

The property shown on a map of Dartmouth Park, 1870

## Contents

- 1.0** Introduction
- 2.0** Context and History
- 3.0** Use
- 4.0** The Proposal
- 5.0** Design and Materiality - Pub
- 6.0** B&B Accommodation
- 7.0** Precedents - New Building
- 8.0** Design and Materiality - Flats
- 9.0** Facade Studies - Flats
- 10.0** Final Facade Design
- 11.0** Lifetime Homes Standards
- 12.0** Further Considerations
- 13.0** Response to the NPPF
- 14.0** Conclusion



View from existing courtyard from above

# 1.0 Introduction

## 1.0 Introduction

This pre planning report has been prepared by The WMG Design Studio Ltd, in support of a planning application at The Bull and Last Public House, 168 Highgate Road, London.

### 1.1 Pre Planning Advice December 2014

Following submission to Camden Council in September 2014 for pre planning advice, the scheme was reviewed by the Council.

The response from Camden was generally supportive of the scheme with suggestions that the new side extension be reduced in height and width to maintain a gap between the Pub and 2 Woodsome Road, consistent with the street pattern.

### 1.2 2<sup>nd</sup> Pre Planning Submission March 2015

A second round of pre planning advice was submitted to the council in March 2015 with specific attention paid to the new structure that would house the two dwellings.

The mass and scale of the new extension was reduced in size to ensure it was subservient to the main building and consistent with the proportions of a rear extension. Details of the proposed facade designs were also submitted, with 5 design options considered.

The response from Camden was very positive with the conservation officer happy with the overall design and the planning officers satisfied that the mass and scale of the new block were appropriate for the site.

Following the advice provided by Camden, a revised, reduced scheme has now been developed which is detailed in this report.

## 1.3 Supporting Information:

As required by the Council, as part of this planning application a series of supporting documents have also been submitted as part of the planning application. These documents have been completed taking into account Camden's Core Strategy, Development Policies, Planning Guidance and The Dartmouth Park Conservation Area Appraisal and Management Statement 2009. The supporting documents submitted as part of the application are as follows:

Report Type	Consultant	Report Name / Reference
Basement Impact Assessment (BIA)	Michael Alexander Consulting Engineers	P3075 Basement Impact Assessment
Soil Tests to support the BIA	Geotechnical and Environmental Associates Limited (GEA)	2227_J15145 - The Bull and Last PH
Noise Impact Assessment & Internal Fabric details	KP Acoustics	12512.NIA.01 / 12512.150713
Sustainability Statement	Bluesky Unlimited	Sustainability Statement 1st June 2015
Floor Risk Assessment	Evans Rivers and Coastal Ltd	1466/RE/01



View of the building from Highgate Road



View of the building from Woodsome Road



View of the building from Woodsome Road

# 1.0 Introduction

## 1.4 The Site and Proposal

The Bull and Last is a historic building that sits on the corner of the busy Highgate Road and Woodsome Road. The proposal includes refurbishment and extension of the Pub into the basement and roof levels, with the addition of B&B facilities in the upper levels of the building. The refurbishment of the facilities also involves the demolition of the existing kitchen and toilet block to the side of the building. These facilities will be relocated into the basement of the pub to allow for two new duplex flats on the site.

This report looks at the proposed development in relation to the surrounding properties and site constraints.



Aerial View



Basement storage



Existing basement stair



Rear Courtyard



Main Bar



First Floor Bar



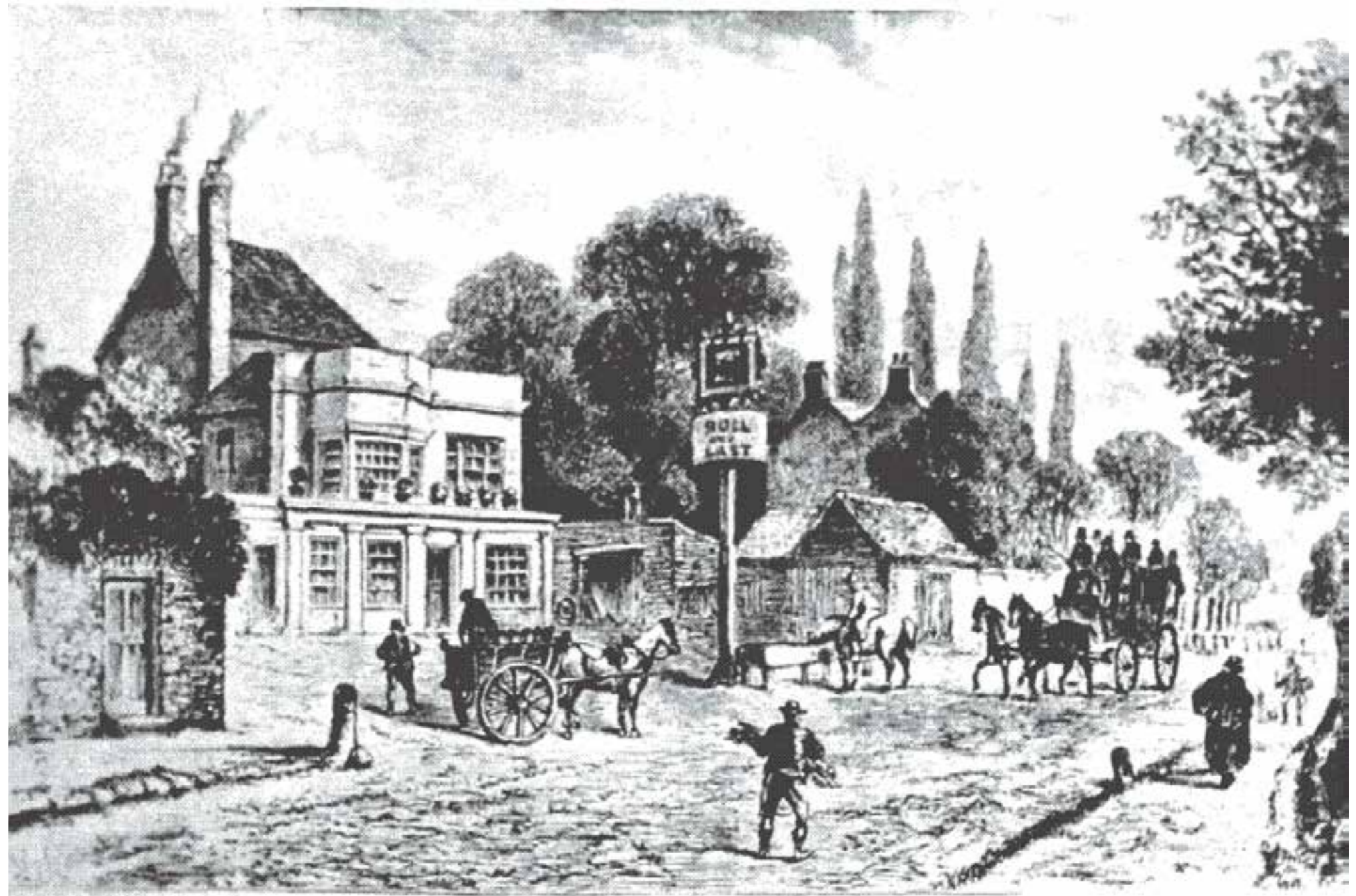
2nd Floor Accommodation

## 2.0 Context and History

### 2.0 Context and History

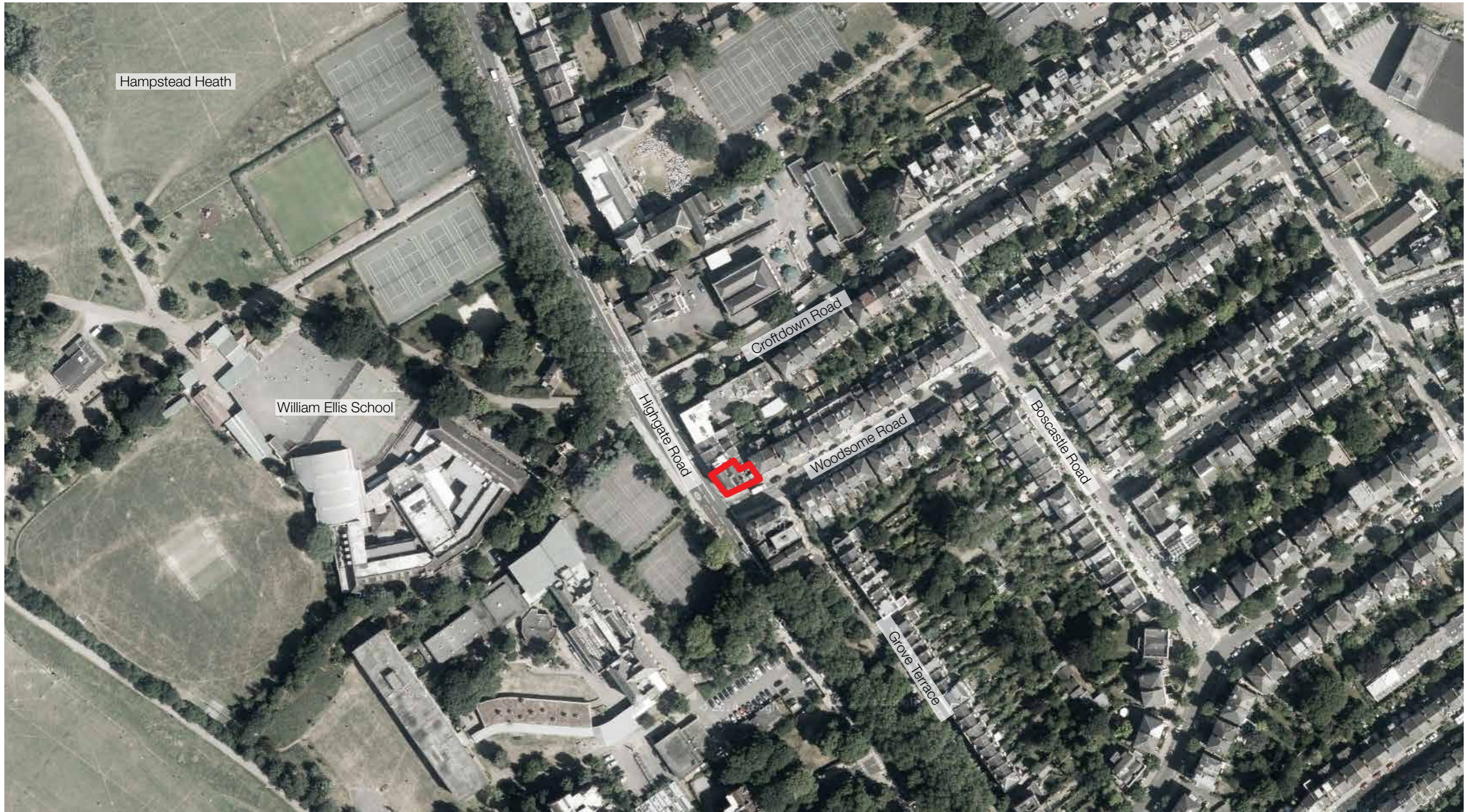
The Bull and Last is first mentioned in 1759. At that time a footpath ran from the rear of the pub to Highgate. Woodsome Road now covers the first section of the path. It is a public house that appears in the Sessions Rolls of 1721 and was rebuilt in 1883. It was one of the coaching inns on the route north from London. It continues to be a public house and is prominent on the corner with Woodsome Road with a fascia and details of pilasters, fine Composite capitals, corbels, a projecting cornice, stucco details and metal gargoyle lamp holders.

