



28 Grafton Terrace NW5 4JJ

Design and Access Statement  
20 07 2015

## INTRODUCTION

### *Client*

Robin Tustin

### *Architect*

Higgs Young Architects Ltd.  
54 Boston Place, London, NW1 6ER

This Design and Access Statement document has been prepared on behalf of the applicant, to support householder planning application for the development of the site on 28 Grafton Terrace, NW5.

This Design and Access Statement should also be read in conjunction with Higgs Young Architects drawings.

The building on 28 Grafton Terrace is a mid-late 19<sup>th</sup> century end terrace Victorian house located on Grafton terrace and Malden Place crossing. It is a three storey house with an existing two storey rear addition at split level, it has a mansard roof extension, storage rooms built at the rear of ground floor, internal courtyard area and a garage with direct access from Malden Place.

The building is not listed, nor is located in Conservation area. However is situated close to Parkhill and West Kentish Town Conservation areas.

28 Grafton Terrace adjoins other similar typology terrace - No 26, however the front elevation elements are not alike, the rest of the terrace from No 24 and onwards is slightly set back from the street frontage.

Previous planning applications for 28 Grafton Terrace:

Application reference number: CTP/  
F10/31/6/14603  
Full Planning permission refused on  
1<sup>st</sup> December 1972  
Use of first and second floors as  
offices



Aerial view of 28 Grafton Terrace looking North



Aerial view of 28 Grafton Terrace looking South

Application reference number:  
F10/31/6/33026(R1)  
Full Planning permission  
granted on 25<sup>th</sup> November 1981  
Erection of a roof extension to  
provide two additional habitable  
rooms

Application reference number:  
F10/31/6/35915  
Full Planning Permission  
refused on 2<sup>nd</sup> June 1983  
The rebuilding of the existing  
single storey garage at the rear  
by the erection of a two-storey  
building to provide garage with  
a workroom cover

The proposed development comprises of demolition of the garage and storage rooms at the rear, erection of single storey rear extension, alterations to existing roof extension forming front roof terrace, and alterations to existing front elevation.

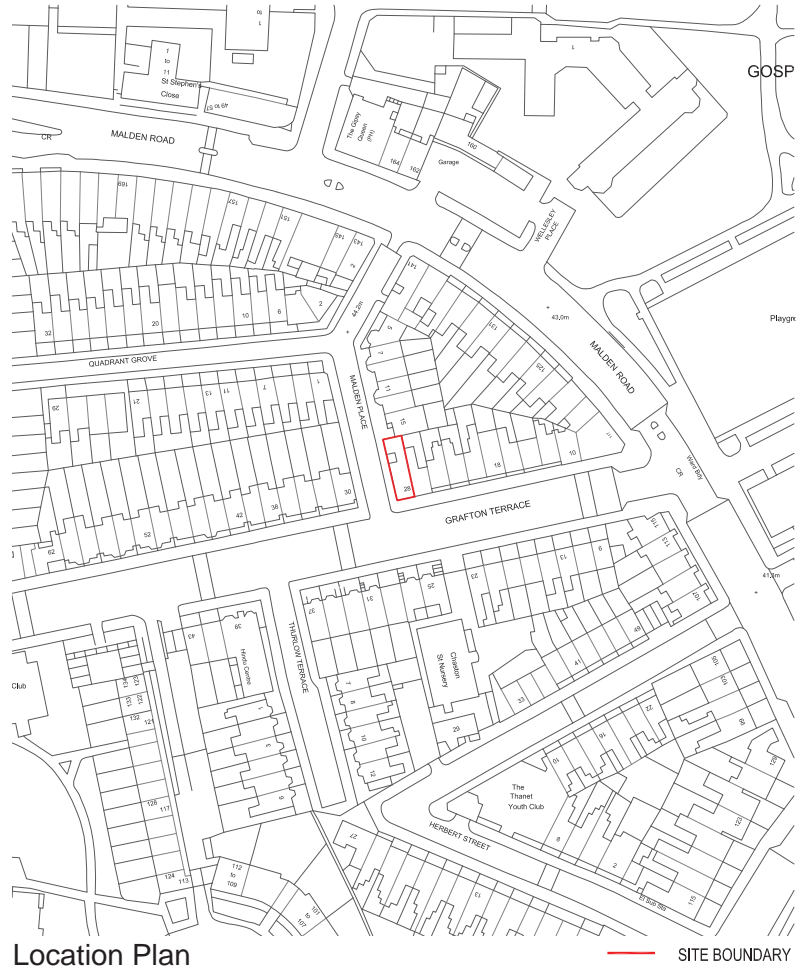
Similar planning approvals for rear extensions and roof extensions with front terrace have been granted to other developments in the area:

