



26 Netherhall Gardens

Design & Access Statement

For Atlas Property Letting & Services Ltd

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1.0 Introduction

1.1 Executive Summary

Squire and Partners has been appointed by Atlas Property and Lettings to design a new residential building of the highest quality located at 26 Netherhall Gardens. This commitment to quality will be met in various ways;

- The building will feature design details that are deeply contextual, drawing inspiration from across the Conservation Area, and working them into a refined contemporary milieu.

- The proposal will deploy a palette of fine materials used throughout the Conservation Area.

- The building will be thoroughly sustainable and accessible.

1.2 Existing Building

No. 26 Netherhall Gardens dates from the later part of the nineteenth century. It is a 4 storey house with an exposed basement / lower ground floor, and a steeply pitched roof with two large dormers windows to the front. It is built in brown stock brick and red brick dressings and a clay tile roof. Since being built, it has been subject to a significant number of alterations that have had an impact on the original character of the building. The front door is accessed by a complicated arrangement of steps that has been altered to accommodate alterations to the lowest floor level.

There is also an unsympathetic modern side extension and garage and a large area of hard standing in the excavated front garden.



Fig 1.1.1 View of existing building at 26 Netherhall Gardens

1.3 Project Team

This application for planning permission is accompanied with input from a team of specialist consultants who have also prepared material in support of the application. The core project team and their roles include:

Atlas Property Letting & Services Ltd	Client
Squire + Partners	Architects
Savills	Planning Consultant
Heritage Consultant	Peter Stewart Consultancy
Sinclair Johnstone	Structural Engineers

Crown Consultants

TTP Consulting
Right of Light Consulting
Mecserve

Arboricultural
Consultant
Highways Consultant
Sunlight/ Daylight
Sustainability
Consultant



Fig. 2.1.1 A-Z Map

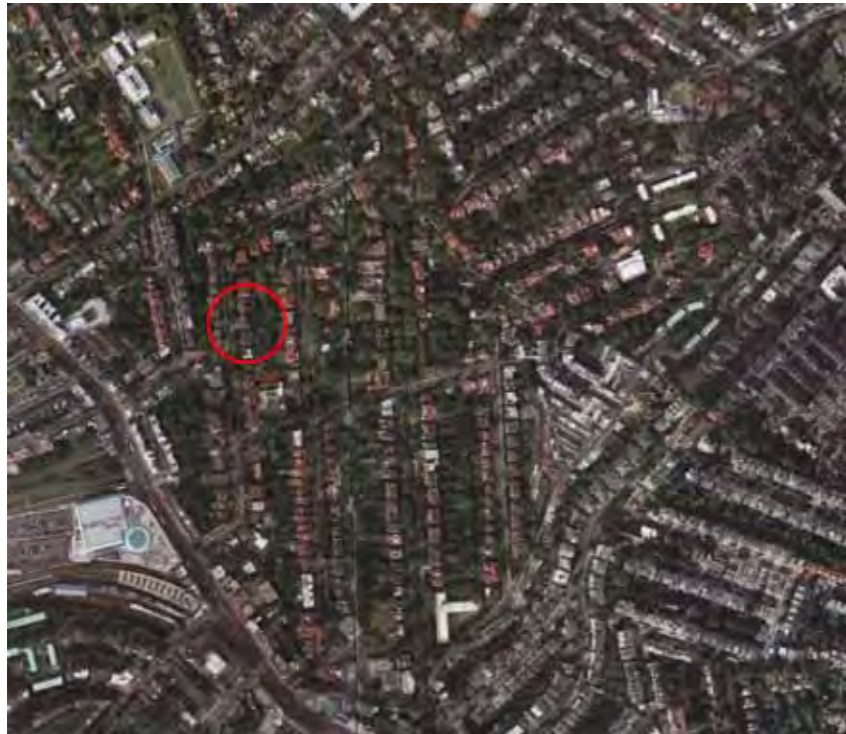


Fig. 2.1.2 Aerial View



Fig. 2.1.3 Location Plan

2.0 Site and Context Appraisal

2.1 Location

No. 26 Netherhall Gardens is located on the southern side of Netherhall Gardens, between Finchley Road and Fitzjohn's Avenue. The site is within a residential area, close to major as well as neighbourhood shopping and service centres (Finchley Road and Hampstead High Street respectively) as designated by the London Borough of Camden Core Strategy.

2.2 Site Access

The site is within walking distance of Finchley Road and Hampstead Tube Stations, as well as Finchley Road and Frognaal Rail Station. These lines provide excellent public transport links to all areas of Central and Greater London

There are several bus links to the site, predominantly along Finchley Road and Haverstock Hill.

2.3.1 Photographs and Description

No. 26 Netherhall Gardens dates from the later part of the 19th Century. It is a four storey house with an exposed basement and raised ground floor. It has a steeply pitched roof with two large dormers facing Netherhall Gardens. It is built in brown stock brick and red brick dressings and a red clay tile roof. The chimney stacks have been cut back and capped and those to the north lost. The raised main entrance to the building is reached by a fussy and ad-hoc arrangement of dog-legged steps that has been altered and extended since the house was built and which effectively prevent unaided access for ambulant and non-ambulant disabled persons alike.

2.3.2 Exterior

The external articulation of the elevations is both confused as well as compromised by later additions, as pointed out in the Heritage Consultants' report which accompanies this application. Whilst individual architectural elements have a certain value, the cumulative effect is less than the sum of parts. Windows are distributed in a manner which together is more random than picturesque. Other elements, particularly the bay, are cramped and ill-considered.

The plain south elevation is given an unfortunate importance by the much lower flanking extension. This modern side extension and garage dates from the 1950s, which has a detrimental impact on the amenity of the conservation area due to the low quality of design and execution, is also accompanied by a large and unsightly area of hard-standing over the greater part of the excavated front garden.