The building sits within the Dartmouth Park Conservation area, although it is not listed it is marked as giving a positive contribution to the character and appearance of the conservation area



The "Bull and Last," c. 1820





Aerial View

## 3.0 Use

### 3.0 Use

The building is currently used as a public house with the main bars / dining spaces on the ground and first floors. Staff accommodation is located on the second floor with ancillary facilities located in the basement.

The upper level and basement of the building are in a poor condition and in need of renovation to bring the facilities up to current standards.

### 3.1 The Basement

There is currently restricted access into the basement (where there is a beer and food storage area), as this is only accessible via steep and narrow staircase from ground floor level. There is also limited head-height in this space with just over 1.9m in some spaces. This restricted access poses problems for the operation of the pub and health and safety issues for the staff.

### 3.2 The Ground floor

The ground floor serves as the entrance to the pub and main bar area, to the rear of the building is the kitchen and public toilets.

### 3.3 Rear alleyway

This alleyway serves as the main point of entry for deliveries and bin storage, via a ramped access path that leads onto Woodsome Road. This space is semi enclosed with a plastic roof, but because of the limits on space within the kitchen, the alleyway is also used as an additional area for lunch and dinner preparation.

### 3.4 First floor

The first floor houses an additional dining room, bar area and toilets. A storage shed and beer storage area accessible via the adjacent flat roof also sits on this level between the main pub building and the rear alleyway.

### 3.5 Second floor

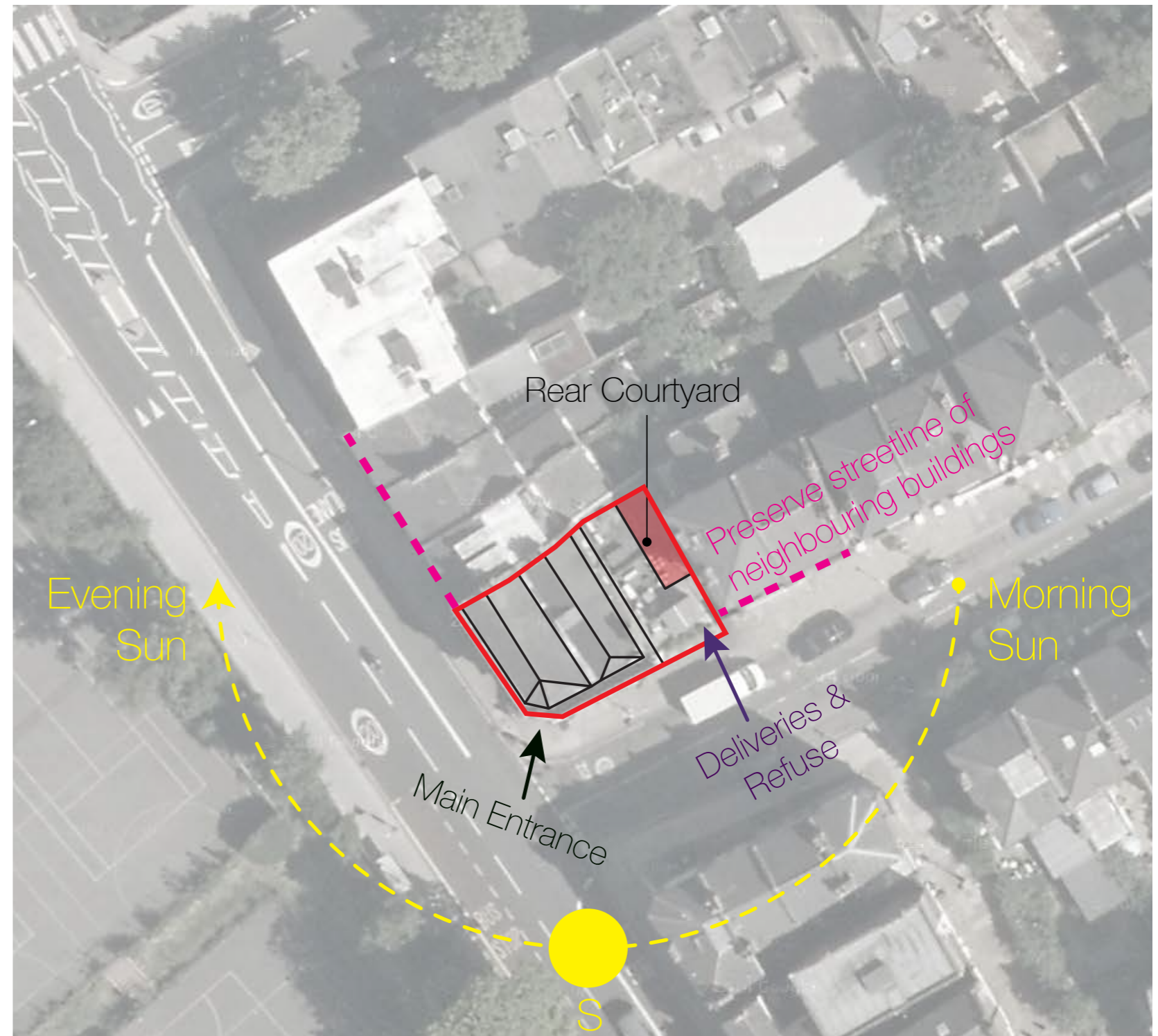
The upper level is currently used as accommodation for live in staff. The facilities are in a poor state of repair with the building recently suffering from flooding from the roof.



The rear alleyway

### 3.6 Existing Site Constraints:

- Main building is South facing
- Prominent corner plot means the building is a local landmark
- Properties on either side mean restricted access to the rear of the site
- Strong building lines of adjacent properties along Woodsome Road & Highgate Road
- Refuse / deliveries to the pub currently through side access on Woodsome Road and then down staircase into basement



Site Constraints Diagram

## 4.0 Proposal

### 4.0 The Proposal

The proposed development seeks to expand and improve on the quality of the Pub, whilst also preserving the character of the building. The facilities of the Pub will be consolidated into the main building, freeing up the rear alleyway and single storey side extension to be redeveloped into two new dwellings to benefit the local area and offer private housing.

### 4.1 The Basement

The rear alleyway access route and kitchen facilities on the ground level shall be relocated into the basement area, which shall be extended and lowered to allow for greater use and comfort. Staff rooms, toilets and an access lift with direct access from the street (for deliveries and refuse collection) will also be added to the Basement. The staircase serving the basement shall also be replaced and improved to bring it up to modern standards.

### 4.2 The Ground floor

The main dining room and bar area of the building, which is of historic importance, shall be retained and remain unchanged. The rear of the building which housed the kitchen and toilet facilities shall be demolished to make way for the new dwellings, with these facilities relocated into the basement. Neither of these structures are considered to be of architectural merit.

### 4.3 First floor

The first floor layout will remain unchanged with the character features of the building preserved.

### 4.4 Second and new third floor

The staff accommodation on this level shall be removed and replaced with 4 private en-suite bedrooms and ancillary facilities to function as a B&B for the Pub.

The roof of the building shall be also be altered to allow for an additional storey offering two additional bedrooms, serving as bedrooms for the proposed B&B. The new roof extension is discussed later in this document.

### 4.6 The new dwellings

The rearrangement of the facilities on the ground floor into the basement means part of the site can be used for the creation of two new dwellings. The dwellings shall be arranged over four storeys although the overall height of the building will still appear as a two storey structure as suggested by Camden Council's pre planning response.

Both new dwellings will be two bedroom duplex flats which comply with the area requirements set out in the London Plan. The dwellings will also comply with the lifetime homes standards.

Further details of the description of development and architectural design of the Proposed Development is set out in the drawings supplementing this report and later in this document.

### 4.7 Area Summary:

Floor	Area (m <sup>2</sup> )	
	Bull & Last Pub	Unit A      Unit B
Basement	106.1m <sup>2</sup>	64.3m <sup>2</sup>
Ground	102.8m <sup>2</sup>	32.0m <sup>2</sup> 3.2m <sup>2</sup>
First	102.7m <sup>2</sup>	35.4m <sup>2</sup>
Second	102.2m <sup>2</sup>	29.4m <sup>2</sup>
Third	47.9m <sup>2</sup>	
<b>SUB-TOTAL</b>	<b>461.7m<sup>2</sup></b>	<b>96.3m<sup>2</sup>    68.0m<sup>2</sup></b>
<b>TOTAL</b>	<b>626.0m<sup>2</sup></b>	



View of the existing alleyway and roof storage



View of the existing valley roof



View of the existing alleyway

## 5.0 Design and Materiality - Pub

### 5.1 Extent of Changes

The proposal aims to sympathetically respond to the existing building and its immediate context.