Address: 18B Grafton Terrace, NW5  
 Application reference number: 2010/2727/P  
 Roof extension with front terrace

Address: 34-36 Grafton Terrace, NW5  
 Application reference number: 2008/3476/P  
 Roof extension

Address: 58 Grafton Terrace, NW5  
 Application reference number: 2006/1648/P; 2014/2491/P  
 Single storey rear extension

Address: 60a Grafton Terrace, NW5  
 Application reference number: PEX0000267/R1  
 Single storey rear extension



Location Plan

— SITE BOUNDARY



View of Grafton Terrace and Malden Place Crossing

# DESIGN

## USE

Existing use of the building is residential.

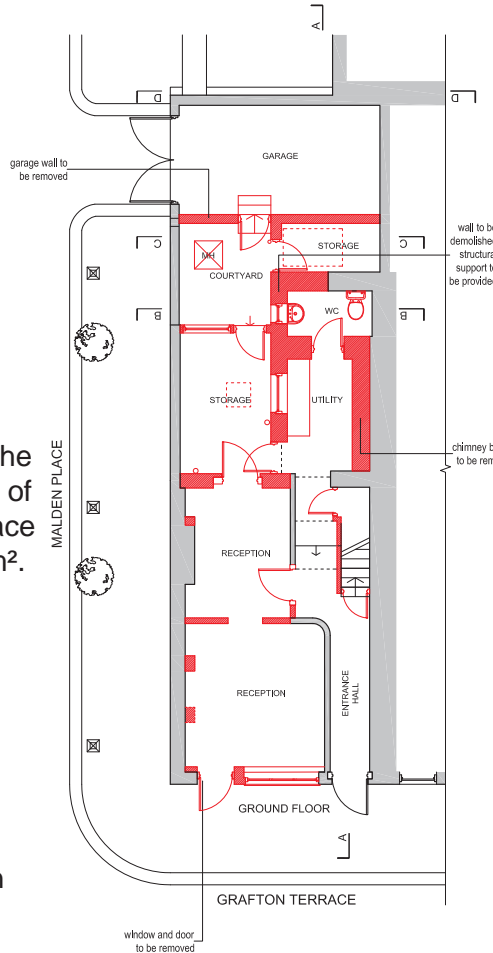
Proposed use of the building will remain the same.

## AMOUNT

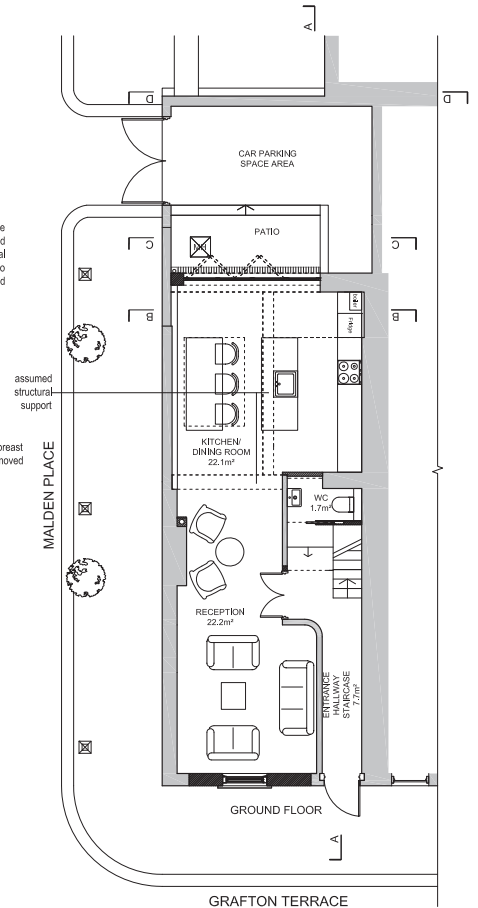
Existing total gross internal area of the house is approximately 152m<sup>2</sup>, area of the garage and external storage space is approximately 16m<sup>2</sup>, courtyard 6m<sup>2</sup>.