Fig. 2.3.1 South-east view of existing building



Fig. 2.3.2 North facing detail view of entrance steps



Fig. 2.3.3 Detail view of low quality extension



Fig. 2.3.4 View of the poor relationship between extension and original building



Fig. 2.3.5 View west



Fig. 2.3.6 View east showing neighbouring properties beyond garden



Fig. 2.4.2 Eastward view of Netherhall Gardens



Fig. 2.4.3 Westward view of Netherhall Gardens

2.4 Surrounding Scale, Character and Materials

2.4.1 Scale

The predominant surrounding scale on the east side of Netherhall Gardens is of substantial three and four storey detached and semi-detached dwellings which typically include pitched roofs. Figure 2.4.1, below, shows the existing building in red in the immediate context. Residential buildings on the west side of Netherhall Gardens range from five to seven storeys.

2.4.2 Character

As stated elsewhere in this report and in the supporting Heritage Statement, the character of the area is determined by the fact that the majority of the buildings in the immediate vicinity were constructed in the last quarter of the nineteenth century and exhibit 'influences...[of the] Queen Anne and Domestic Revival with purple and red brick, decorative ironwork, rubbed and carved brick, bargeboard and roof details', according to the Borough's Conservation Area Character Appraisal.

2.4.3 West side of Netherhall Gardens

The building frontage opposing our site on the west side of Netherhall Gardens is of a more uniform scale and character generally consisting of very large semi-detached and multiple ownership dwellings of six storeys, see Fig. 2.4.3. This frontage is a little further down a gradient as compared to the west side.



Fig. 2.4.1 Netherhall Gardens, existing east elevation

2.4.4 Materials

Both the existing building at No. 26 and those on either side and on the opposite side of the road make use of brick, decorative stucco/ render elements painted timber windows and fascias and slate or clay tile roofs with lead flashing.

These typical materials and elements, which contribute to a variety of vernacular idioms found in the locale, are shown on this page.

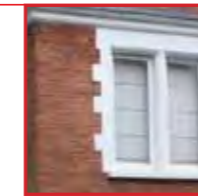
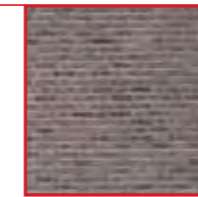


Fig. 2.4.4 Palette of materials in Netherhall Gardens



Fig. 2.6.1 Building uses



Fig. 2.6.2 Building storeys



2.6 Surrounding Land Use

2.6.1 The area is predominantly residential and, within that category, the majority are multiple owner/ tenant occupied. There are some institutional, educational and hotel buildings close-by. In the immediate vicinity to our site, all use is residential, see Fig. 2.6.1 adjacent.

2.6 Constraints

2.6.2 The existing building at No. 26 Netherhall Gardens is of four storeys above ground with the roof ridge line above those of the adjacent three storey buildings. No. 34, a few doors up in a northward direction is also four storeys. (See Fig 2.6.2, adjacent)

2.7 Environmental Analysis

2.7.1 Figure 2.7.1 illustrates the sun path and prevailing wind direction affecting the site. Since the orientation of the proposal will respect the existing building line, having a degree of fenestration on the south elevation is an effective means of maximising the amount of daylight received throughout the day. The prevailing wind comes from the south-west and is unlikely to be a commonplace disturbance due to the number of mature trees and relatively built-up topography.

Given that the character of Netherhall Gardens and the immediately surrounding roads is residential, noise will not be a material consideration.



Fig. 2.7.1 Environmental analysis



Fig. 2.8.1 Local public transport nodes

2.8 Transport

2.8.1 Public Transport

The site is approximately a seven minute walk from both Finchley Road & Frognal Station and Finchley Road Underground Station.

Finchley Road & Frognal Station is served by the North London Line, part of the Overground Network. There are 4 Westbound services to Richmond via Willesdon and 2 Westbound services to Clapham Junction per hour. There are 6 eastbound services to Stratford. National and International rails services are available from Stratford. The station is on London bus routes 13, 82, 113 and night route N13.

Finchley Road Underground Station is served by the Jubilee and Metropolitan Lines. The station is on is on London bus routes 13, 82, 113, 187, 268, C11 and night routes N13 & N113.

2.8.2 Private Vehicular Access

Netherhall Gardens is a quiet 2-way street with no through traffic onto Fichley Rd (A41). Finchley Road is accessed by private car traffic from the site via Fitzjohn's Avenue (B511). From there, the A41 gives rapid access southwards towards the Marylebone Road and northwards towards to the M1 motorway.

It should be noted that the existing building provides 3 No. independently accessible car-parking spaces.

2.8.3 Pedestrian Access

Netherhall Gardens, Netherhall Way, Maresfield Gardens and the other principal roads around all have dedicated pavements for pedestrian use.

2.9 Conservation Area & Listed Buildings

2.9.1 Conservation Area

26 Netherhall Gardens falls within the Fitzjohns/ Netherhall Conservation Area. The Conservation Area is characterised by large detached and semi-detached houses and a great variety of architectural idioms, including the various revival styles of the 19th Century and examples of the Arts and Crafts movement and vernaculars dating from the end of that century and into the early Twentieth.

2.9.2 The adopted Fitzjohns/ Netherhall Conservation Area Statement identifies the existing building at 26 Netherhall Gardens as making a positive contribution to the character and appearance of the Conservation Area.

2.9.3 Although deemed to be making a 'positive contribution', it will be demonstrated both in this document and the accompanying Heritage Statement that the existing building should, at best, be considered as making a limited contribution to a Conservation Area, because of the limited architectural significance of the original parts of the building, the poor quality of later additions and a range of other criteria.

2.9.4 Listed Buildings

There are two listed buildings on Netherhall Gardens. No. 6 and No. 50, both statutorily listed at Grade II. Neither is visible from the site.