### 5.2 Roof Extension

The roof extension shall be hidden from street view. The overall volume of the main building will not be greatly altered, and it is felt that the roof extension of the building will not have an adverse affect on the area as it is hidden from street view. This view was also supported by Camden Council in their pre planning response

### 5.3 Pub Facade

The main facade of the public house shall remain largely unaltered and preserved, with a few minor alterations. The portal window of the main building along Woodsome Road shall be converted into a doorway to allow for a secondary access point for the pub building.

### 5.4 Access Hatch to Basement

There is evidence to support the existence of a previous access hatch to the basement from an entry point along Woodsome Road (see photo opposite). As part of the proposals this hatch shall be reinstated to allow for refuse, deliveries and fire escape from basement level.

### 5.5 Side Structure

The 1/2 storey structure along Woodsome Road which houses the kitchen and toilets shall be demolished. It is felt that this structure holds little architectural merit. The demolition of these structures will allow for the construction of a new building which will house two new dwellings.

Evidence of a previous access hatch,  
pavement concreted over



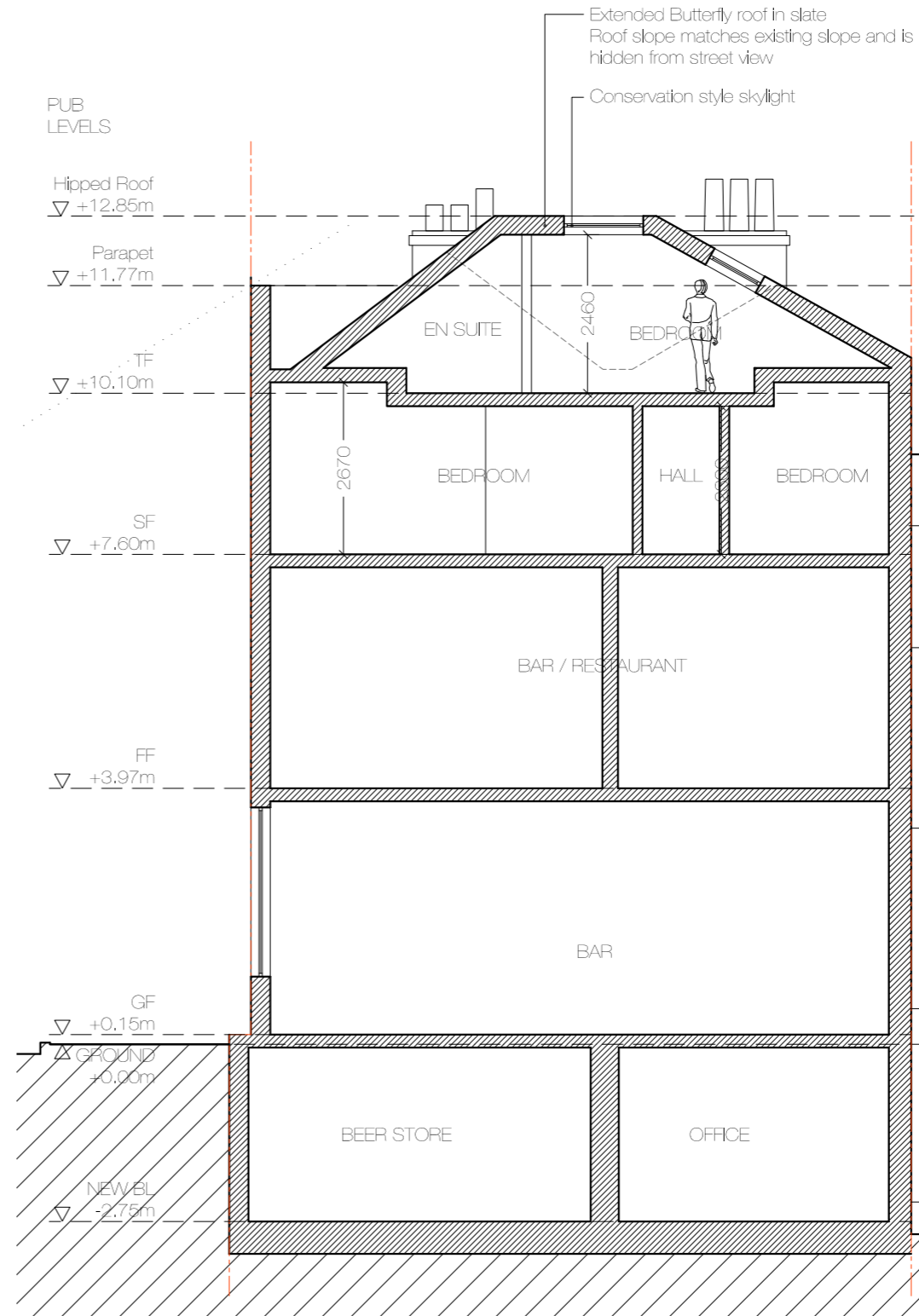


Elevation of the Pub along Woodsome Road, showing changes to the facade

# 5.0 Design and Materiality - Pub

## 5.6 Pub Roof Extension

The existing roof of the main building is based on two small pitched roofs with a valley in between. The proposal aims to maintain the original external slope of the roofs but to infill the valley space to create additional habitable space. The proposed roof design has a minimal impact on the streetscape and has been designed so that it is concealed behind the existing parapet roof. To ensure the roof space is habitable, the floor of this new level shall be lowered to allow for sufficient headheight, new conservation style skylights will also be inserted to allow light into the new spaces.

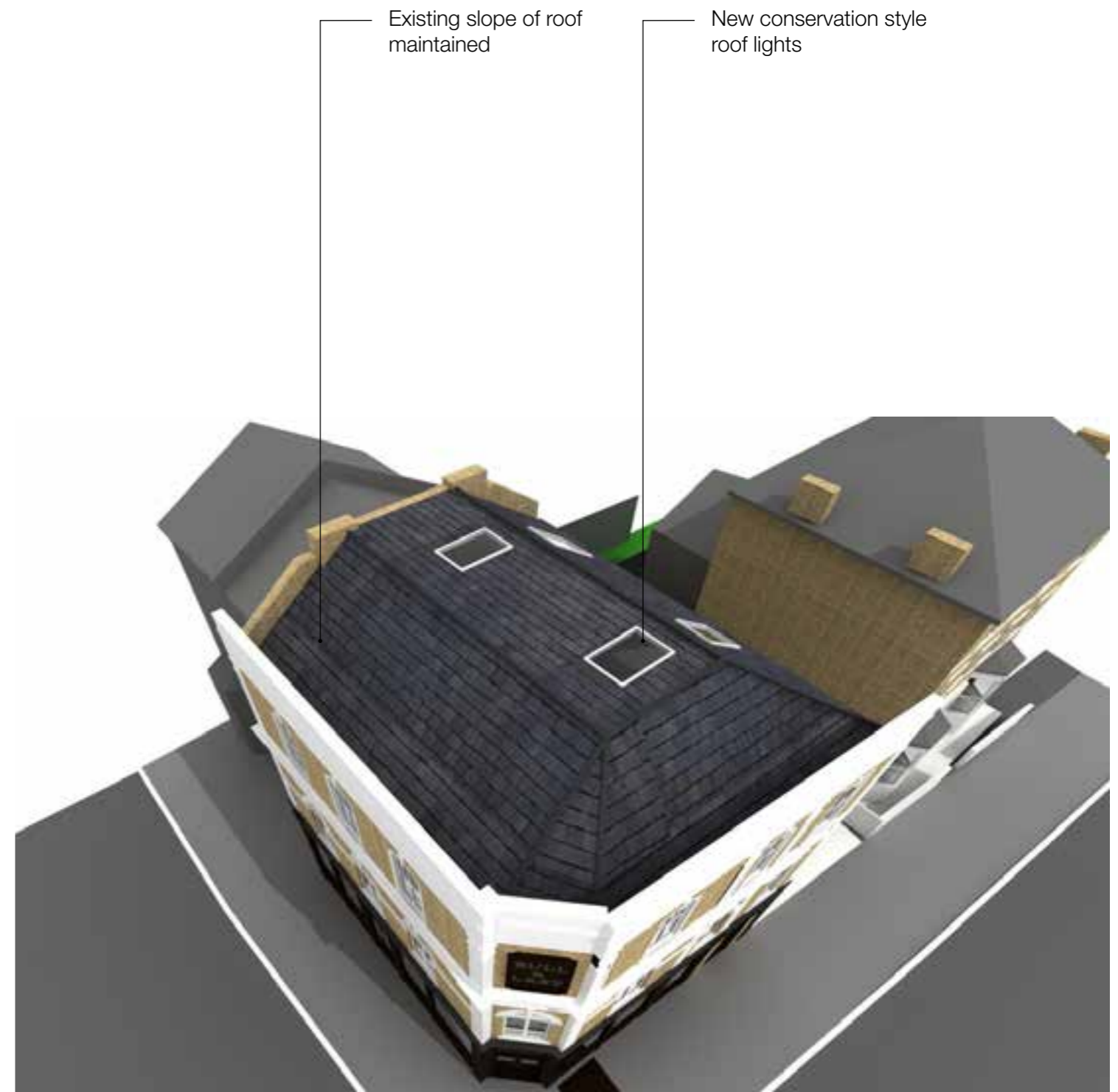


Proposed section through the Pub





Existing roof



Proposed roof

## 6.0 B&B Accommodation

### 6.1 Proposed accommodation

The two upper levels of the main building are to be converted to B&B accommodation. These levels will offer 6 rooms of accommodation each with en suite. A suite for a night porter is also included in the proposals which would help contain any noise and general disturbance as well as prevent anti-social behaviour whilst maintaining security.

### 6.2 Response to Camden Development DP14

With reference to Camden's policy on Tourism development and visitor accommodation (DP14), the council encourages small scale visitor accommodation in the area provided that it can be easily reached by public transport, there is provision of a highway pickup and set down points and the proposal does not harm the balance and mix of uses in the area given that there is already a commercial use on this site. These issues are discussed in the following paragraphs:

### 6.3 Public Transport

The site has a PTAL rating of 3 and the site sits within close proximity to a number of bus routes that run along Highgate Road to either Highgate or Central London. The site is approximately 600m away from Gospel Oak Station and other London Underground and mainline stations are within a 1 mile radius (see diagram opposite showing nearby transport access).