By demolishing garage and storage area, and adding ground floor rear extension ground floor GIA will increase only by 3m<sup>2</sup>, rear patio including on-site parking space will increase to 20m<sup>2</sup>.

Alterations to existing roof extension will create 6m<sup>2</sup> roof terrace area.



Existing Ground Floor Plan



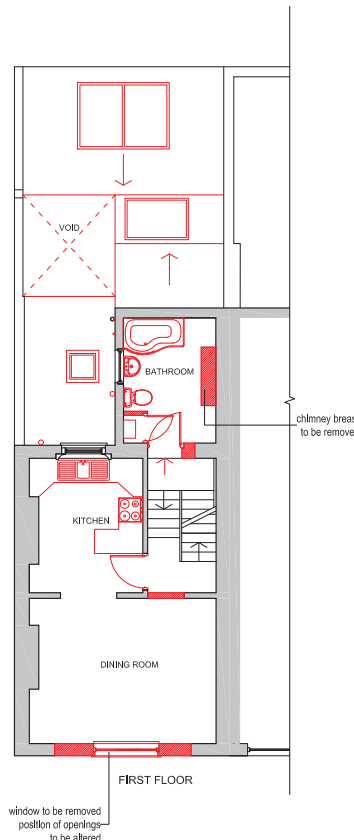
Proposed Ground Floor Plan

## LAYOUT

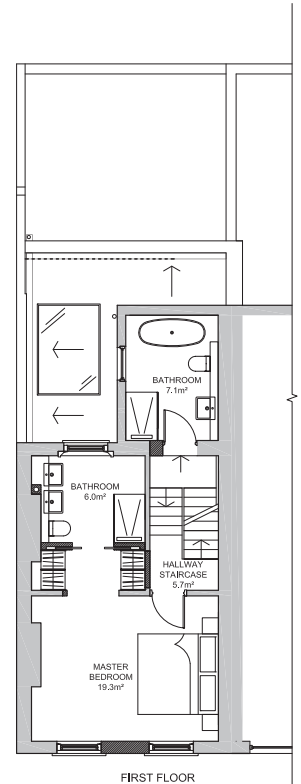
The footprint of the original building is L shaped, there are existing side and rear additions and garage structure at the rear boundary of the site. Currently property accommodates reception rooms on the ground floor, 5 bedrooms on upper levels some with small kitchenettes, 2 bathrooms and WC on ground floor. There is an existing rear roof terrace on the first floor which will be retained.

Proposed rear extension will be built flush with existing rear building addition. New space on ground floor will accommodate open plan kitchen - dining room. Demolition of the garage and rear storage room will allow creating outdoor amenity space whilst maintaining on-site open car parking space.

Existing roof extension will be rebuilt creating front roof terrace space.



Existing First Floor Plan

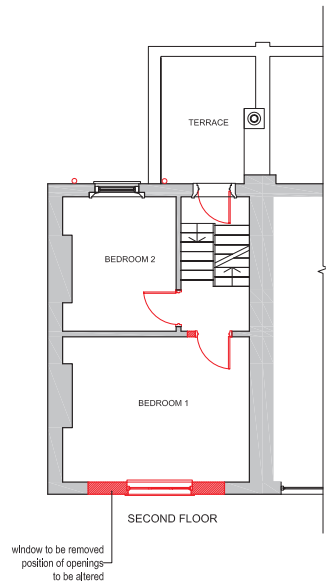


Proposed First Floor Plan

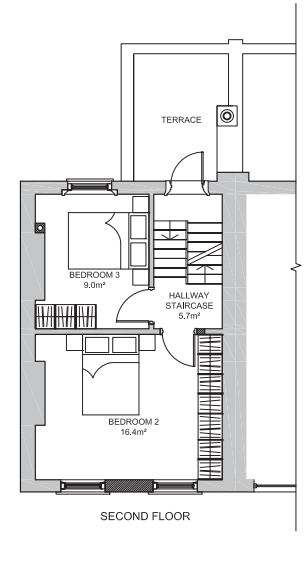
**SCALE**

Proposed rear extension is subordinate to the original building and will not be generally noticeable from Malden Place. There is an existing brick boundary wall on Malden Place, the brick wall will be just slightly raised to conceal the roof of the proposed extension.

