

Notes

1. Existing doors lowered 2. New door

3. New window to replace existing window 3a. New windows to match existing window 4. New window

Steps removed 6. New window to replace existing doors

7. New door to replace existing door 8. New metal balustrade 8a. New low level metal balustrade

8b. New lowered 'area' 9. New door to replace existing window Existing fire escape stair to be removed

11. New stair 12. Obscured glazing 13. New balcony 14. New glazed concierge

15. New rear extension. Detailing to match existing rear wall 16. New door to recessed terrace 17. Line of existing wall

18. New glazed door with juliet balcony 19. Existing extension demolished and rebuilt

as shown 20. New or reclaimed brickwork to match

existing 21. New reconstituted stone parapet 22. Existing decorative brick cill details to be reclaimed and reused, or new to match

23. Pryamid rooflight removed and replaced with retractable obscured glass rooflight 24. Green roof to new extension 25. Steps removed

26. New roof and louvres 27. New glass balustrade 27a. New glass balustrade or metal railings 28. Rooflight to be removed 29. New low profile conservation rooflights

30. Existing rooflights to be replaced 31. Concealed windows to be reopened 32. New entrance door and overlights to replace existing French door

33. New plant room beneath ground level 34. Window to be blocked in 35. French doors to replace existing window 36. Section of glass roof to open for access and form balustrade

37. New glazed walk on roof terrace 38. New rear extension. Stone clad. Material spec. and Dim. to be confirmed 39. Existing parapet to be raised 40. New french doors to replace existing

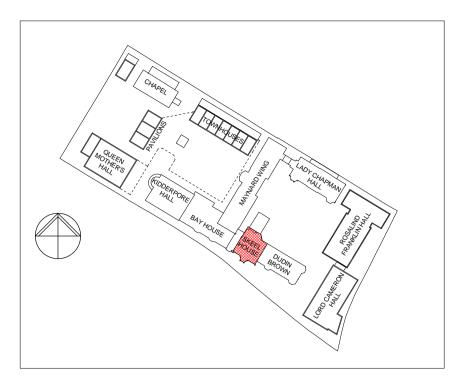
dormer window 41. New steps 42. New extension 43. Bulkhead removed

44. New french doors 45. New mezzanine floor

46. New glazed extension with clay tile roof 47. Existing top sash to be replaced to match original (not shown)

Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand.

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All drawings are based on survey information provided by others. Scott Brownrigg cannot be held responsible for the accuracy of this information, the legal boundary or site demise. This should be checked on site and against legal records. RWP locations are notional and may be subject to change as detail

design progresses.

<u>LISTED AND EXISTING BUILDINGS</u>
For detailed notes on listed buildings refer to listed building application

Existing levels and dims shown on sections are taken from the survey information provided by others. Proposed levels and floor to ceiling heights may be subject to change as detail design progresses.

Assumptions have been made for party walls thicknesses and may be subject to change as detail design progresses. No allowance has been made at this stage for thermal lining of external walls of existing buildings. If required this may affect GIAs as detail design progresses.

Walls Legend

Existing wall Demolished wall Proposed wall

Lines Legend

---- 2100mm Headroom ---- 1800mm Headroom

Issued for planning submission

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Client's Name **Mount Anvil** 

MOU NTA NVIL

Kidderpore Avenue

Drawing Title

Skeel House **Proposed Sections** Sheet 2 of 2

1:100@A1

157780

PL-SK-301

FOR PLANNING

Second 104695 Gallery 102300 First 99550 Ground 95440 Extension 94070 Basement 93140

Skeel | Maynard House | Wing

Proposed Section 5