### 6.4 Mix of Uses in the Area

The area is predominately residential although along Highgate Road there are a mixture of uses including commercial units, shops and offices. The closest existing B&B / Hotel is over 1 mile away from the site and therefore there will not be an over-intensification of this particular use, and in fact the area is short on tourist accommodation. Therefore it is felt that the introduction of a B&B in the area would be of benefit to the local community and economy.

### 6.5 Impact on Amenity

The main entrance to the building and B&B facilities shall remain on the corner of the site, which is positioned close to Highgate Road and away from the quieter residential areas of Woodsome Road. The secondary exit shall not be used on a day to day basis, and will serve only as an emergency exit in the event of fire. As the site sits along Highgate Road, which is a busy main Road that has a high residual noise level it is felt that the B&B will not have a negative impact on noise or amenity by any significant degree during entry and exit from the building.



Aerial map showing nearby transport links

### 6.6 Operation

It is of great importance to the applicants that the B&B element of the scheme does not disrupt the residential occupiers nearby. To this end there will be no additional entrances used by the B&B element of the pub and the primary hours of operation will be the same as the Pub.

In terms of the day to day running of the B&B, a reception desk shall be integrated into the existing bar area of the main bar, with a staff member allocated to the operation of the B&B. A live in night porter shall also have live in quarters within the upper level of the building to aid with the running of the B&B. Visitors to the pub will be encouraged to use public transport as the site is well connected to the local area.

It is envisaged that a management plan will be agreed with Camden that is subject to a S106 agreement to ensure that the surrounding highways and residential occupiers are not subject to undue harm from the B&B.

## 6.7 Transportation

With reference to Camden's policy on Tourism development and visitor accommodation (DP16), given that the proposal only includes the provision of 6 rooms for B&B use and the floor area is below the threshold of 200sqm required for a full transport assessment (as described in appendix 1 of Camden's Development policies 2010), a detailed assessment has not been carried out. However, the key points addressed in the policy have been considered below:

### DP16(A) - MOVEMENTS TO, FROM AND WITHIN A SITE

The site is well linked to public transport, walking routes (through Hampstead Heath) and key road routes in and out of the area. The proposed design will include wheelchair access to the pub to ensure that the building is accessible to all.

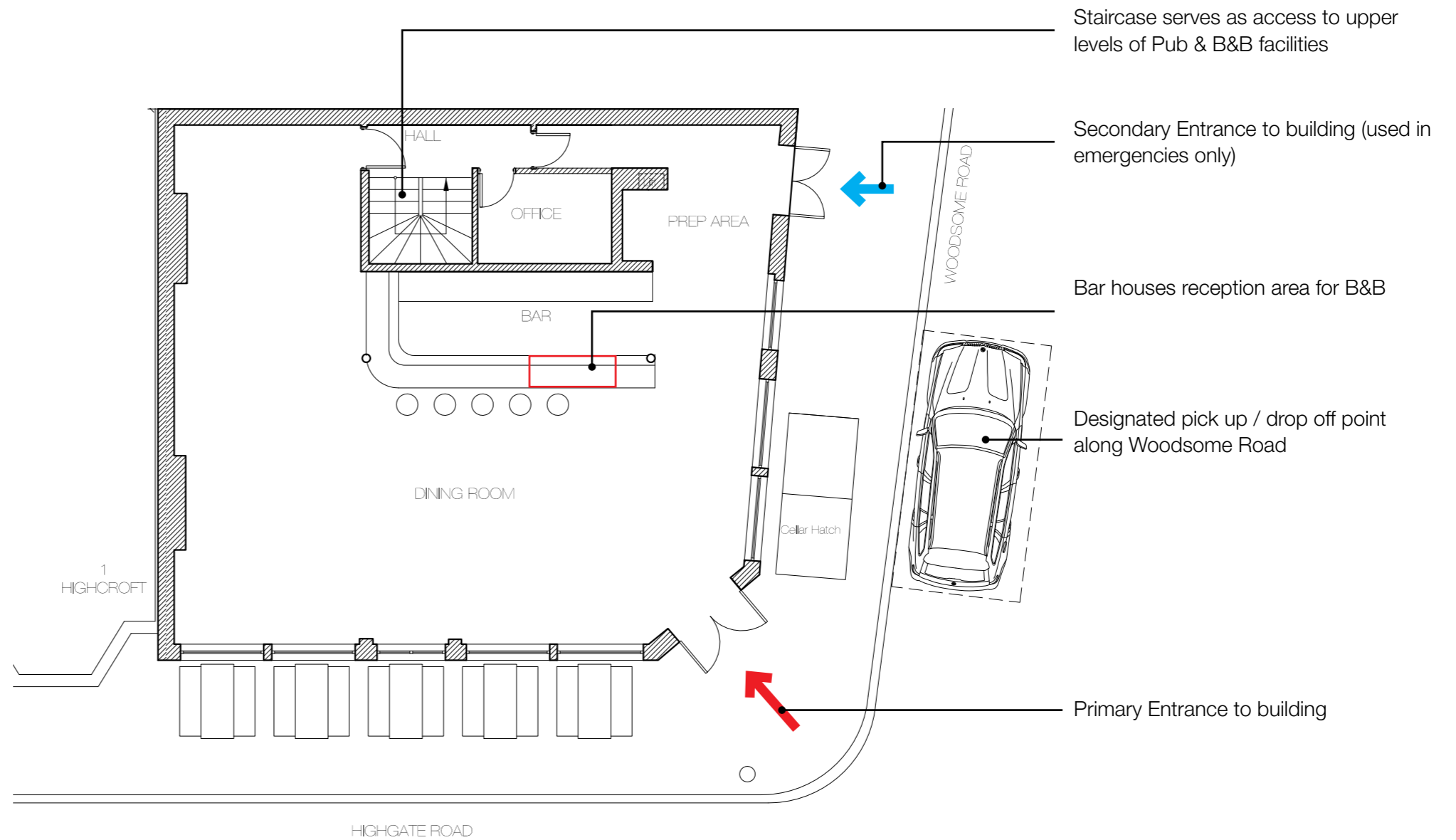
### DP16(B) - TRANSPORT CAPACITY

It is not possible to include on site parking facilities given the site of the site, but the area has a number of public parking spaces nearby should additional cars come to the area for use of the B&B facilities. The site is located within the Highgate (CA-U) Controlled Parking Zone (CPZ) which has parking restrictions between 10:00-12:00 Monday to Friday and users of the B&B facilities would be made aware of this should they travel by car to the site.

### DP16(C) SAFE PICK-UP, DROP-OFF AND WAITING AREAS

It is proposed to include a designated pick up and drop off parking space along Woodsome Road, outside the entrance to the Public House. This space would be able to accommodate Cars and Taxi's. As this is a small scale development of under 500m2 with only 6 B&B rooms, it is envisaged that parking for coaches would not be required. However, along the nearby Highgate Road, there are a number of parking spaces that could accommodate coaches, as they also provide for a number of Schools that are close by to the building. Should this not be desirable then planning obligations preventing coach access to the site can be put in place as part of a S106 agreement.

It is envisaged that the provision of a pick up and drop off point would be covered by a S106 agreement to be agreed as this planning application progresses.



Ground floor of Pub including details on operation of the B&B

## 7.0 Precedents - New Building

### 6.1 Precedents

The following projects are of new build dwellings on tight sights within London that are able to create high quality living spaces with a series of constraints.

### 6.2 Sliver House by Boyarsky Murphy Architects, Maida Vale

A new build house in a complex infill site in Maida Vale, London. The site had been left derelict for decades because there were no obvious ways to develop it. Wedged between two imposing Victorian end of terrace buildings with a street frontage of less than three metres, the site is eleven metres deep and 7.5 metres wide at the rear of the property and **also sits next to a Pub.**

The guiding principles behind the project were to introduce as much light as possible throughout the building whilst retaining privacy from the many neighbouring windows to avoid any overlooking or loss of light for the adjacent properties. The Flats are stepped back to avoid loss of light to the habitable spaces of the Public House. A rear garden and lightwell at ground level allow light into the spaces of the ground floor duplex flat.



### 6.3 Blackbox by Form\_art Architects, Hackney

BLACKBOX sits in a quiet mews in London. The concept is a simple brick enclosure, cut away to allow light to diffuse into the heart of the building. The ground floor offers an open plan gallery area arranged around an internal courtyard. Blurring the boundary between interior and exterior, the distinctive black-grey linear brickwork is exposed inside to create a dramatic contrast with the interior installation.