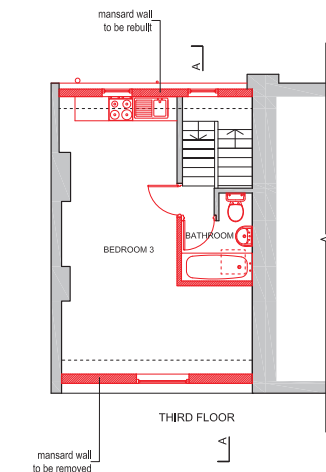
Proposed alterations to roof extension will reduce the volume of existing roof extension. The front mansard wall will be built at 90 degree angle and will be set back from front elevation. Rear mansard walls will be rebuilt at 70 degree angle with traditional dormer windows.



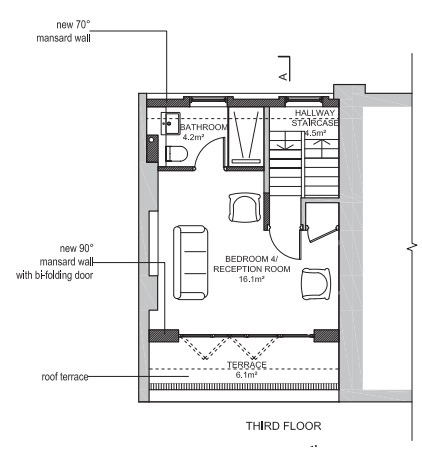
Existing Second Floor Plan



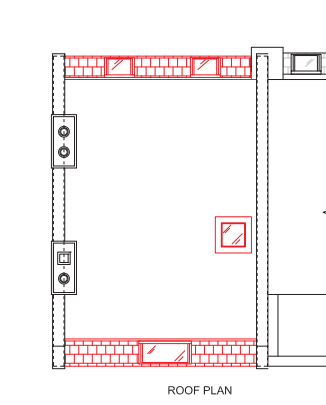
Proposed Second Floor Plan



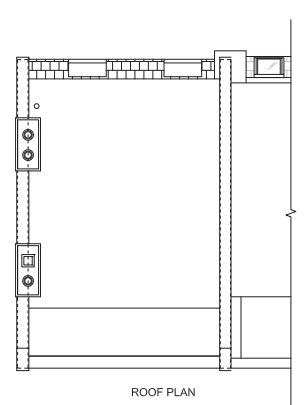
Existing Third Floor Plan



Proposed Third Floor Plan



Existing Roof Plan



Proposed Roof Plan

**APPEARANCE**

The existing building is made out of London stock brick. Front elevation is finished in white render, ground level elevation has been rebuilt using red bricks, it has two front doors and timber casement windows which is not in keeping with the character of the area. Mansard walls are finished in red roof tiles. Two storey rear addition is finished in white render, side elevation in London Stock brick, rear elevation has traditional timber sash windows.

It is proposed to alter front elevation by removing casement windows and installing traditional four pane sash windows arranged in two alignments. Ground floor level is proposed to have a traditional sash window, existing front door on the right side to be replaced with similar six panel timber door with fanlight above, elevation would be finished in white render to match with the rest of the building. An ornate ogee style molding will be constructed above the front door which will run the length of the front elevation. Proposed elevation rearrangement would be done in order to recreate more typical Victorian elevation appearance.



Existing Front Elevation



Proposed Front Elevation



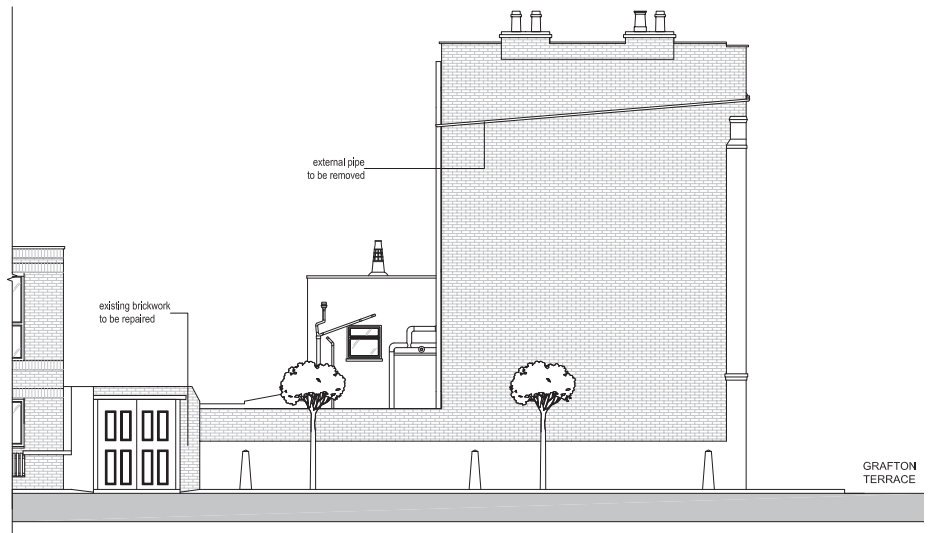
Double glazed timber sash windows are proposed for front elevation



