



Alexandra Road Estate

Rowley Way Flat 27A

Design & Access Statement

August 2015

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Introduction



Section 01

Introduction

This Design and Access statement has been produced by Levitt Bernstein, on behalf of Camden Council, as part of a Listed Building Consent application for flat 27A in the Alexandra Road Estate.

The current application

This application provides a detailed description of the proposed works to flat 27a in the Alexandra Road estate.

The application describes limited works to the existing bathroom as requested by Camden Occupational Therapy Services (OTS). This upgrade will allow the dwelling to fulfil the occupants needs whilst causing minimal alteration to the nature of the existing building.

This document forms part of the 'Application for a Certificate of Lawfulness of Proposed Works to a listed building' and should be read alongside the following material:

- Location Plan Drawing
- Existing/Proposed Plan Drawing
- OTS Adaptation Request form
- Application form
- OTS Specification of Works

Section 02

02

Analysis

The Alexandra Road Estate

The quality and importance of the estate has been widely recognised both in England and abroad. It is a powerful icon of the optimism and idealism that underpinned post-war public sector architecture.

Statement of Significance

The Alexandra Road Estate is a residential estate of 520 dwellings in Camden, NW8. The majority of the estate was listed Grade II* in 1993, the remainder now falling within the Alexandra Road Conservation Area, designated in 1996.

Designed in 1968 by Neave Brown of the London Borough of Camden Architects Department and built between 1972-78, the estate is among the most ambitious social housing schemes of this time, one of a series of low rise, high density schemes.

The street is the dominant element in the design, a modern translation of the traditional London street where the sum of the whole exceeds the individual parts. The linear, stepped section, influenced by Leslie Martin's work, by Denys Lasdun at the University of East Anglia (1962-68) and by Patrick Hodgkinson at the Brunswick Centre (1967-72), enables all dwellings to have a sunny outdoor space and the seven storey A block shields the estate from the noise of the railway line to the north.

The estate also represents a development of Brown's earlier work in private practice, for housing societies at Winscombe Street and Fleet Road. Though much smaller, these too were essays in high-density developments of stacked dwellings and the considered sequencing of spaces from public and semi-public to private and semi-private.

Internal features

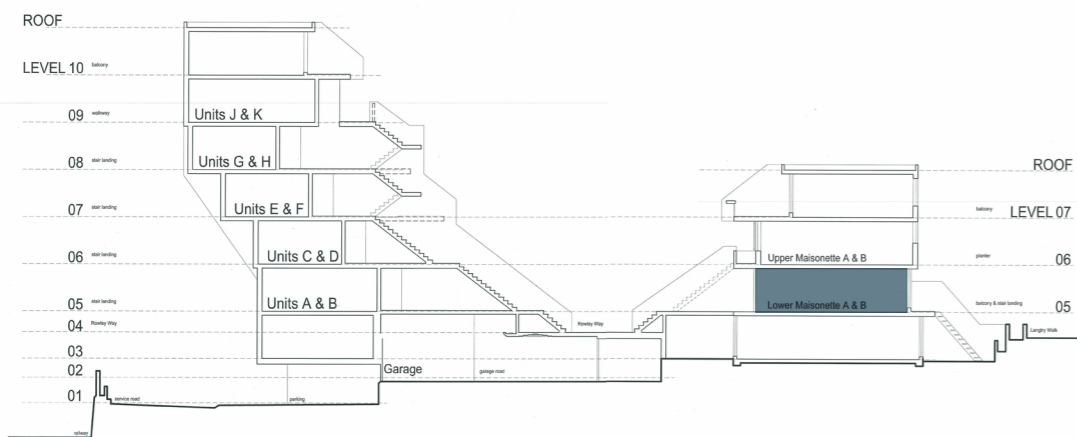
The estate contains a number of different dwelling types, all sharing a similar approach and a number of key features. The high density of the estate led to tight interior layouts, mitigated by open plan elements. Sliding doors and glazed partitions allow flexible arrangements, with the potential for views and light to pass through each dwelling.

The proximate relationship of public and private is eased by porches, decks and planting.

