encouraged to engage with neighbouring occupiers and local councillors to gain support for the proposal at an early stage in the process, given the likely concerns residents will have with regards to the impact of the construction. Although adjoining occupiers will be notified of any application by the Council, initial consultation may help address any concerns neighbours have before any application is submitted.

Conclusion

The proposed extension and external alterations are considered to be acceptable in design and amenity terms subject to further details of the detailed design and submission of samples of facing materials.

How to submit your application

Please submit your application electronically via the national planning portal.

When submitting a planning application, the following information will be required:

- Appropriate fee
- Site location plan
- All existing elevations (including the front and the side), floor plans, sections and roof plan
- All proposed elevations (including the front and the side), floor plans, sections and roof plan
- Design and access statement

After you submit your application

It would be useful if you could let me know when you have submitted the application along with the planning portal reference number. I will then pick the application up as the case officer.

We are legally required to consult on the application with individuals who may be affected by the proposals. We will notify your neighbours by letter, put up a notice on or near the site and, advertise in a local newspaper. The Council must allow 21 days from the consultation start date for responses to be received.

All consultation responses will be available to view on the Council's website using the planning application search page. It is likely that an application of this size would be determined through member's briefing or Development Control Committee.

I trust the above provides a useful summary; however should you have any queries about the advice contained in this letter please contact Zenab Haji-Ismael on **020 7974 3270**.

Please note that the information contained in this letter represents an officer's opinion and is without prejudice to further consideration of this matter by the Development Management section or to the Council's formal decision.

Thank you for using Camden's pre-application advice service.

Yours sincerely,

Zenab Haji-Ismael

14.3 **Sustainability Report** (submitted as a separate PDF file)

14.4 **Preliminary Construction Management Plan** (submitted as a separate PDF file)

14.5 **Community Infrastructure Levy** (submitted as a separate PDF file)

14.6 **Acoustic Report** (submitted as a separate PDF file)

14.7 Consultation letters delivered to neighbours

5th June 2015
Our ref: F/0615/02

Dear Neighbour,

You may be aware that Mulberry House School is committed to becoming a healthier, greener School and that we have had a School Travel Plan for some nine years. We are delighted that over that time we have managed to decrease the number of pupils that are driven to school by 24%. We have asked for Camden Council's help to review the road safety in the streets surrounding the school as we wish to further improve road safety and hope that you will support our aim to improve road safety for us all. We have also asked Camden to look at the issue of cars speeding in this area, as well as vehicles being illegally parked.

We have introduced a Green Zone around the school and parents are asked not to park in Minster Road of the surrounding roads but to park further away if they have to drive and to walk for the last part of their journey. You may see our pupils taking part in a Walking Audit over the last few weeks a part of the school wide Walk to School month. We will be forwarding their findings to Camden in the hope this may trigger a prompt response to the safety concerns that I am sure we all share.

I did also want to take this opportunity to invite you to our school Open Morning, which will be held on the Tuesday 30th June between 9am-10.00am.

We look forward to seeing you there.

Yours faithfully,

Julie Kirwan
Headteacher



8th September 2015

Our ref: F/0915/08

Dear Neighbour,

We wrote to you last term to assure you of our commitment to being a healthier, greener School. We are delighted to let you know that we have now been awarded the Gold Level for sustainability because of our efforts.

We would also like to notify you of some improvements we are planning to the school. Over the coming year we are planning to create another level on the school so the current pupil population can access improved facilities. This additional floor will enable us to have a performance area inside the school and improve our accessibility and amenities for children with physical disabilities. The roof extension will be the same height as other buildings on our road and we anticipate that this will add to the aesthetics of the locality.

The plans are available to view at the school until Friday 11th September, please do call the school office to make an appointment.

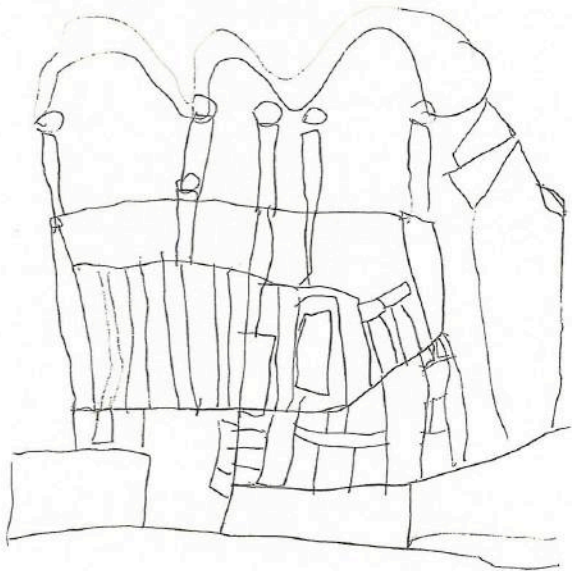
Yours sincerely,

J. Kirwan

Julie Kirwan

Headteacher

The Mulberry House School



Headteacher:
Julie Kirwan

The Mulberry House School Limited, Registered in England & Wales No 7261427
Registered Office: 7 Minster Road, London, NW2 3SD

First school (and all enquiries):
7 Minster Road, London NW2 3SD Tel: 020 8452 7340

Second School
68 Shoot Up Hill, London NW2 3XL

Email: info@mulberryhouseschool.com • Website: www.mulberryhouseschool.com

14.8 List of Planning Application Drawings

(0)01	Location Plan 1/1250
(0)02	Site Plan Existing 1/200 – Rev. B
(0)03	Ground Floor Plan Existing 1/100 – Rev. B
(0)04	First Floor Plan Existing 1/100 – Rev. B
(0)05	Street Elevation Proposed - Shoot Up Hill 1/200 – Rev. B
(0)06	Street Elevation Proposed - Minster Road 1/200 – Rev. B
(0)07	Perspective View - Shoot Up Hill N/A – Rev. A
(0)08	Perspective View - Minster Road N/A – Rev. A
(0)09	Ground Floor Plan Proposed 1/100 – Rev. C
(0)10	First Floor Plan Proposed 1/100 – Rev. D
(0)11	Second Floor Plan Proposed 1/100 – Rev. D
(0)12	Roof Play Area Plan Proposed 1/100 – Rev. C
(0)13	Roof Plan Proposed 1/100 – Rev. C
(0)14-1	Section 2-2 Proposed 1/100 – Rev. C
(0)14-2	Section 4-4 Proposed 1/100 – Rev. A
(0)15	Section C-C Proposed 1/100 – Rev. D
(0)16	Elevation A Proposed 1/100 – Rev. D
(0)17	Elevation B Proposed 1/100 – Rev. D
(0)18	Elevation C Proposed 1/100 – Rev. D
(0)19	Elevation D Proposed 1/100 – Rev. D
(0)20	Geometry of Roof Canopy 1/100 – Rev. C
(0)21	Axonometric Studies N/A – Rev. A
(0)22	Roof Playground Perspective