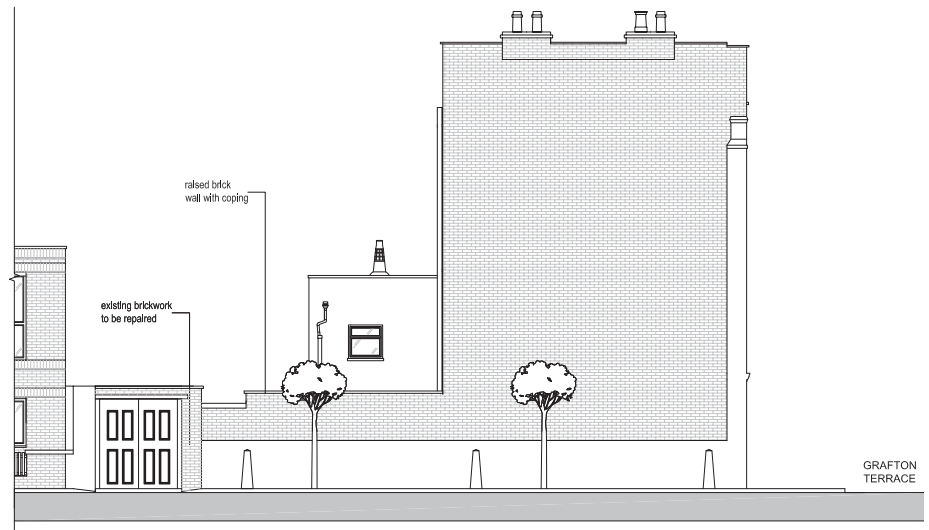
Front elevation of 28 Grafton Terrace

Proposed rear extension will be finished in white render, double glazed grey colour coated aluminium frame bi-folding doors are proposed to be installed, flat roof will be finished in grey colour fiberglass. Existing brickwork on the side elevation will be repaired, where extension is proposed the wall will be slightly raised, side gates to the property will be retained in order to maintain car access to the site. Existing rear timber sash windows will be replaced with matching style double glazed traditional timber sash windows.

Mansard walls will be re-tiled with grey colour roof slates, at the rear lead clad dormer windows will be built with timber sash windows. At the front, behind the parapet wall double glazed grey colour coated aluminium frame bi-folding doors will be installed.