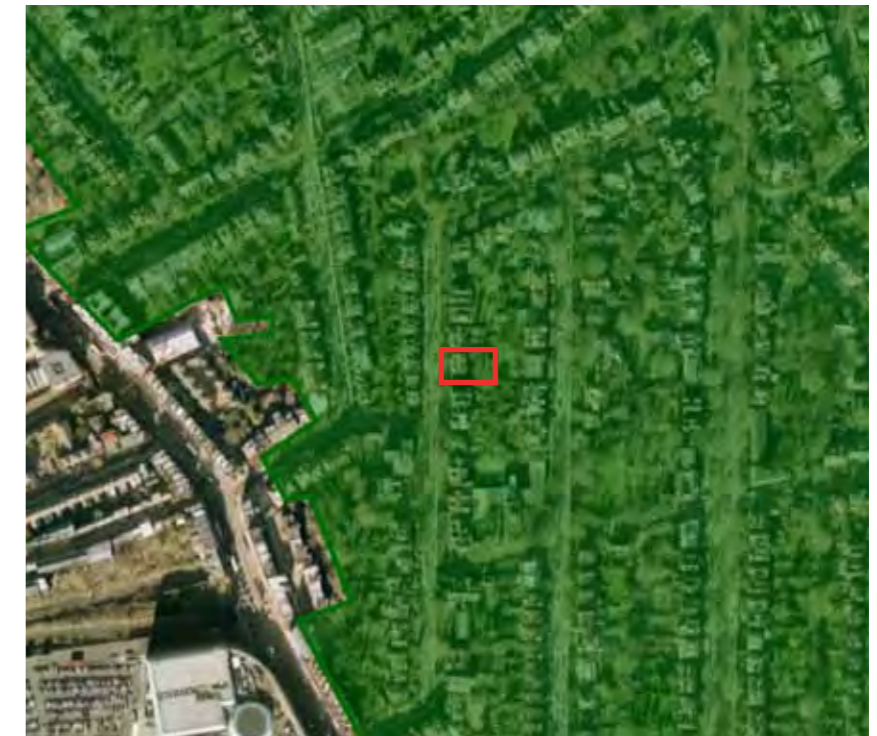


Fig. 2.9.1 Conservation area



Fig. 2.9.2 Listed buildings

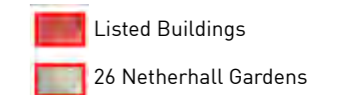




Fig. 2.10.1 Recently consented scheme at No. 14 Netherhall Gardens

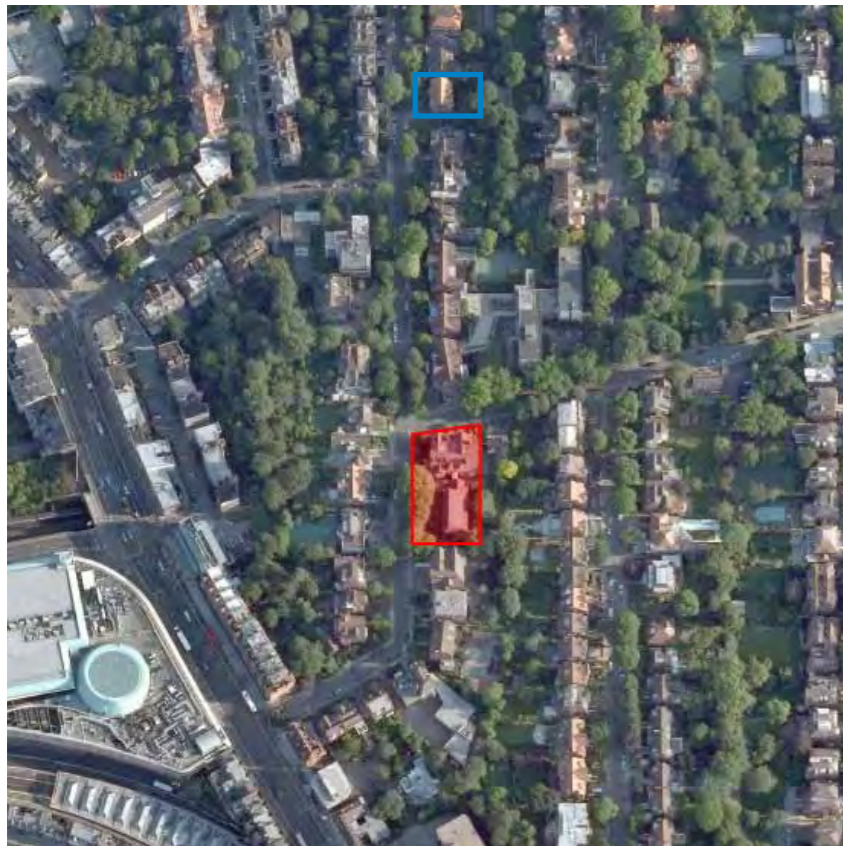


Fig. 2.10.2 Consented scheme at No. 14 Netherhall Gardens in blue, current application for No. 26 in red

2.10 Planning History and Policy Considerations

2.10.1 Planning History

26 Netherhall Gardens has had an uneventful planning history:

The basement garage with ground and first floor extension to the south side of the original late Victorian building was consented in December 1957 (ref no. 13774).

A Certificate of Existing Lawful use for the property was obtained in 2012 for use as five self-contained residential units, (Ref: 2012/4478/P). This established without ambiguity the use of the property as permanent residential.

Application 2014/6224/P did not receive consent. The reasons for this and how the new application successfully addresses the points raised are dealt with in a Planning Statement by Savills which accompanies this new application.

2.10.2 Planning Policy Considerations are examined in detail in the Heritage Statement undertaken by Peter Stewart Consultancy and the Planning Statement prepared by Savills, which both accompany this planning application.

2.10.3 Other Planning Consents

14 Netherhall Gardens (refs: 2013/2216/C, APP/X5210/A/13/2205355 and APP/X5210/E/13/2205358) was granted consent on appeal on the 15th April 2014. There are salient comparisons to be made with this application.

