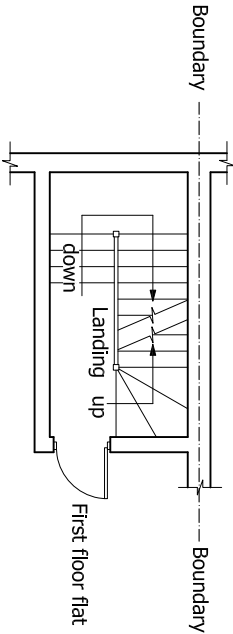


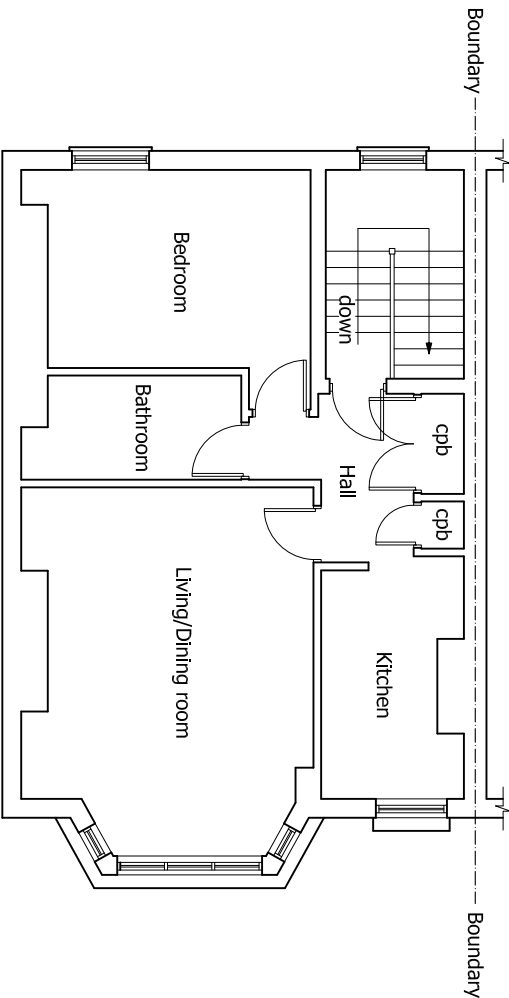
EXISTING AND PROPOSED GROUND FLOOR PLAN

scale 1:100



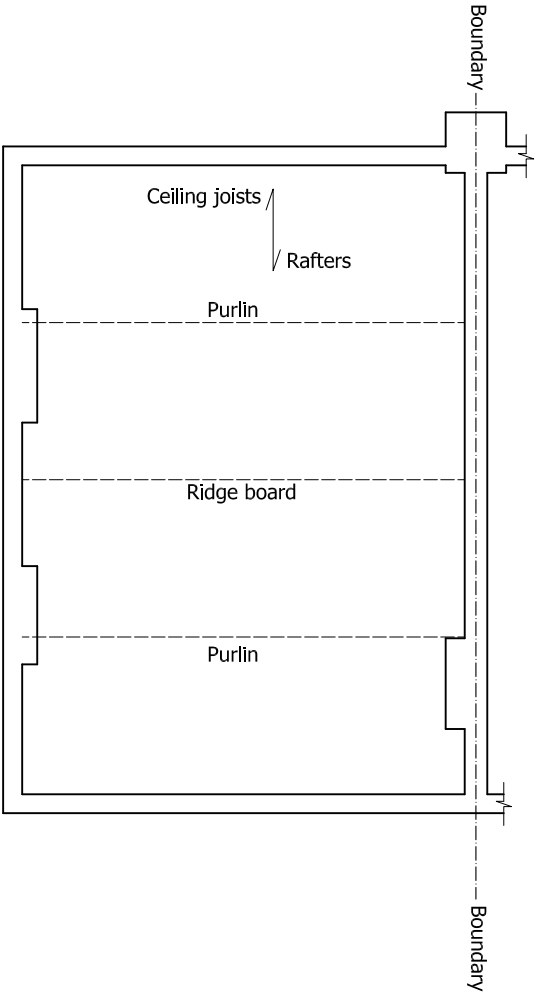
EXISTING AND PROPOSED FIRST FLOOR PLAN

scale 1:100



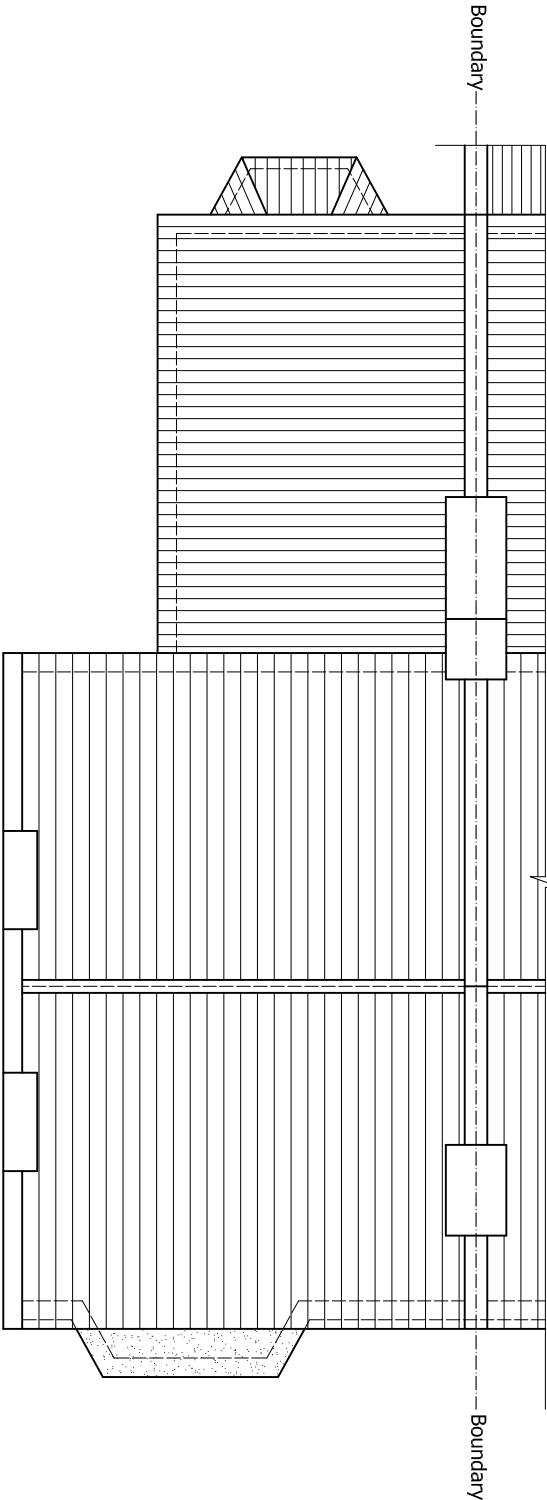
EXISTING SECOND FLOOR PLAN

scale 1:100



EXISTING ATTIC FLOOR PLAN

scale 1:100



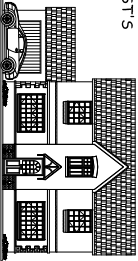
EXISTING ROOF PLAN

scale 1:100

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DRAWING STATUS	CONSTRUCTION
REV.	DATE
NAME	DESCRIPTION

DISCOUNTPANS LTD
PLANNING AND DESIGN SPECIALISTS
HEAD OFFICE
68 RAGLAN AVENUE
WALTHAM CROSS
HERTFORDSHIRE
EN8 8DD
07838135957



- GENERAL NOTES:**
1. Ensure that all working drawings and calculations are approved by Building Control or Planning Department prior to commencement of building works.
 2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from building control in writing.
 3. Verify boundary lines & ground conditions including checking positions of all gas, electrical, water & sewerage pipes, and any other services, before commencing work. The client is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership, even if drawings have been approved by the homeowner/contractor.
 4. DPL are not responsible for building changing building methods from proposed works. The client is responsible for obtaining all necessary permissions and approvals from the relevant authorities.
 5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
 6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 metres of adjoining buildings.