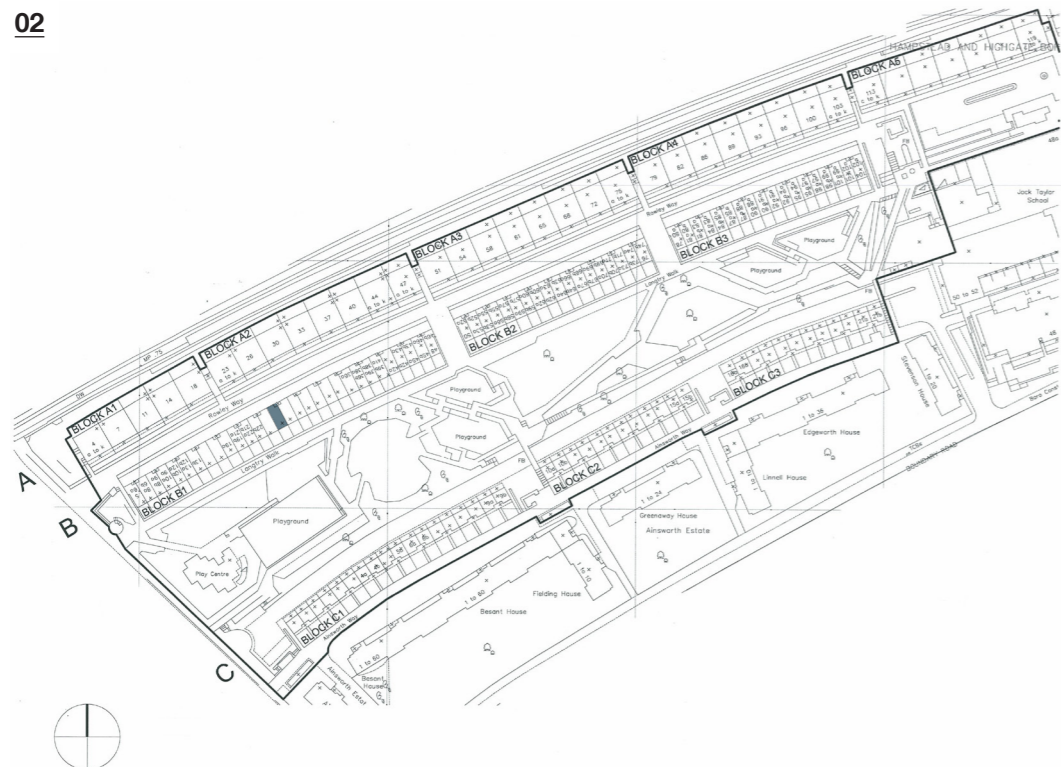
Finishes are restrained, white paint contrasting with stained timber and brown tiling. Simple joinery shelves and cupboards are formed from plywood, while the stairs are a more developed piece of joinery work. In the kitchens, concrete worktops form a striking, almost sculptural element. These are tiled, as are the walls, forming a very deliberate composition.

The number of bespoke elements is unusual in authority-built housing, and the level of ambition has led to some long-term issues. The tiled surfaces, for example, the best that could be done with the budget at the time, are now missing tiles, with the grout hard to clean. The sliding partitions are prone to stick and fail. These elements will have to be mended or replaced, as appropriate.

01



02



Key:

■ Flat Location

01 Cross section
02 Location plan

The B4 Flat Type

This maisonette dwelling is situated on level 05 of Block B.