# 8.0 Design and Materiality - Flats

## 8.1 New Building Massing

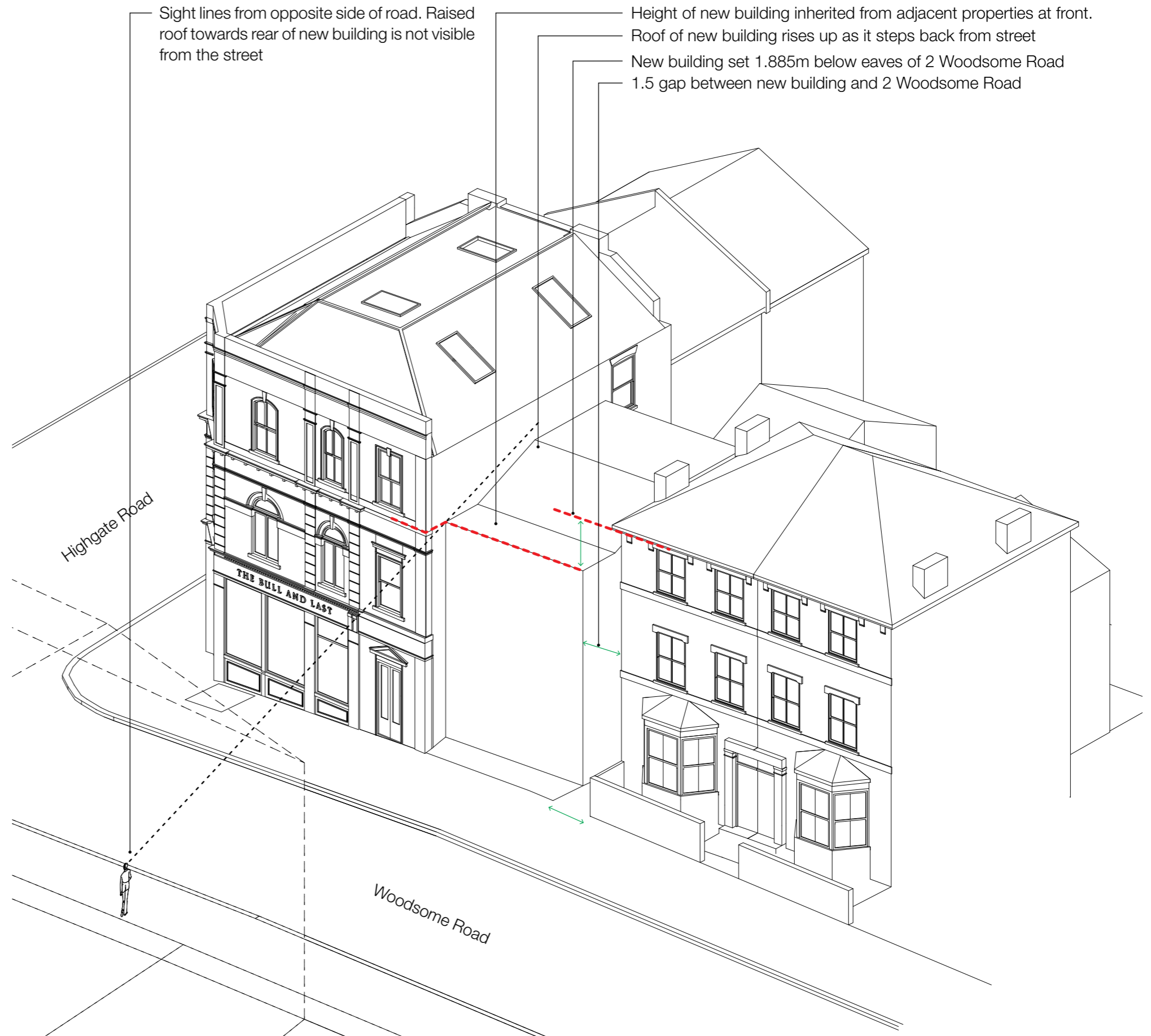
Further to the guidance provided by Camden Council in their pre planning response, the design for the new build structure was reduced in both height and width. The new proposal is as a two storey structure that sits well below the eaves line of 2 Woodsome Road.

Towards the rear of the building, the sloped roof increases in size as it steps away from the street to allow for additional living space. The setback of this sloped roof means it is hidden from street view and at eye level the building appears as a smaller structure.

The rear of the new dwellings is shorter in depth than 2 Woodsome Road to avoid any overlooking or loss of light for the adjacent properties. The Flats are also stepped back to avoid loss of light to the habitable spaces of the Public House. A rear garden and lightwell at ground level allow light into the spaces of the ground floor duplex flat.



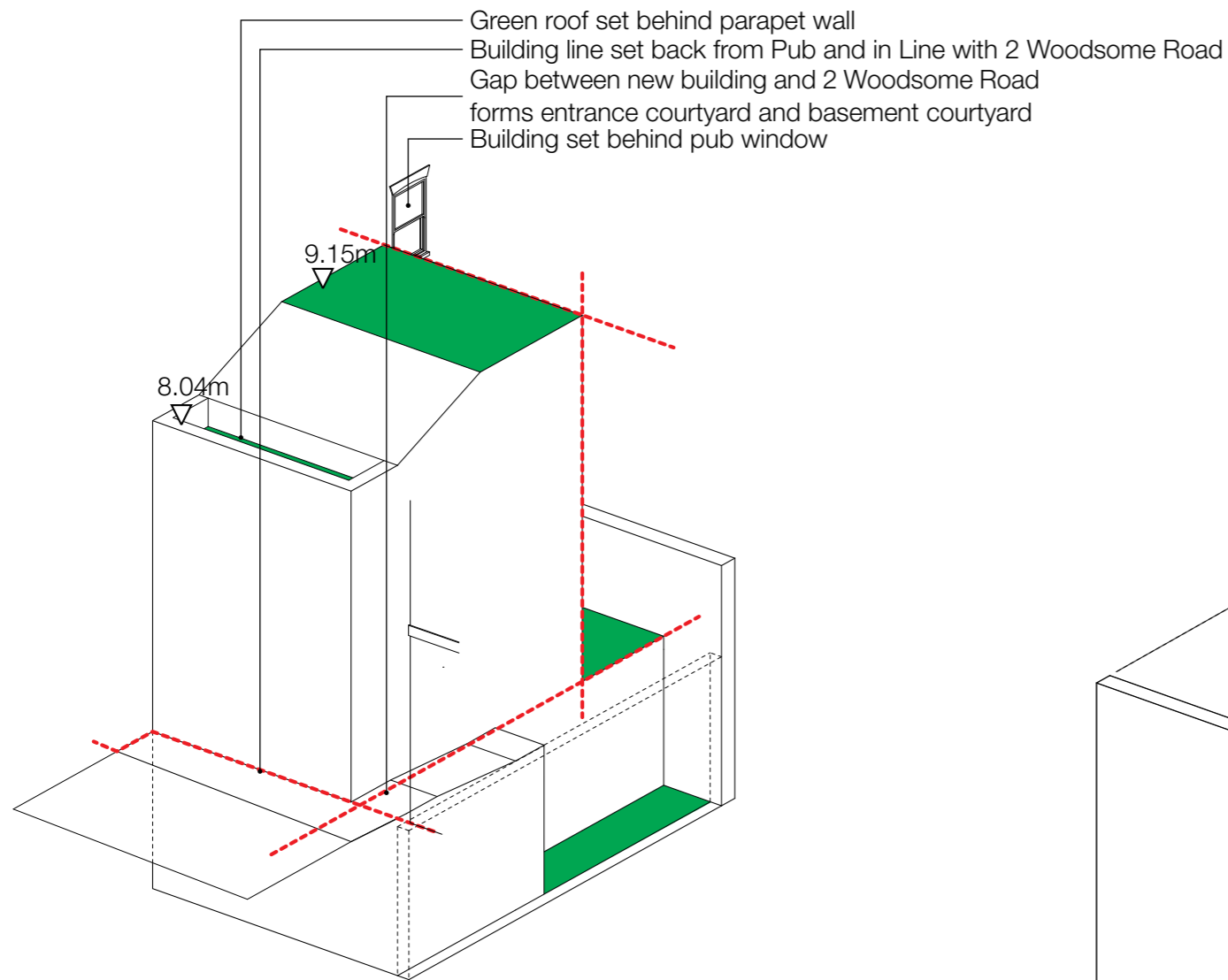
Precedent - Raised roof set back from street (in Kentish Town)



Axonometric showing massing principles

## 8.2 Setting Out

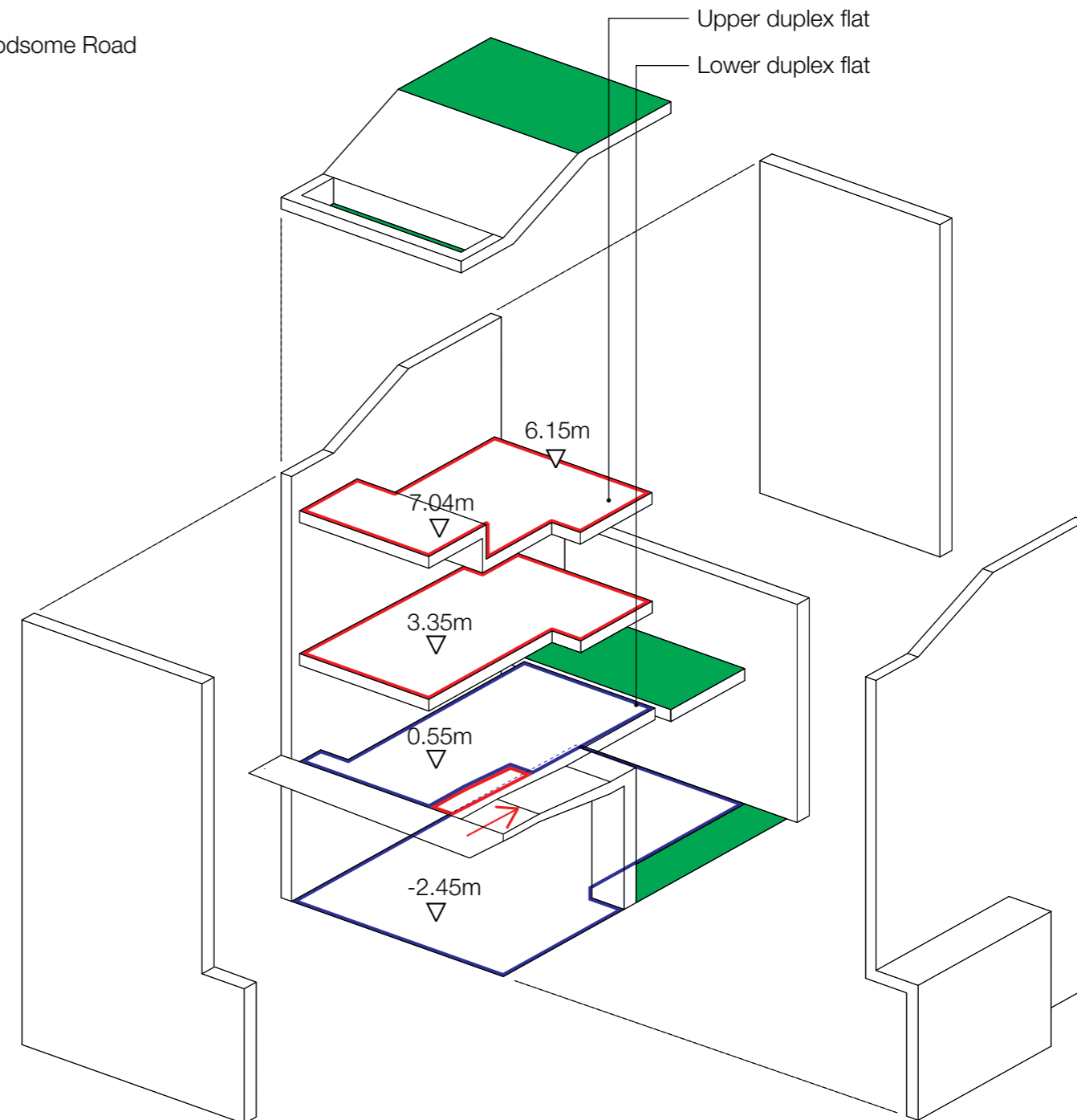
The introduction of side passageway next to 2 Woodsome Road forms an entrance courtyard and basement level courtyard to allow light to reach the lower levels of the building. The rear of the building is set back behind the windows of the main pub building, this also allows for the introduction of a rear garden. Green roofs are introduced at roof level where possible.