7. Where works involve demolition to ensure that all elements of the building and its contents are accounted for and that all necessary propping and temporary supports are in place.
8. Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (all DPL drawings must be approved before works commence)
9. Structural building without planning approval, planning & building control approval is illegal and may result in prosecution.
10. All of DPL structural designs are subject to footings being 1m deep, if however the client requires a shallower foundation type and building control will need to advise on a different method of construction.
11. All wall/s which have been designed to be removed on plans are to be checked on site by building control inspector/builder for load bearing or non-load bearing status before removal. If non-load bearing then steel's should not be ordered. No refund or claim can be given against DPL on the design/materials charged for these steel's.

- PLANNING NOTES:**
1. All new proposed roof and wall finishes on this drawing to match existing materials.
 2. All new proposed skylights shown on this drawing will be designed not to protrude more than 150mm above the existing roofline.
 3. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing.
 4. For a permitted development lot design the dormer on this drawing to be a confirmation that it is not a permitted development.
 5. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

PRINT @ A3 SHEET SIZE

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SITE ADDRESS	10C SAVERNAKE ROAD, HAMPSTEAD, LONDON, NW3 2JP
DRAWING TITLE	EXISTING DRAWINGS
DRAWN AT	HEAD OFFICE
SCALE	QS Shown @ A3
DATE	13. JUL. 2015
REVISION	

DPL.01.

A