- The consented scheme uses an architectural language rooted in the context of Fitzjohn's Netherhall Conservation Area which takes on the traditional forms and features whilst developing a contemporary idiom underscored by crisp modern detailing.

- The consented scheme also deploys traditional materials found throughout the conservation area such as hand-made bricks, clay/ slate roof-tiles, painted timber, natural stone reveals and metalwork balustrades.

- The consented scheme includes the excavation of a substantial basement.

- The consented scheme involves the replacement of a compromised building with a building that is consistent with the scale and outline of substantial residential buildings found throughout the conservation area.

3.0 Consultation and Community Involvement

3.1 Statutory Consultation

A pre-application meeting for the previously submitted scheme was held with the London Borough of Camden on the 10th January 2014.

submitted that cut back the scheme at the rear to above ground levels adjacent to No. 24A.

3.1.1 A letter of advice (2013/7862/PRE) received at the end of March 2014. The advice received remains pertinent to the current application. Therefore, both this advice and its effect on the current scheme will be discussed in the following chapter of this document.

3.1.2 A decision notice relating to the previously submitted scheme (ref: 2014/6224/P) detailing reasons for refusal was received towards the end of January 2015. The scheme set out in this document has been designed to address the points raised in this notice.

The planning report accompanying this application outlines in detail how the current application addresses the points raised in the decision notice.

These points are not limited to the following noted here:

- The mature tree, (referred to as T6 in the application) is preserved and its setting as well as the streetscape is enhanced with the creation of a raised bed of planting.
- The provision of off street parking has been reduced from 5 No. to 3 No. places which represents no increase in provision over the existing.
- The existing vehicle cross-over is retained as existing. There is, therefore, no negative impact on the existing street tree (T5).
- The scheme provides 5 No. sheffield stands in the basement for 10 No. cycles, 2 No. for every apartment.

3.2 Community Involvement

3.2.1 During the planning determination period for application 2014/6224/P we liaised with the neighbour at No. 24A to ensure that our proposals took her concerns into account.

Prior to the issue of the decision notice, revised drawings were

4.0 Design Principles and Evolution

4.1 Brief

The client, Atlas Properties & Lettings, has instructed Squire and Partners to develop a prime quality residential development that realises the potential for the site for sustainable occupancy without compromising the highest design ethic.

4.1.2 The existing building is, as set out in previous chapters, a muddle of different and ill-fitting design elements. It has been converted into five flats on an ad hoc basis that does not make for efficient use of space or take account of the orientation of the site.

4.1.3 Therefore, the design brief specifies that five duplex apartments should make the full use of the site, creating rational and well oriented apartments with lift access and a level of mechanical and electrical specification, finishes and floor to ceiling heights required by market norms in this area. The client has stipulated the use of high quality materials, including handmade bricks and roof tiles, natural stonework and bespoke metal-work.

4.2 Evolution

4.2.1 Volumetric Studies

The existing buildings along Netherhall Gardens Road provided inspiration to experiment with the potential volume and form of the proposal. A selection of typical buildings have been assessed and reduced to their essential volumetric and formal qualities. Figure 4.2.2 shows the dominant architectural types that define the character of the area as a whole.

4.2.2 The proposed design follows the volumetric principle along the Netherhall Gardens and positively adds to the character of the conservation area.



Fig. 4.2.1 Southward view along Netherhall Gardens



Fig. 4.2.2 Massing Study of buildings along Netherhall Gardens

4.2.2 Initial design development therefore took the volumetric studies of the existing building as a starting point (see Fig. 4.2.3) so that any proposal would conform to the character of the Conservation Area and thereby make a positive contribution.

