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Notes

1. Existing doors lowered

New door
 New window to replace existing

window

3a. New windows to match existing window detailing

4. New window

Steps removed
 New window to replace existing doors

New door to replace existing door
 New metal balustrade

- 8a. New low level metal balustrade
- 8b. New lowered 'area'
- 9. New door to replace existing window10. Existing fire escape stair to be removed11. New stair
- 12. Obscured glazing

13. New balcony

New glazed concierge
 New rear extension. Detailing to match

existing rear wall

16. New door to recessed terrace 17. Line of existing wall

18. New glazed door with juliet balcony

19. Existing extension demolished and rebuilt as shown

20. New or reclaimed brickwork to match existing

21. New reconstituted stone parapet22. Existing decorative brick cill details to

be reclaimed and reused, or new to match existing 23. Pryamid rooflight removed and replaced

with retractable obscured glass rooflight 24. Green roof to new extension

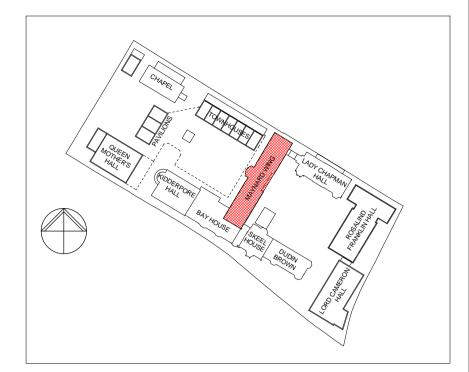
25. Steps removed

26. New roof and louvres 27. New glass balustrade

- 27a. New glass balustrade or metal railings
- 28. Rooflight to be removed
- 29. New low profile conservation rooflights 30. Existing rooflights to be replaced
- 31. Concealed windows to be reopened
- 32. New entrance door and overlights to
- replace existing French door
- 33. New plant room beneath ground level34. Window to be blocked in
- 35. French doors to replace existing window
- 36. Section of glass roof to open for
- access and form balustrade
- 37. New glazed walk on roof terrace
- 38. New rear extension. Stone clad.
- Material spec. and Dim. to be confirmed
- 39. Existing parapet to be raised40. New french doors to replace existing
- dormer window
- 41. New steps
- 42. New extension
- 43. Bulkhead removed 44. New french doors
- 45. New mezzanine floor
- 46. New glazed extension with clay tile
- roof
- 47. Existing top sash to be replaced to match original (not shown)

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Figured dimensions only are to be taken from this drawing. All dimensions are to be checked on site before any work is put in hand.



GENERAL NOTES

All drawings are based on survey information provided by others. Scott Brownrigg cannot be held responsible for the accuracy of this information, the legal boundary or site demise. This should be checked on site and against legal records.

RWP locations are notional and may be subject to change as detail design progresses.

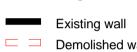
LISTED AND EXISTING BUILDINGS

For detailed notes on listed buildings refer to listed building application drawings Existing levels and dims shown on sections are taken from the survey

information provided by others. Proposed levels and floor to ceiling heights may be subject to change as detail design progresses.

Assumptions have been made for party walls thicknesses and may be subject to change as detail design progresses. No allowance has been made at this stage for thermal lining of external walls of existing buildings. If required this may affect GIAs as detail design progresses.

Walls Legend



Demolished wall
 Proposed wall

Lines Legend



- ----2100mm Headroom----1800mm Headroom
- 2
 Issued for planning submission
 DDV
 2015-07-06
 MJM

 1
 Issued for planning submission
 DDV
 2015-07-03
 MJM

 Revision
 Description
 Drawn
 Date
 Checked





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Client's Name Mount Anvil

Job Title Kidderpore Avenue

Drawing Title Maynard Wing Proposed SE Elevation and Section 1

1 : 100 @A1

Job No 157780

Drawing No PL-MW-201

FOR PLANNING

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