Axonometric showing setting out of the building mass

## 8.3 Floors

Although the building appears as a two storey structure from street, the arrangement of the building mass means that 4 levels are able to fit into the volume (including basement). Each floor has a floor to ceiling height of at least 2.5m. The four storey structure is then split into 2 separate duplex apartments.



Axonometric showing floor levels and split of units

## 8.0 Design and Materiality - Flats

### 8.4 Materials

The proposals aim to maintain and improve upon the original aesthetic of the street. Utilising the materials from the Pub and properties along Woodsome Road for reference.



London Stock Yellow Brick



White Fascia



Black painted fascia



Brown painted fascia





# 9.0 Facade Studies

## 9.1 Front Facade - Initial Options

As part of the pre planning discussions with the Council, 5 facade options were submitted for discussion. All the facade options submitted made reference to the existing building with differing use of materials.

a planting box that matches the scale of the window panels of the main pub.

Following comments from the Council, the design was revised to include two windows on the upper level and differing material studies for the front facade. Railings along Woodsome Road have been replaced with



Facade Option 1



Facade Option 2

## 9.2 Front Facade - Preferred Option

It was agreed with the Conservation Officer at Camden that Option 5, an all black clad facade that took elements of the existing pub with a modern interpretation of the traditional rear extension was most appropriate for the site. Following these comments this design has been further refined as part of this planning application, and the final scheme design is discussed on the following pages.



Facade Option 3



Facade Option 4



Facade Option 5

## 9.0 Facade Studies

### 9.3 Rear Facade - Initial Option

To the rear of the building the facade is more contemporary in nature and the volume increases in size to appear as a three storey structure. Larger expanses of glass allow light to enter the building at all levels offering improved amenity for future residents.



#### 9.4 Rear Facade - Preferred Option

As suggested by Camden's pre planning response, and to avoid any overlooking issues with the adjacent property (1 Highcroft) screens to prevent overlooking have been introduced to the rear facade.

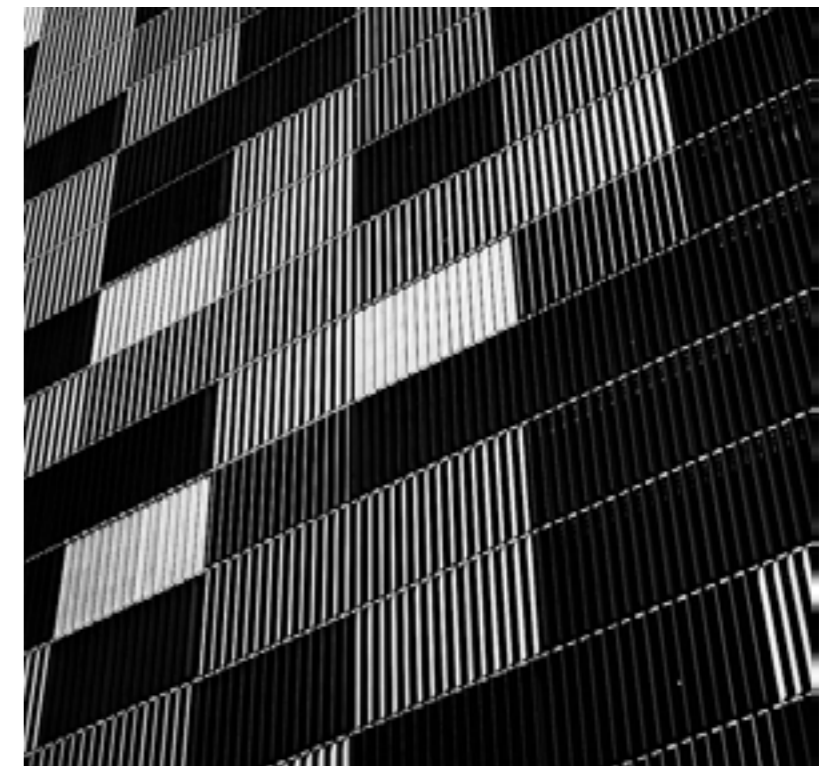
These screens avoid direct overlooking with the neighbouring buildings but still allow daylight into the spaces of the flats, as they are tilted away from the windows of 1 Highcroft to avoid direct overlooking.



Windows of 1 Highcroft



Photograph showing rear windows of 1 Highcroft in relation to the site for the flats.



Precedent - tilted screen and shadow

# 10.0 Final Design - Flats

## 10.1 Front facade

The front facade references the existing building and draws on elements of the existing pub with a modern interpretation, the all black facade referencing the lower levels of the pub building.

- Black cladding (black corian or render panels)
- Lower level takes references from cornice detail of the Pub
- Curved brick/black screen
- Planter follows line of panelled window ledge
- Concrete corner piece references stucco panelling of pub



Street View along Woodsome Road from the opposite side of the road, the high level roof slope is not visible



View along Woodsome Road



Low level view along Woodsome Road



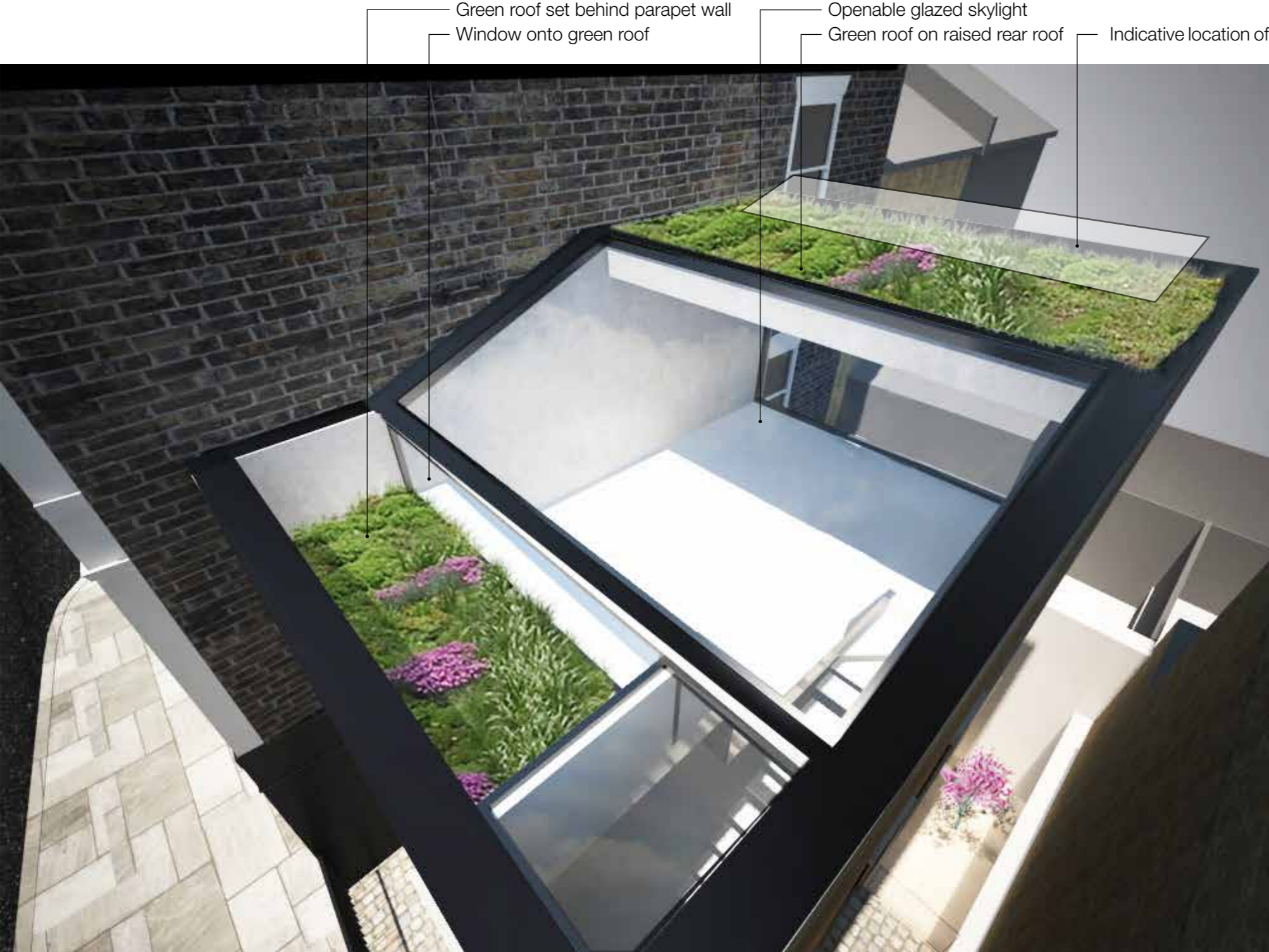
Facade detail

# 10.0 Final Design - Flats

## 10.2 Roofs

In line with Camden's planning guidance on sustainability, the proposal includes two green roofs which can help to regulate temperature. A glazed portion of the roof allows light into the living spaces and the staircase that serves the upper duplex flat.

In addition to the green roof's, new solar panels will also be introduced onto the roof structure to ensure that the new dwellings meet the Code For Sustainable Homes Level 4. More details on the sustainable elements of the design are included in the sustainability statement.