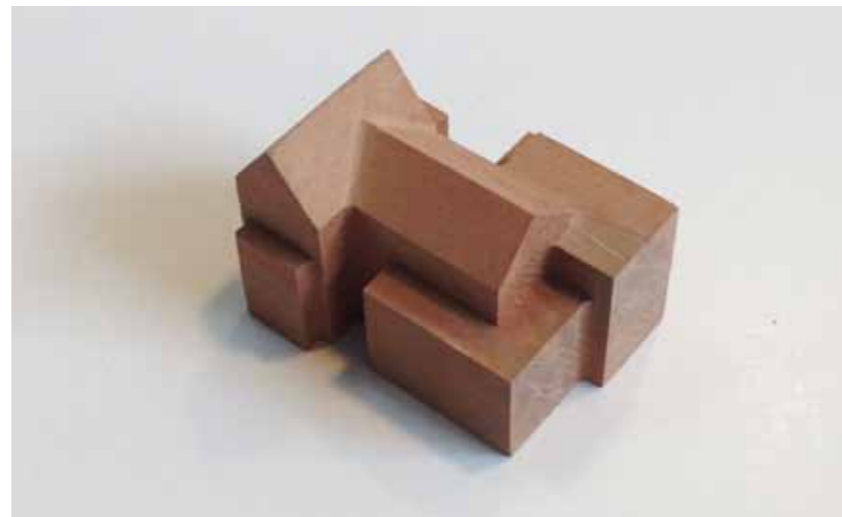
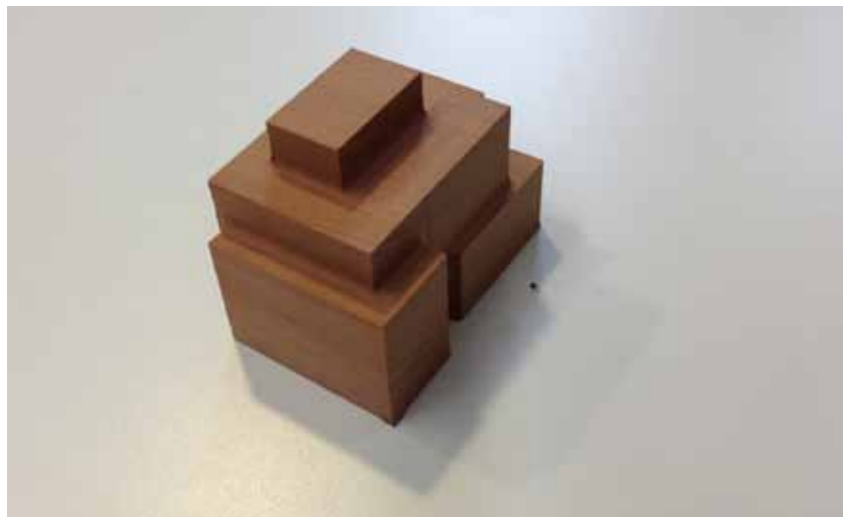
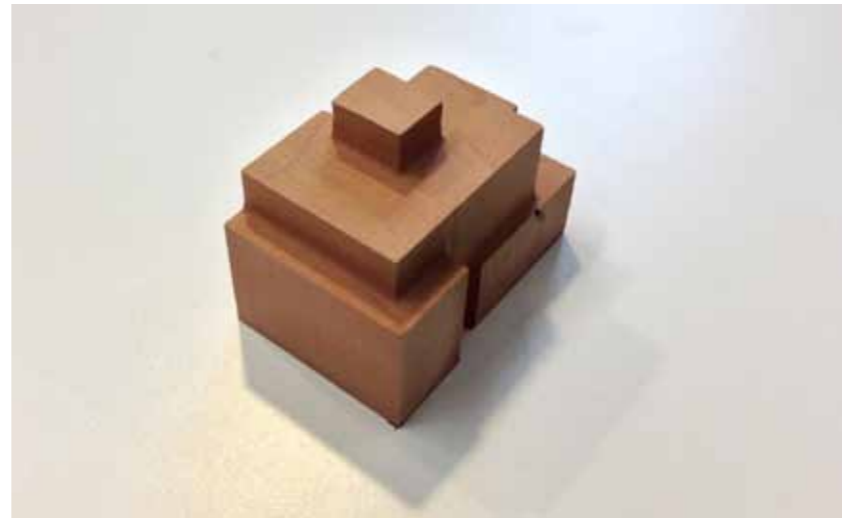
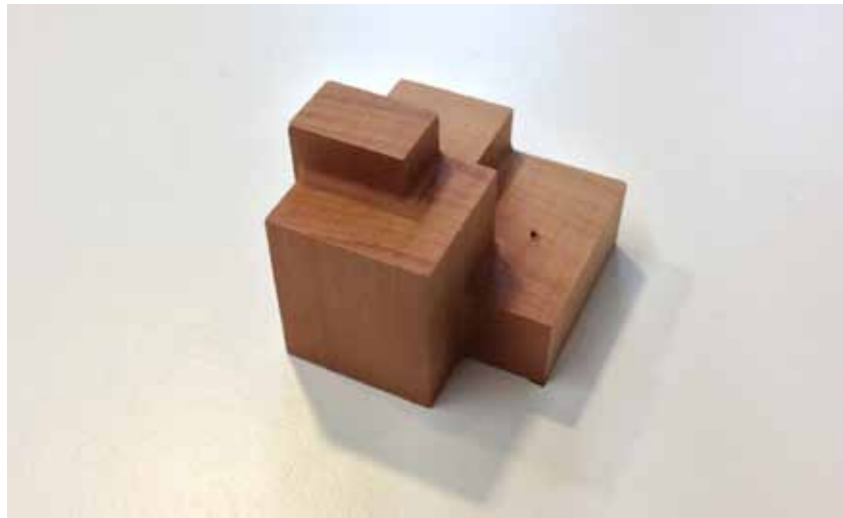


Fig. 4.2.3 Initial massing studies for the proposal

Fig. 4.2.4 Massing study for the proposal

4.2.5 Existing Height Datum Lines

The existing building takes little account of the scale and proportions of the immediately neighbouring buildings (see Fig. 4.2.7). Besides being considerably taller, the floor divisions are not in harmony with either of the adjacent buildings.

4.2.6 Building Line

The existing building adheres to the predominant building line along the frontage to Netherhall Gardens. To the rear, the adjacent building at No. 24 sits some way further back in comparison to No. 26. (Fig. 4.2.8).