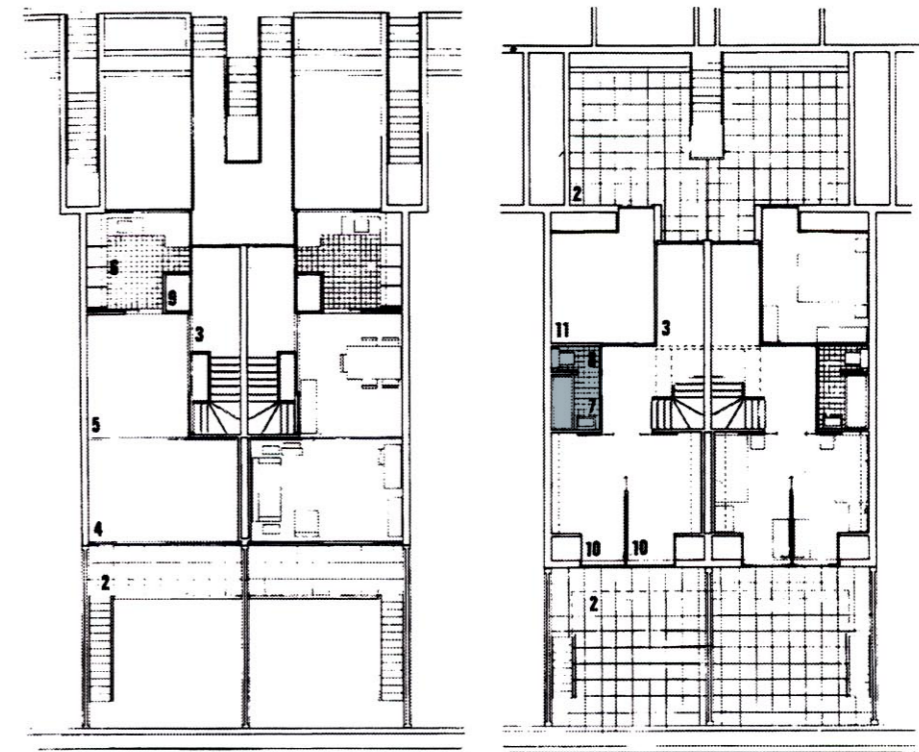
Type

This is a duplex arrangement with three bedrooms. The upper, entry level contains a large kitchen/dining separated by sliding doors from the lounge area. There is an internal stair that takes you down to the three bedrooms, bathroom and WC. Two of the bedrooms are separated by a partition which can be fully extended to completely separate the rooms or pulled back to semi-open the spaces to each other giving a level of flexibility. All bedrooms open to the front and rear terrace and can also be accessed externally via stair from the lounge.

Bathroom Layout

The Bathroom design shows a clear, well-ordered concept, with a limited, complementary range of robust materials and an innovative heated wall.

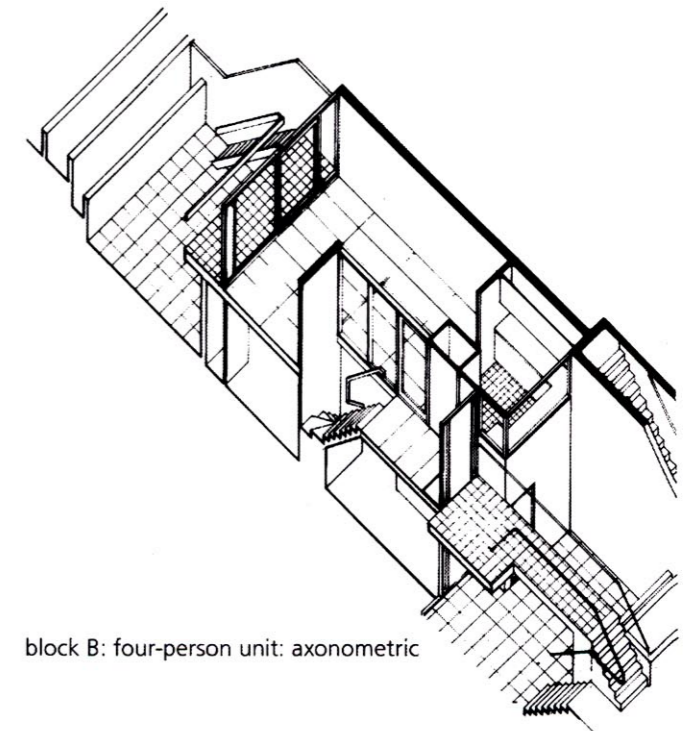
However, by modern standards there is very little room for a disabled occupant and this proposal seeks to address this whilst preserving the nature of the original design.



