

TIBBATTS • ABEL

Design & Access

135 Finchley Road, Hampstead,
London, NW3 6HN
Job No. 1600

Planning consent for Replacement of new style glazing at front facade
on behalf of **135 Finchley Road Ltd.**

1. INTRODUCTION.

1.1 This Statement has been prepared to accompany the planning application in regards to the refurbishment of 135 Finchley Road. There will be an internal revamp of the premises changing the business from an old disused nightclub to a restaurant. The purposed of this application is for the replacement of new style windows.

1.1.1 Tibbatts Abel has been appointed by 135 Finchley Road Ltd to carry out a design for the new glazing feature for 135 Finchley Road.

The work proposed is to replace an existing old glazing unit with its metal vertical design frames and install and new modern aluminium frame double glazed unit with low e glass for sun shade and control.

Current existing building with its old style glazed frontage



2. SITE AND SURROUNDINGS

The new Restaurant (formerly D Den Legacy Nightclub), is on 135 Finchley Road in Hampstead, London right by Swiss Cottage tube station. The building is clad in marble and the windows have a goth style vertical frame design which need repairing but the client has decided to replace them with new style windows



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Location Plan

Scale 1:1250

3. PLANNING HISTORY.

- AWX0103204** Advertisement Consent, 135 FINCHLEY ROAD LONDON NW3 6JH
Display of three internally illuminated fascia signs
Grant Approval for Advertisement 01-05-2001
- H7/10/A/35251** Historic Planning Application, 135 FINCHLEY ROAD LONDON NW3 6JH
Erection of a link bridge on the front elevation and installation of a louvred panel at rear.
Conditional 02-02-1983
- 9500105** Full planning inc Councils Own, 135 FINCHLEY ROAD LONDON NW3 6JH
Change of use of the lower ground upper ground and first floors from a bank within Class A2 of the Town and Country Planning (Use Classes) Order 1987 to a cafe/bar within Class A3
Grant Full or Outline Perm. with Condit. 11-05-1995