Fig. 4.2.7 Existing height datum lines

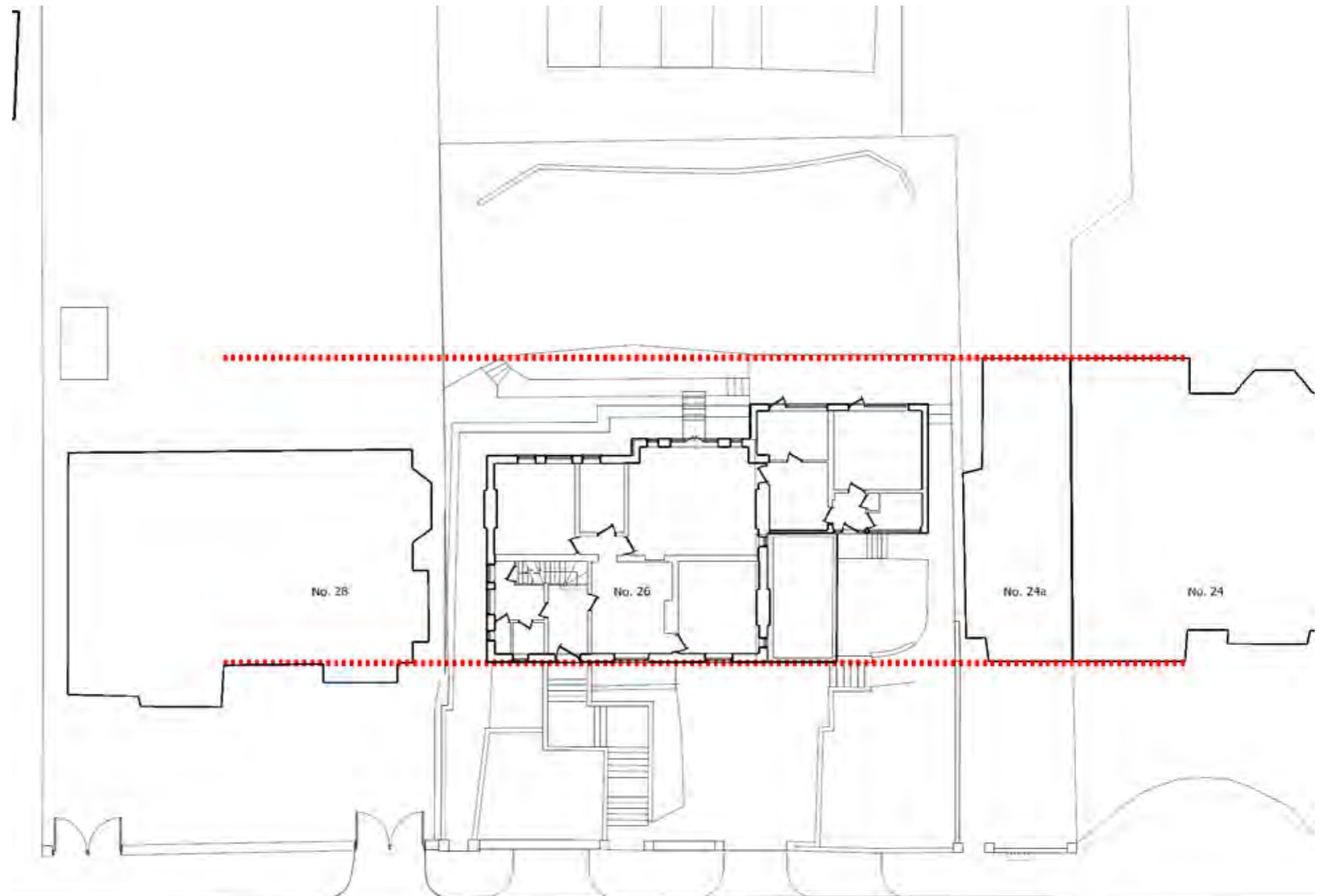


Fig. 4.2.8 Existing building lines



Fig. 4.2.9 Existing building widths, north-east view



Fig. 4.2.10 Existing building widths, south-west view

4.2.7 Widths between Existing Buildings

The distance between the existing building and the neighbouring buildings falls within the prevailing range of gaps between buildings on the same side of the road on the north side, adjacent to No. 28.

However, as seen in Fig. 4.2.9, the mid-twentieth century extension to the existing building, forms a gap with No. 24 that is not replicated anywhere else in Netherhall Gardens and which creates an unsightly 'broken-tooth' effect in the streetscape.

The gaps between buildings on the opposite side of the road are more regular, but narrower, than that of the existing building with its immediate neighbours.

4.3 Design Precedents

4.3.1 As well as drawing from volumetric forms and parameters derived from the existing built environment, the design has also sought precedents from other architects who have successfully created idioms that are at once contemporary whilst also respecting vernacular architectural idioms. See Figs. 4.3.1-4.3.5.



Fig. 4.3.1 Newham College, Cambridge, Allies and Morrison



Fig. 4.3.3 No. 59 Netherhall Gardens, Squire and Partners



Fig. 4.3.2 Robie House, Chicago, Illinois, Frank Lloyd Wright



Fig. 4.3.4 Riehl House, Potsdam-Neubabelsberg, Ludwig Mies



Fig. 4.3.5 No. 28 Netherhall Gardens, adjacent to proposal



Fig. 4.3.6 Detail of adjacent image, left



Fig. 4.3.7 No. 50 Netherhall Gardens, statutorily listed at Grade II



Fig. 4.3.8 Detail of adjacent image, left, showing the simplicity of the mouldings

4.3.2 The proposal also develops the vernacular found in the Netherhall and Fitzjohn Conservation Area. Particular regard has been given to the adjacent building at no. 28, where, as will be seen later in this document, the bay has been re-interpreted in a more contemporary style.

Likewise, the detailing employed in the most distinguished building in the locale, No. 50 Netherhall Gardens, has deeply influenced the articulation of stonework in our proposal. The simplicity of mouldings employed in this statutorily listed building, which it should be noted are daringly square-cut, have been further developed and deployed in the proposal described in this document.

4.4 Previous Application Letter of Advice

4.4.1 A meeting at the London Borough of Camden took place on the 10th January 2014, at which a previous proposal was discussed with the Local Authority Case Officer as well as the Conservation and Design Officer.

4.4.2 A formal letter of advice relating to the previous application was received at the end of March 2014. The main points of this letter were as follows:

- The principle of demolition is acceptable 'if it can be established that the original building should be demolished and that the replacement building is of a high quality.'
- The partial occupation in width of the site by the existing building is 'atypical'.
- The lowering of the roof ridge-line of the pre-application proposal 'follows the prevailing pattern' of the neighbouring properties.
- Level access from the street 'is considered desirable', although the advice also points out that the prevailing pattern in the immediate context is for raised entrances.

4.4.3 The letter also makes specific reference to aspects of the detail design of the pre-application scheme:

- The distribution of windows within the elevation to Netherhall Gardens is too 'regular' in pattern when compared to the informality of the existing building or its neighbours.
- The fenestration is overly repetitious in design.
- The dormers are 'over-scaled' compared to those adjacent as well as being more rectilinear.
- The use of glazed balustrades to the front elevation is 'out of keeping with the wider area.'
- Proposal is overly 'monolithic'.
- The proportions of the ground floor are 'squat'.
- The detailing 'fails to reflect the surrounding context'.