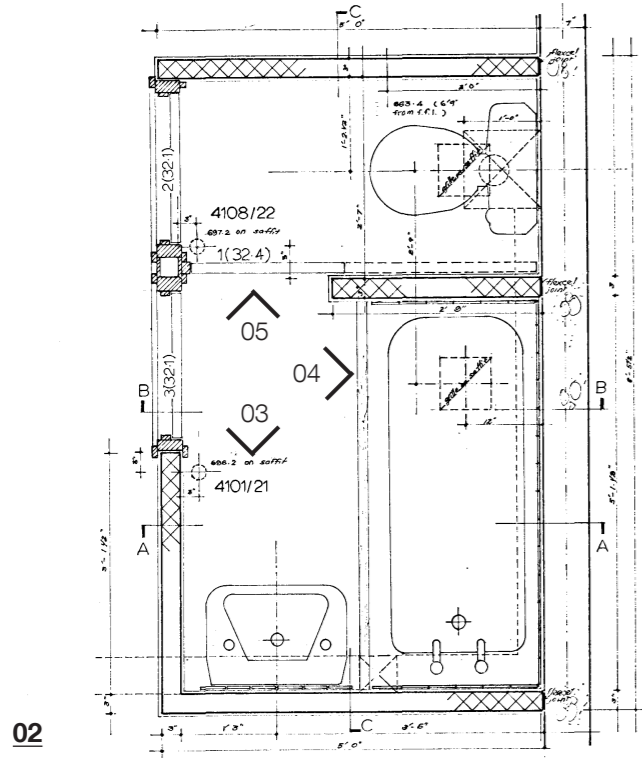
block B: four person unit
upper floor plan

lower floor plan

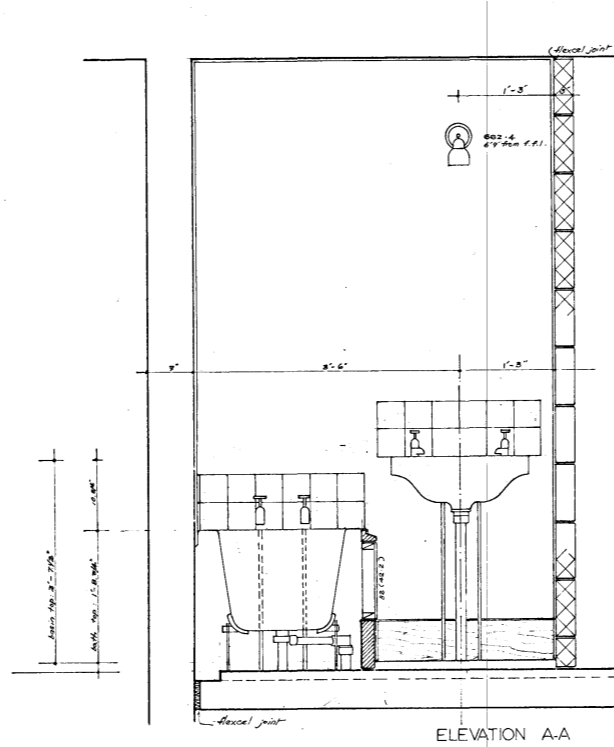
- Key to plans
- 1. walkway
 - 2. terrace
 - 3. entrance
 - 4. living
 - 5. dining
 - 6. kitchen
 - 7. bathroom
 - 8. wc
 - 9. utility store
 - 10. bedroom 2
 - 11. bedroom 1
 - 12. dressing room