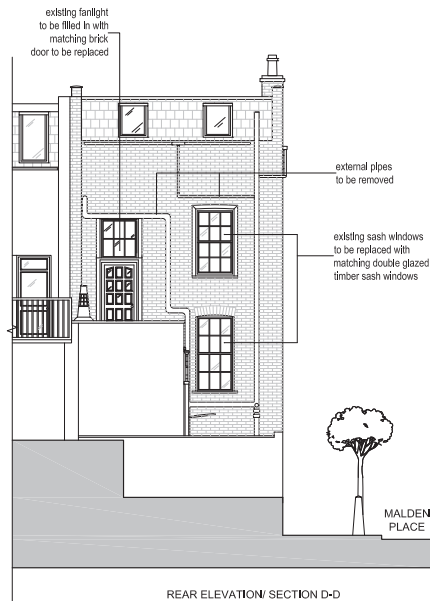
Existing Side Elevation



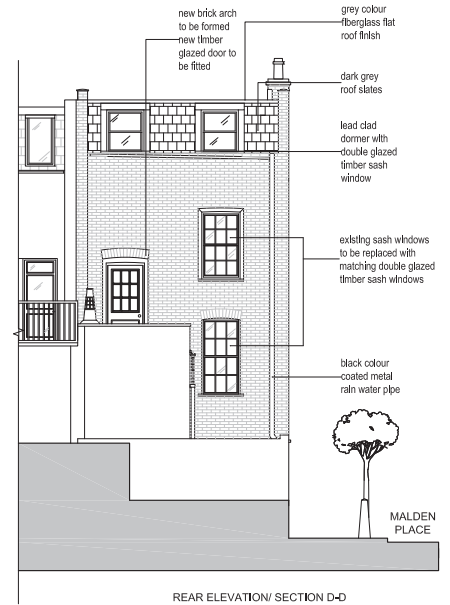
Proposed Side Elevation



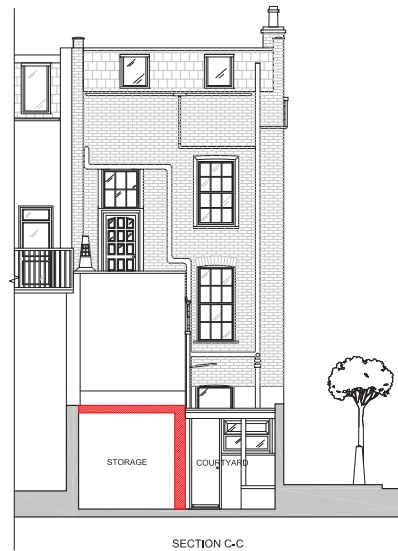
Side and rear elevation of 28 Grafton Terrace



REAR ELEVATION/ SECTION D-D  
Existing Rear Elevation



REAR ELEVATION/ SECTION D-D  
Proposed Rear Elevation



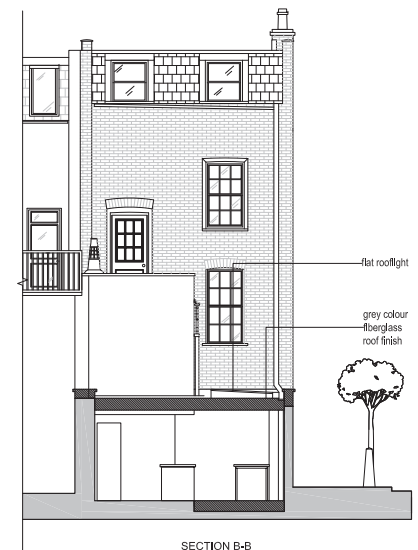
SECTION C-C  
Existing Section C-C



SECTION C-C  
Proposed Section C-C



SECTION B-B  
Existing Section B-B



SECTION B-B  
Proposed Section B-B

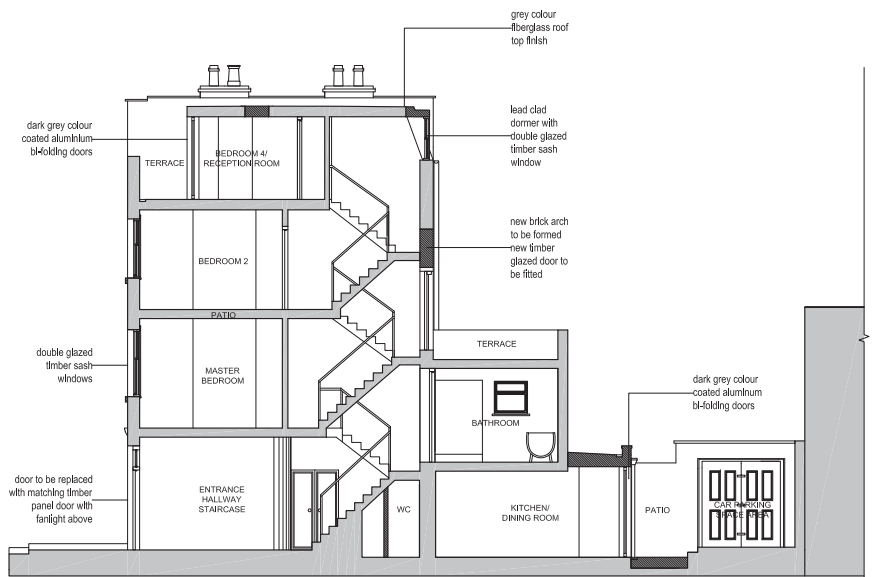


# ACCESS

Access to the property will be retained as existing.



Existing Section A-A



Proposed Section A-A



View from first floor towards existing garage and courtyard

*References:*

- Camden Planning Guidance CPG1 Design 2014*
- Chapter 4: Extensions, alterations and conservatories*
- Chapter 5: Roof, terraces and balconies*