4.4.4 As set out in the Officer's report for the recently refused proposals, no points were raised with regard to the height, massing or detailed design of the replacement dwelling and it was considered to respond well to its immediate context.

During the course of the application, and following discussions with the occupier of 24a Netherhall Gardens, the rear main wall to the replacement dwelling was partially set back in order to protect the amenities of the neighbouring residential dwelling. No objections were raised to this amendment on design grounds and it was considered to resolve the initial amenity concerns sufficiently.

This element of the previous scheme has been brought forward as part of the current proposals.

4.4.5 Amendments to address the specific points raised both by the previous proposal pre-application letter of advice as well as those raised by the report accompanying the planning refusal have been incorporated in the proposals presented with the current application. Our proposed revised design is detailed on the following pages

4.5 Design Proposal

4.5.1 Proposed Ridge Heights

Care has been taken that the proposal should be more in scale with the context by lowering the roof ridge-line.

The Letter of Advice (2013/7862/PRE) remarks that the high roof ridge line of the existing building does not necessarily 'require resolution' by a replacement with a new building. However, in line with the principles already set out regarding the overall scale, mass and bulk of any replacement, we have been careful to ensure the greater congruence of the proposal with the streetscape by considerably reducing the roof ridge-height.

The lowered roof ridge-line of the proposal falls comfortably within the prevailing roof ridge height and is several metres below the ridge-line of the existing building at No. 26.

The increased width of the proposal (refer to section 4.4.3) is mitigated by this considerable decrease in height.



Fig. 4.5.1 Ridge height of houses, as existing



Fig. 4.5.2 Ridge height of houses, as proposed

4.5.2 Building Line

The building line along the frontage to Netherhall Gardens has been respected. Although occupying a larger footprint to the existing building, shown in a blue dashed line on the plan opposite, at the rear our proposal respects the building line of No. 24, immediately adjacent.

The rear building line also steps progressively back towards the adjacent existing building at No. 28. (See Fig. 4.5.3)

The recession and projection of bays reduces any 'monolithic' effect and has been designed to reflect the informal and varied character of neighbouring houses in the Netherhall and Fitzjohn Conservation Area.

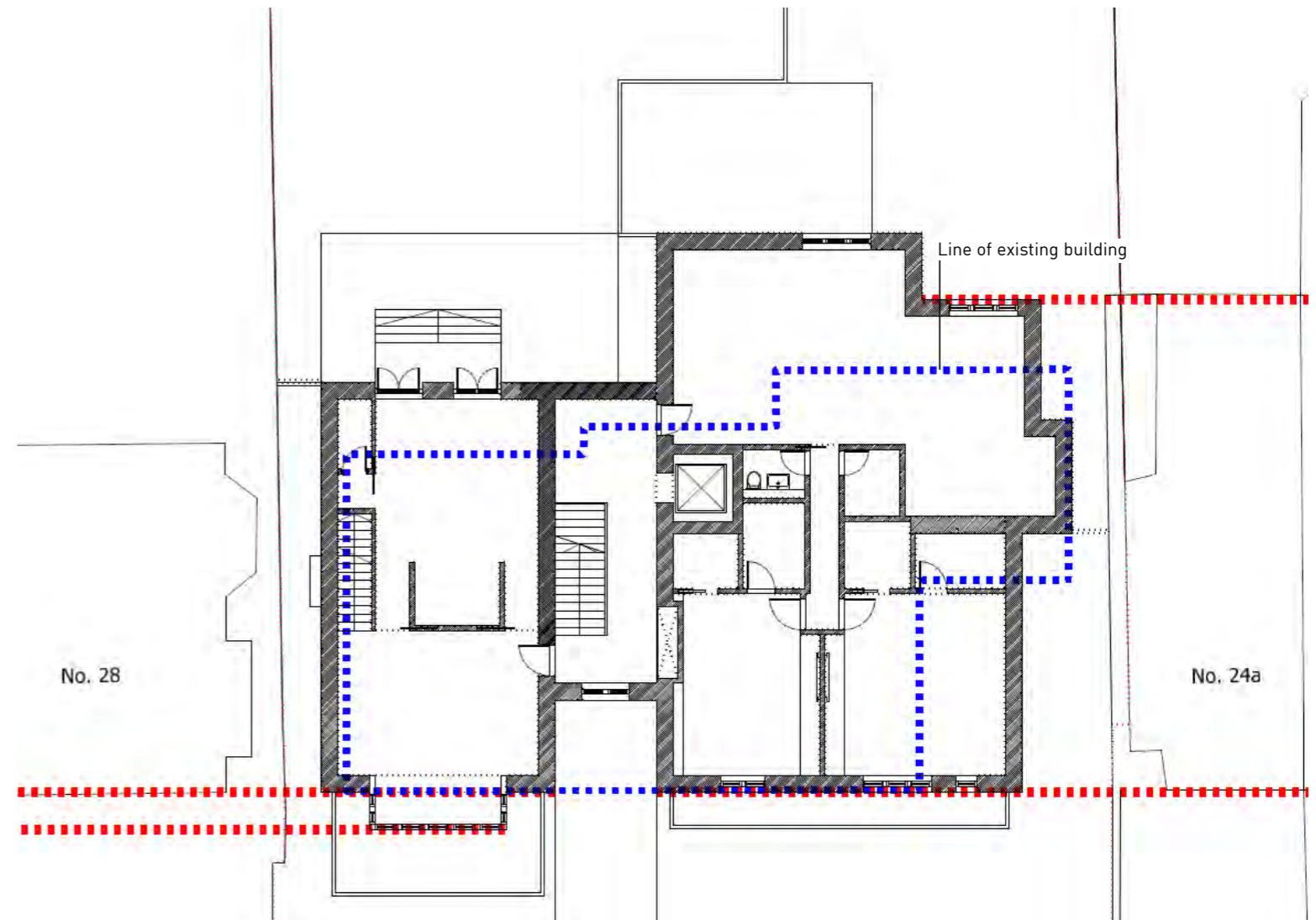


Fig. 4.5.3 Proposed building lines

4.5.3 Widths between buildings

The distance between the proposed building and its neighbours is greater than the dimensions of several near neighbouring properties on the same side of the street. The gap between the existing building and the adjacent No. 24 is greater still when the much lower 1950s extension is discounted, leaving a visual interval completely uncharacteristic of the streetscape and conservation area. (Fig. 4.5.4)