Close up view of the new roof



Precedent - Glazed set back on sloped roofs on Victorian terraces (in Kentish Town)





Birds eye view of the scheme showing the sloping roof and solar panels

# 10.0 Final Design - Flats

## 10.3 Entrance Courtyard / Cross Section

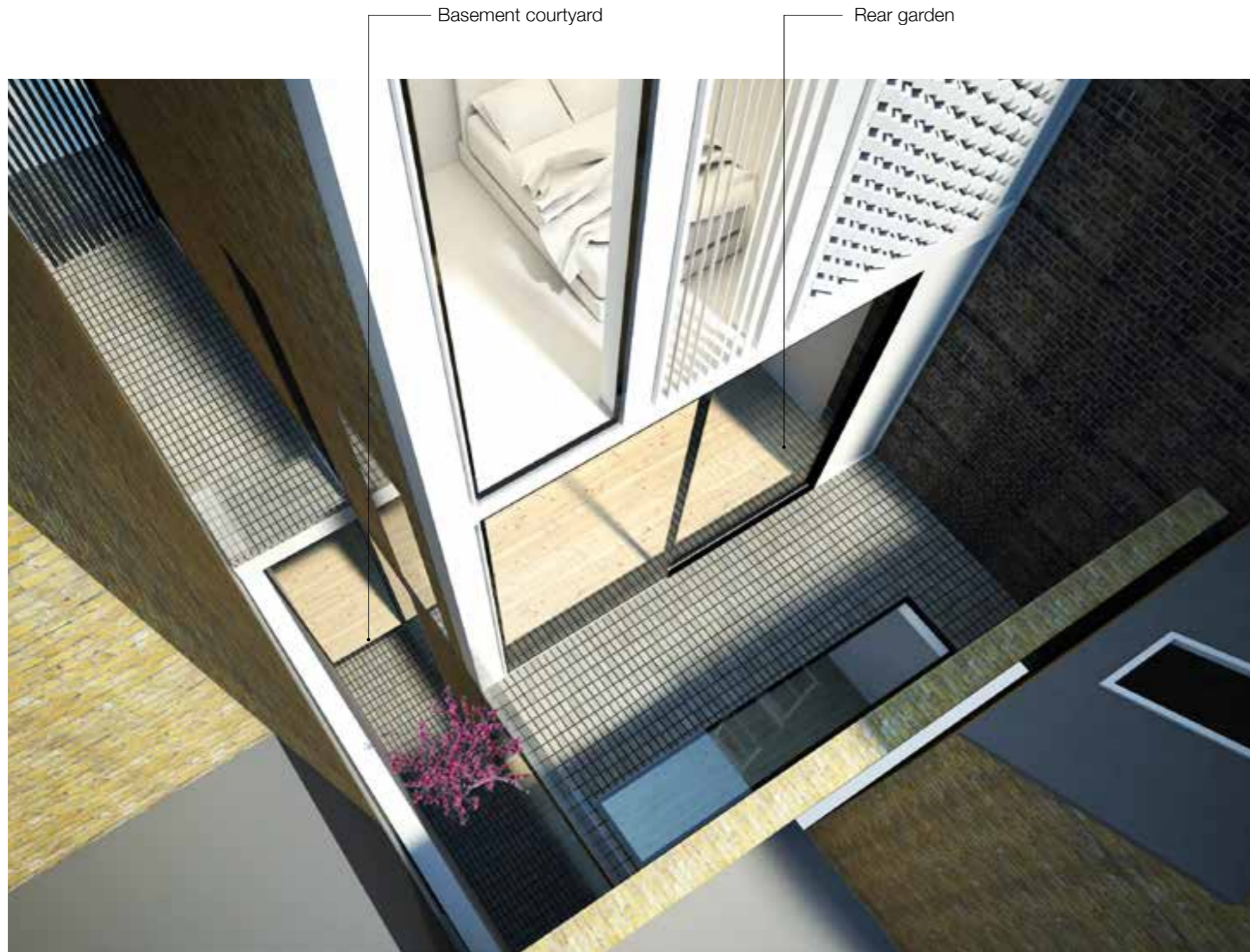
The gap that is formed between the new dwelling and 2 Woodsome Road also serves as the entry points for the two flats. This courtyard also drops down towards the rear of the site to create the basement courtyard allowing light into the lower levels.



Side Elevation / Cross Section through the proposal

#### 10.4 Rear Courtyard and Garden

To the side and rear of the building two courtyard spaces are formed that offer external amenity space to the lower flat.



View of the rear gardens



Precedent - 33 Bowling Green Lane



Precedent - Adzuki House by Horibe Naoko Architect Office, Japan

## 10.0 Final Design - Flats

### 10.5 Rear Facade

The rear facade incorporates screened panels that shield the building from overlooking and also mirror the block panelled screens used on the front facade. Each level of the rear facade responds to the position of the neighbouring buildings windows to ensure there is no direct overlooking with neighbouring buildings.



View of the rear facade



Worms eye view of rear facade

# 10.0 Final Design - Flats

## 10.6 Internal Spaces

The proposal aims to create dwellings of exceptional quality whilst respecting the original building, conservation area and surrounding buildings. Internal spaces shall be specified to high standards and will comply with the environmental and construction standards set out in national and local planning guidance.



Bedroom view



Bedroom view



Stairwell

## 10.6 Internal Spaces - Top level

The upper-most level of the new building will house the living space of the upper flat. The large glazed skylight, which is hidden from street view will afford the occupiers uninterrupted views of the sky above and the surroundings.



Top flat, living space view

# 11.0 Lifetime Homes Standards

## 11.1 Life time Homes 16 Deign Criteria

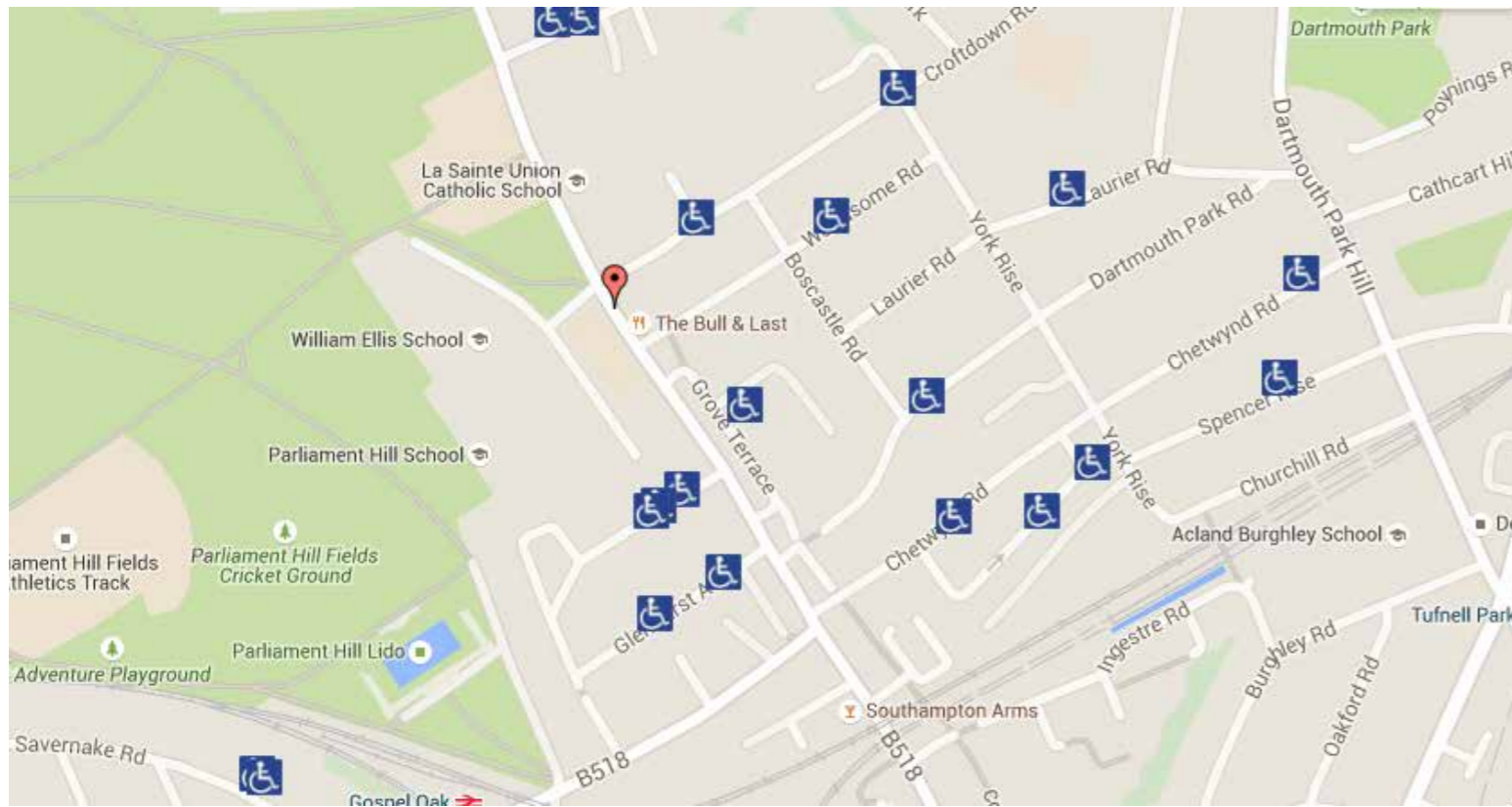
This Section of the report considers the Lifetime Homes Standards and explains how these standards have been incorporated into the Proposed Development.