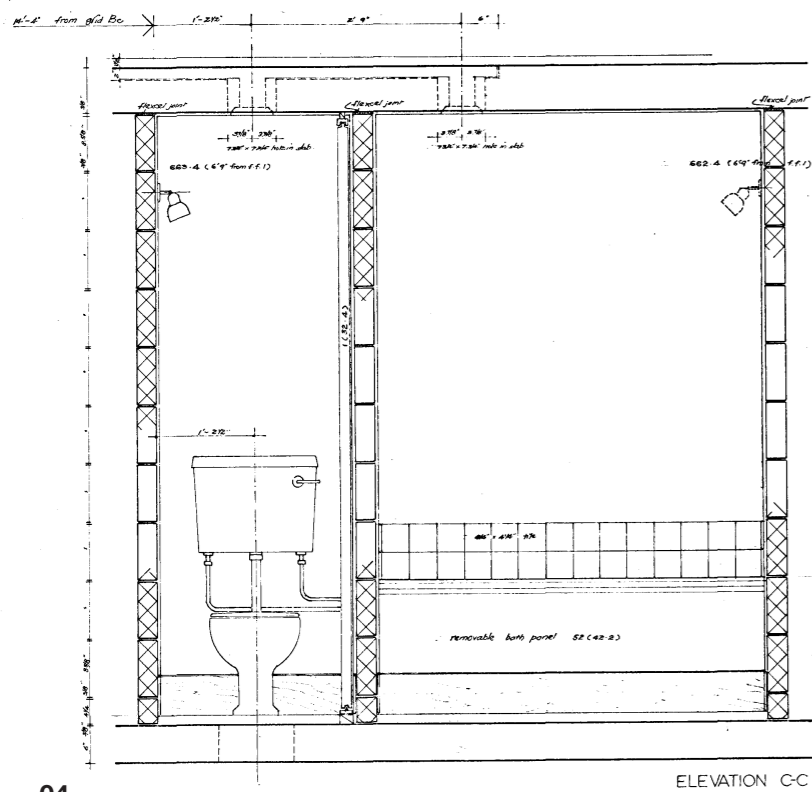
block B: four-person unit: axonometric



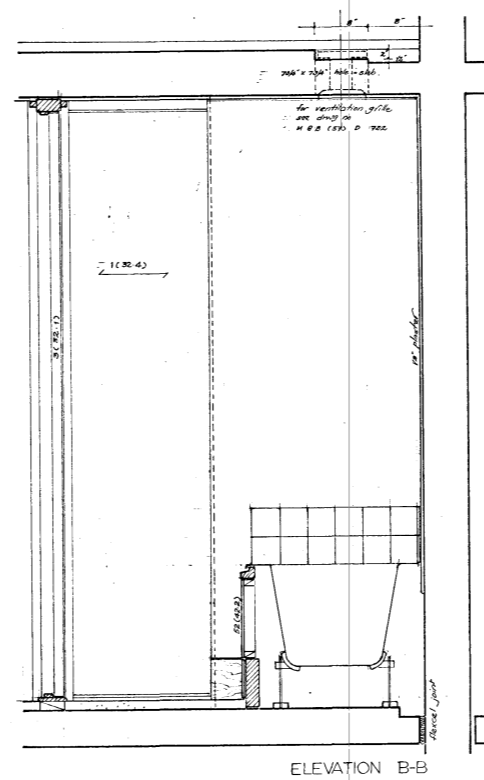
02



03



04



05

- 01 Plans and axonometric
- 02 Bathroom Plan
- 03-05 Bathroom elevations

Section 03

03

Proposed Works

Design Approach

The proposed works are limited to the Bathroom/WC and involve the removal of the bath and replacement with a level access wet floor shower.

Use, scale and layout

There are no proposed changes to the use, scale or layout of the dwelling.

Access and Inclusive Design

There are no proposed changes to transport provision or the external approach to the dwelling. It is not proposed to change the dwelling itself, beyond refurbishment and alteration to the bathroom.

Camden Occupational Therapy Service have deemed the proposed adaptations essential in order for the occupant to live as independently as possible.

Approaches to existing elements

The majority of the original bathroom and its key features are retained. Subsequent elements and finishes will be removed, to replace with materials and modern appliances which fulfil the requirements of the occupant.

The design seeks to minimise the alteration to the nature of the existing building however some unavoidable features remain such as:

- There is insufficient space to retain the bath and provide for a level access shower. The bath is currently leaking and its removal will ensure that no further damage to the building's structure occurs.
- The original bath could be retained in the residents store for future use however it is corroded and damaged so may be unsuitable.
- The proposals are sensitive to the heated wall which is a feature of the original design. No fittings are permitted on this wall and the provision of a false stud wall allows the shower to be installed without affecting the heating system at present or in the future.
- All designs allow future occupants to return the bathroom to its full original design .

Section 03

Current condition

The current condition of the bathroom is considered below.