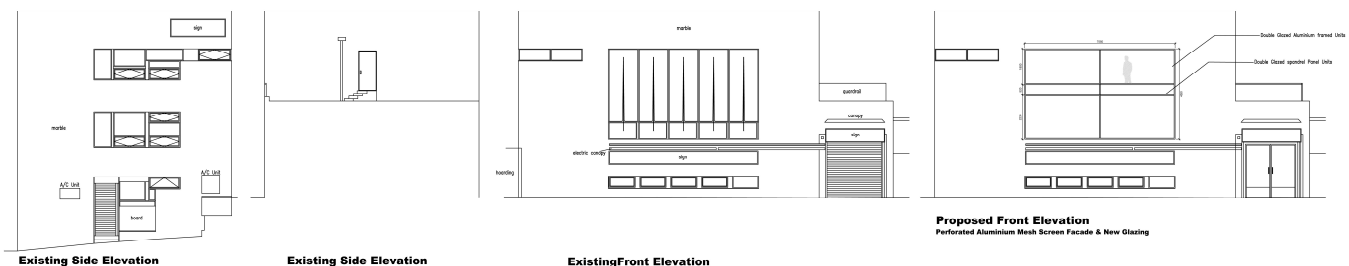
4. DESIGN & ACCESS STATEMENT

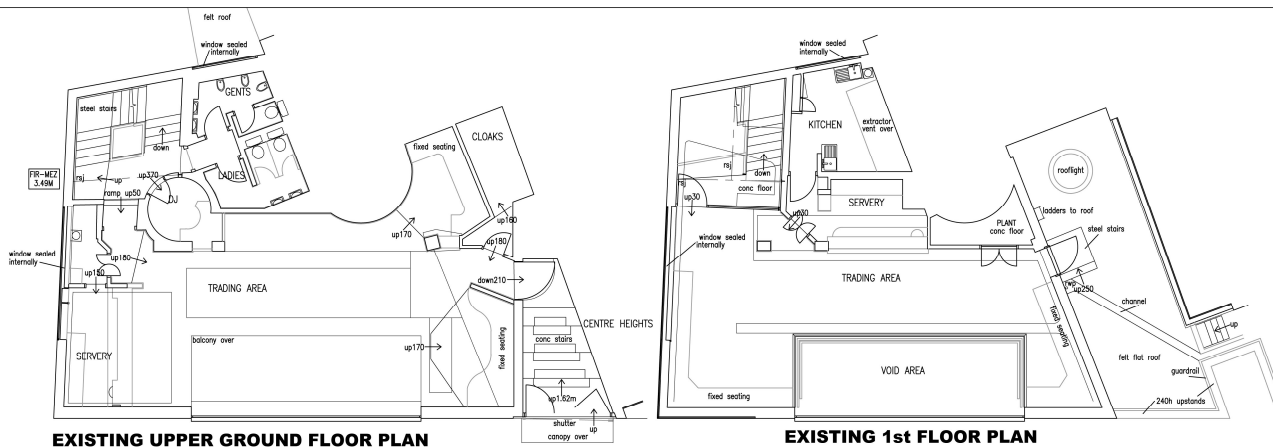
Design Rationale

- 4.1 The design rationale for the development seeks to refurbish the tired exterior of the premises and bring it up more up to date with its business by making the current glazed façade more modern and remove the existing metal features and glazing that is in need of repair.

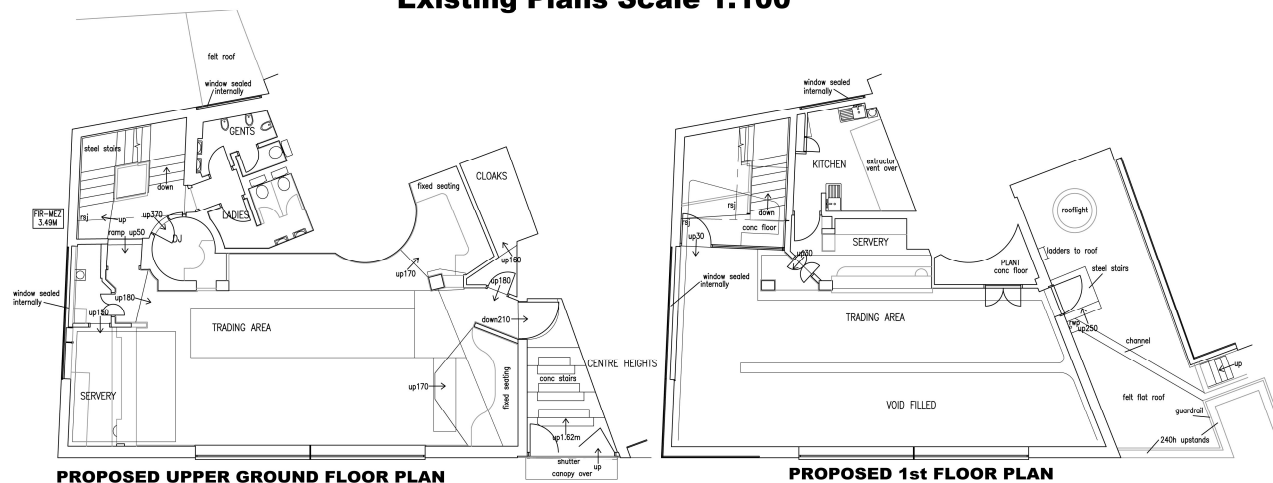
Design

- 4.2 The proposal is to revamp the existing exterior. There will be demolition works to remove the existing glass with the guidance of a Health and safety and structural engineer to incorporate new glass elements in place for stability. The change will bring a much needed new glazed facade with better views from the restaurant for the customers with Low E glazing for energy efficiency.





Existing Plans Scale 1:100



5. PLANNING POLICY & GOVERNMENT GUIDANCE

National Planning Policy Framework

5.1 The National Planning Policy Framework was published in March 2012. At the heart of the NPPF is a presumption in favour of sustainable development, jointly seeking economic, social and environmental gains. Key goals include creating jobs, fostering communities and improving design. Development proposals that accord with the development plan should be approved without delay. Paragraph 17 sets out the core land-use planning principles, including to:

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- Proactively drive and support sustainable economic development;
- Seek high quality design and a good standard of amenity;
- Deliver sufficient community and cultural facilities and services to meet local needs.

Part 7 requires good design to achieve high quality and inclusive places which function well, establish a strong sense of place, use the site efficiently, respond to local character and are visually attractive.

Part 8 promotes healthy communities through the provision of community facilities, such as licensed premises that provide opportunities for members of the community to meet.

6. CONCLUSION

- 6.1 This statement is submitted in support of a proposal to improve the premises practical function but to also enhance its appearance.
- 6.2 The external alterations have been designed to create a glazed facade for the premises and to have a sense of energy efficiency for the premises as well as aesthetics.
- 6.3 The proposed development is for replacement of a tired glazed frontage in need of repair and replacements with improved alterations on the glazing would be considered acceptable in all aspects such that planning permission should be granted.