## 11.2 Lifetime Homes Standards

Where practical, every effort has been made to ensure that this new dwelling has been designed in accordance with the Lifetime Homes guidelines. For the sake of clarity the following checklist has been completed for the new-build aspect of the development. The following issues regarding Lifetime Homes have been considered:

Item	Item
1 Extra wide parking space	The Site has a Public Transport Accessibility level of 3 and as such the development will not be a car free development, residents on street parking will be provided for the new dwellings.
2 Distance from car parking spaces	There is one Disabled street parking space on Woodsome Road, please see location site plan shown opposite
3 Level/gently sloping entrance	The road has an existing gentle slope, the flats shall be level with this or an equally gentle ramp for ease of access
4 Covered front door with outside light	The new side passageway that houses both of the flats entrances shall have an illuminated entrance light.
5 Access to Communal areas; stairs, lifts and lift controls to comply with lifetime homes standard	This is a small development and as such there are no lifts or communal stairs
6 Doorways and hallways. Doorway clear Corridor/passageway opening width (mm) 750 or wider 900 (when approach is not head on)	Incorporated - see floor plans
7 Wheelchair Accessibility, A turning circle of 1500mm diameter or a 1700mm x 1400mm ellipse is required.	Incorporated-see floor plans
8 Living room at entrance level	Incorporated-see floor plans, upper level flat has a stair leading to first floor where there is a living room
9 Space downstairs for a bed, within a two or more storey unit.	Incorporated- refer to alternate layout within section 10.0 of this report
10. WC, There should be: a wheelchair accessible WC at entrance level Downstairs toilet - with space for shower	Incorporated - see floor plans
11 Strong walls in bathroom & toilet for grab rail	Will be incorporated at detailed design phase
12 Provision for stair lift or through the floor lift in maisonettes.	Incorporated - see floor plans
13 Main bedroom, reasonable route for a potential hoist from a main bedroom to the bathroom.	Incorporated - see floor plans to Bedroom 2
14 Accessible bathroom fittings	Incorporated - see floor plans
15 Low level easy-to-open windows	Incorporated - see plans, more info to be provided at detailed design stage
16 Easy to reach switches/sockets etc.	Will be incorporated at detailed design phase





## 12.0 Further Considerations

### 12.1 Waste and deliveries

A waste storage area for the main Pub will be relocated to the basement level. Waste will remain in this location until the collection of refuse at which point bins would be wheeled onto the pavement for collection by the Council.

The lift will also enable beer and food stuffs to be easily delivered directly to the beer store and kitchen in the basement without the need for staff to individually carry beer or stock down the staircase.

### 12.2 The Cellar Lift

The cellar lift will be directly accessible from the street level, this means that the basement will extend beyond the boundary of the building and into the street. An agreement will need to be discussed with the Council in order to achieve this. The use of a cellar lift is a typical arrangement for public houses throughout London and will improve the operational efficiency of the building as a whole.

### 12.3 Lifetime Homes

As stated in Camden's guidance, all new dwellings need to comply with Lifetime homes standards. The proposed development will include a review of these standards, incorporating their recommendations into the proposal.

### 12.4 Cycle Parking

The Council encourages the provision of cycle storage / parking for the proposed residential units at 1 space per unit. As part of the proposals cycle parking provision will be included within the proposals for two new dwellings.

### 12.5 External Amenity Space

As required by the London Housing Design guide: *"a minimum of 5m<sup>2</sup> of private outdoor space should be provided for 1-2 person dwellings and an extra 1 sq m should be provided for each additional occupant."*

As each flat is for 4 persons, a minimum area of 7m<sup>2</sup> external space should be provided for each new dwelling. Whilst this is possible for the lower duplex flat, due to the constraints this has not been possible for the upper level dwelling.



Diagram showing the proposed cellar lift which will be used to improve access to the basement for deliveries and refuse collection

## 12.6 Fire Escapes

As part of the proposals an additional entrance / fire escape will be incorporated into the Ground floor of the Pub. An existing window along the Woodsome Road facade will be converted into a doorway to allow for this change, whilst having a minimal impact on the building facade.

Further information is shown in the diagram opposite.

## 12.7 Sustainability

This development aims to achieve high environmental performance standards. Where possible, Locally and responsibly sourced materials shall be used within the building structure and fabric. All timber shall be FSC certified. As required by Camden Council, a **Code for Sustainable Homes Assessment** shall be undertaken to ensure that the new dwellings achieve a minimum standard of level 4.

All building fabric and glazing U values shall aim to have as high as thermal performance as possible, contributing to increase in the energy efficiency of the existing building. The building will aim to maximise use of the existing materials and fabric, reusing as much waste material as possible.

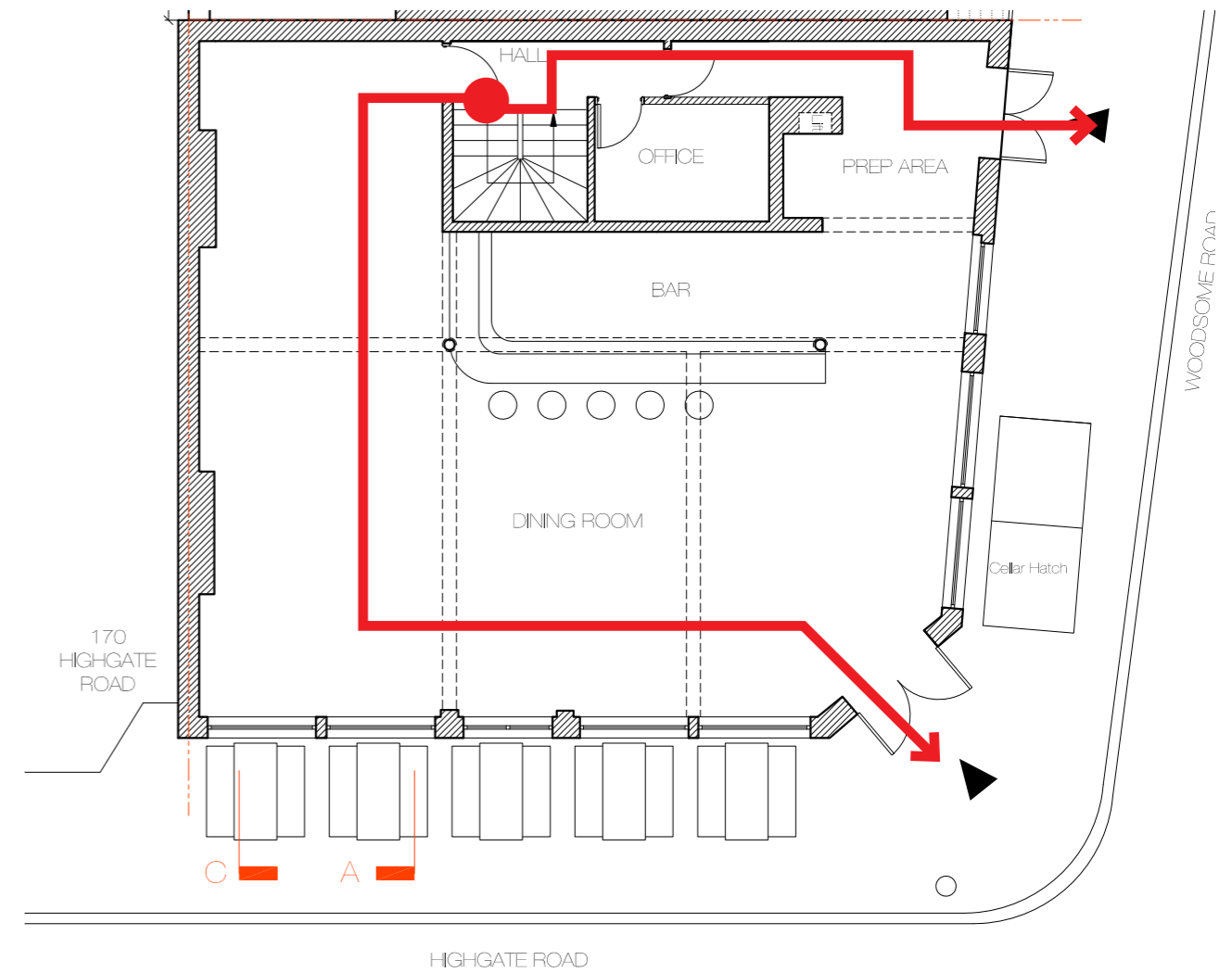


Diagram showing proposed fire escapes from Ground floor level

## 13.0 Response to the NPPF

### **13.1 Referring to the National Planning Policy Framework, March 2012:**

#### ACHIEVING SUSTAINABLE DEVELOPMENT:

Item 9 - "Pursuing sustainable development involves seeking positive improvements in the quality of the built, natural and historic environment, as well as in people's quality of life, including (but not limited to):

- replacing poor design with better design
- improving the conditions in which people live, work, travel and take leisure; and
- widening the choice of high quality homes."

Referring to the above policy, which argues the case for achieving sustainable development, it is felt that the proposed scheme has a positive impact on both the quality of the built environment by replacing a run down part of the building with two high quality dwellings.

### **13.2 The presumption in favour of sustainable development:**

Item 14 - "At the heart of the National Planning Policy Framework is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision-taking.

For decision-taking this means:

- approving development proposals that accord with the development plan without delay; and
- where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless:
  - any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or
  - specific policies in this Framework indicate development should be restricted."

Referring to the above policy, which is in favour of sustainable development, we would argue that the positive benefits of the scheme outweigh any adverse impacts. The benefits include greatly improving the quality of space available within the pub allowing for greater amenity space whilst including the working facilities of the staff, The scheme also creates two new dwellings in a desirable area (that meet the housing standards for their size. The only adverse impact seems to be that the scheme may have a small impact on the traffic capacity of the site. Given the site constraints, we would argue that this should not be a justifiable reason for refusal of the scheme, and it should be supported by the Council.

### **13.3 Requiring good design:**

Item 61: "Although visual appearance and the architecture of individual buildings are very important factors, securing high quality and inclusive design goes beyond aesthetic considerations. Therefore, planning policies and decisions should address the connections between people and places and the integration of new development into the natural, built and historic environment."

Referring to the above policy, the design does not negatively affect the visual appearance of the area and improves the quality of the area by improving the quality of design in the area and should therefore be supported.

Item 63: "In determining applications, great weight should be given to outstanding or innovative designs which help raise the standard of design more generally in the area."

The proposal raises the standard of design in the area, with the rear extension taking reference from traditional Victorian housing design in a modern way and therefore should be viewed positively and supported.

## 14.0 Conclusion

### 14.1 Conclusion

The proposed development will adhere to the Accessibility and Lifetime Homes Standards required by national planning policy guidance, the London Plan and local policy guidance as far as possible. The new build units will also fully comply with the standards set out in the UK Building Regulations.

It is felt that the proposals will improve the overall quality of the surrounding area by increasing the space and amenity of the pub which is a landmark of the local area. The proposals will enhance the quality of the existing building preserving its character while updating it for the 21st Century.

The new dwellings make use of the spaces remaining from the reconfigured public house and offer additional dwellings in a popular area through sympathetic and considered respect of the surrounding buildings.

These proposals accord with the requirements of the NPPF and the positive aspects of the scheme outweigh any negative aspects. We believe that as a consequence planning permission should be granted.



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