Bathroom:

- Existing bath is corroded and damaged.
- Existing, non-original tiles to be removed and replaced with new.
- Original Architraves to be retained
- Existing wash hand basin is to be retained but may be re-positioned to ensure adequate shower space (CHECK).



- 01-02 Existing Bath
- 03 Original Architrave
- 04 Retained Hand Basin

Scope of Works

The Scope of works below is to be read in conjunction with the attached Specification of works produced by Camden Housing Repairs Service.

Element	Works	Specification notes
1.0 Walls		
1.1 False Wall	Form new stud false wall	3 no. map vents at top to distribute in wall heating – do not fix to flank heated wall.
2.0 Bathroom Fixtures		
2.1 Existing bath	Remove existing bath, complete with supplies & wastes & dispose.	Review suitability for retention and storage for future use.
2.2 Proposed shower	Supply & fit a new Mira “Advance Flex” thermostatic electric shower unit complete.	Set at maximum 43 degrees Celsius, with lever type control. Run new mains water connection, and electrical supply, pipe work and cable, to include all necessary fittings, isolating valves and double check valves, to comply with current regulations. The head must be detachable on a 1000mm extended riser bar, and with a 1500mm flexible hose, handset, and soap dish as per OT drawing / instruction.
2.3 Shower electricity supply	Provide new electrical supply to shower	Provide new electrical supply to shower, concealed in the shower area and surface mounted in mini trunking elsewhere. The supply will be on a fused spur RCD, suitably rated MCB, via a double pole switch. Earth bond in the bathroom as necessary. All electrical work to fully comply with current 17th Edition IEE Regulations.
2.4 Shower seat	Supply & fit AKW standard width wall mounted shower seat.	Supply & fit shower seat as per plan/elevation drawings.
2.5 Shower curtain rail	Supply and fit a shower curtain rail,	Fit 100mm inside of the edge of the shower former, as shown on the drawing, and FIT TWO full length weighted shower curtain just touching the floor.
2.6 Wall mounted grab rails	Grab rails	Supply and fix 2 no. slip resistant grab rails, in shower area as shown on the drawing / OT instruction.

3.0 Tiling

3.1	Bathroom/WC tiling	Remove non-original tiling in bathroom and WC, replace with new tiling to match original.	Remove all existing wall tiles. Square, matt white 150mm x 150mm ceramic wall tiles to be selected, with white waterproof grout. Tile in the new shower room, full height on walls as indicated on plan and finished at exposed edges.
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4.0 Shower tray

4.1	Shower tray preparation	Prepare floor screed to receive shower tray	Remove floor screed to form recess to receive shower tray & waste, in preparation for Altro flooring.
4.2	Shower tray	Supply & fit the following, to manufacturer's instructions	Impey level dec shower former – 800mm x 1500mm.
4.3	Waste pump	Supply & fit the following, to manufacturer's instructions	Gravity waste or PGTF shallow waste and shower waste pump

5.0 Painting and decorating

5.1	General refurbishment	Clean and repaint all walls, doors and ceilings.	Offer client a choice of standard colours (MAGNOLIA / WHITE)
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6.0 Floor coverings.

6.1	Existing floor coverings	Strip flooring.	Take up & cart away existing floor covering. Prepare for new coved anti-slip Altro floor covering.
6.2	Proposed floor coverings	Supply and fit vinyl floor covering with 100mm coving.	Prepare the floor, latex, and supply and fit slip resistant Altro AQUARIOUS slip resistant vinyl floor covering complete with 100mm coving throughout the entire shower room. Client should be offered a choice of standard colours. Fit a screw down aluminium threshold strip at the doorway.
6.3	Floor covering to shower tray	Altro strip in the shower area.	Fit Altro strip in the shower area, to take tiles to above and vinyl below. Fit Altro strip to take vinyl flooring throughout shower room.

7.0 Lighting

7.1	Light fitting	DIY light to be removed and replaced with fully enclosed steam-proof light.	Supply & fit fully enclosed steam-proof light. Repair any damage from fixings.
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Status
Listed Building Consent
Revision
P1

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2504
File name
D&A Statement

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Client
LB Camden