The width between the proposed building and adjacent buildings is within the prevailing range of interval widths along the east side of Netherhall Gardens. (Fig. 4.5.5)



Fig. 4.5.4 Elevation showing widths between buildings, existing



Fig. 4.5.4 Elevation showing widths between buildings, proposed

4.6 Design Response to Previous Application Letter of Advice

4.6.1 Fenestration Layout

The pre-application scheme (left, above) distributed windows in a regular grid both from left to right and from top to bottom. The amended proposal (right, above) breaks down this regularity, both from left to right as well as off-setting openings from floor to floor.

4.6.2 Fenestration Detail

The pre-application scheme has two window types. The amended design features a greater variety of window types, which is a characteristic of the Netherhall and Fitzjohn Conservation Area.



Fig. 4.6.1 Previous pre-application

- Window Type A
- Window Type B

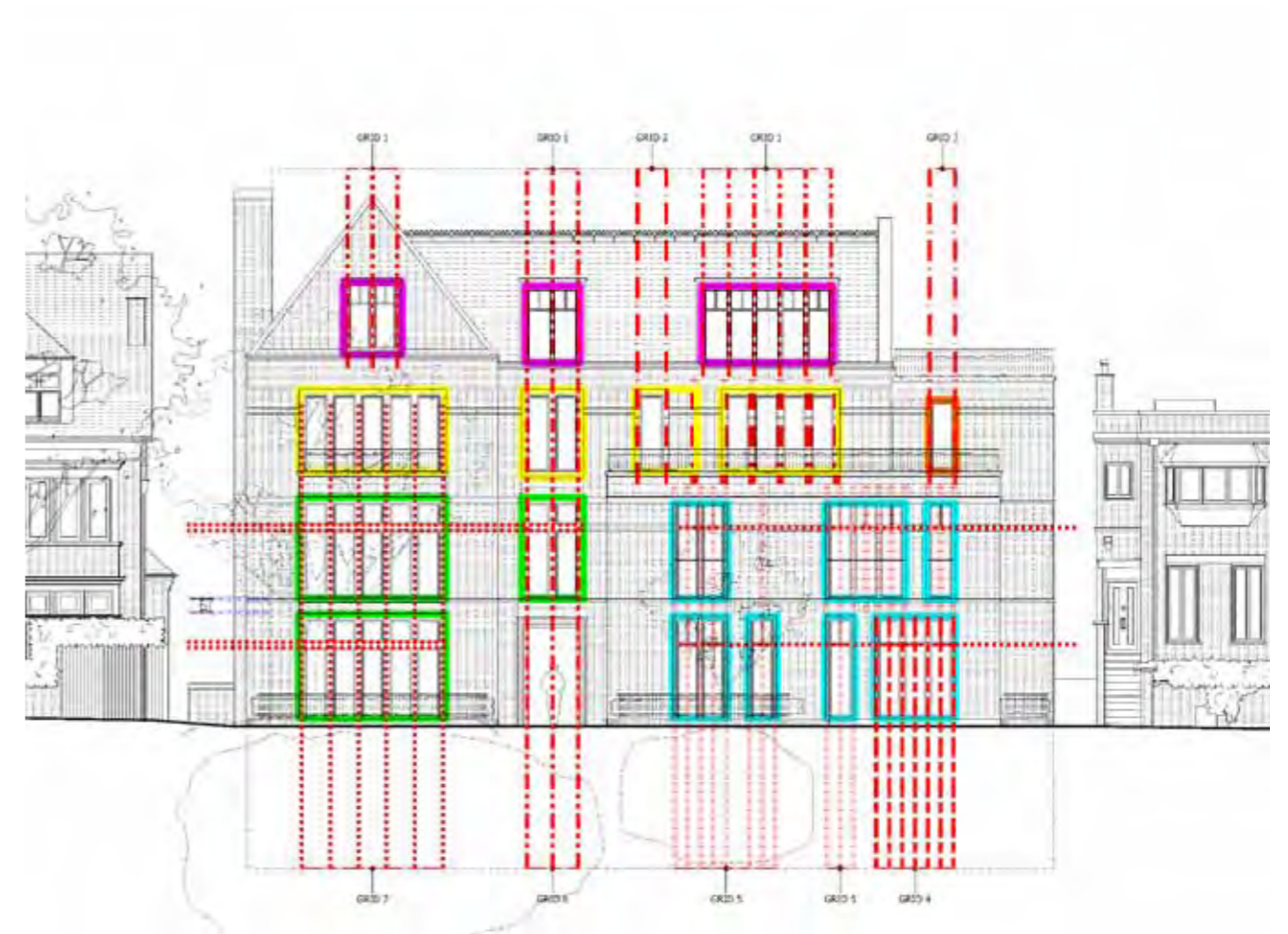


Fig. 4.6.2 Application elevation

- Window Type A
- Window Type B
- Window Type C
- Window Type D
- Window Type E

4.6.3 A similar approach has been adopted at the rear of the proposal with respect to the distribution of windows and the details employed. The cumulative effect is to address the point raised with regard to over-regularity in the previous Pre-Application Letter of Advice and to ensure that the proposal exemplifies the outstanding salient characteristics of the conservation area. A cut-back has also been introduced to this elevation in response made to a point raised by the neighbour at No. 24 A.

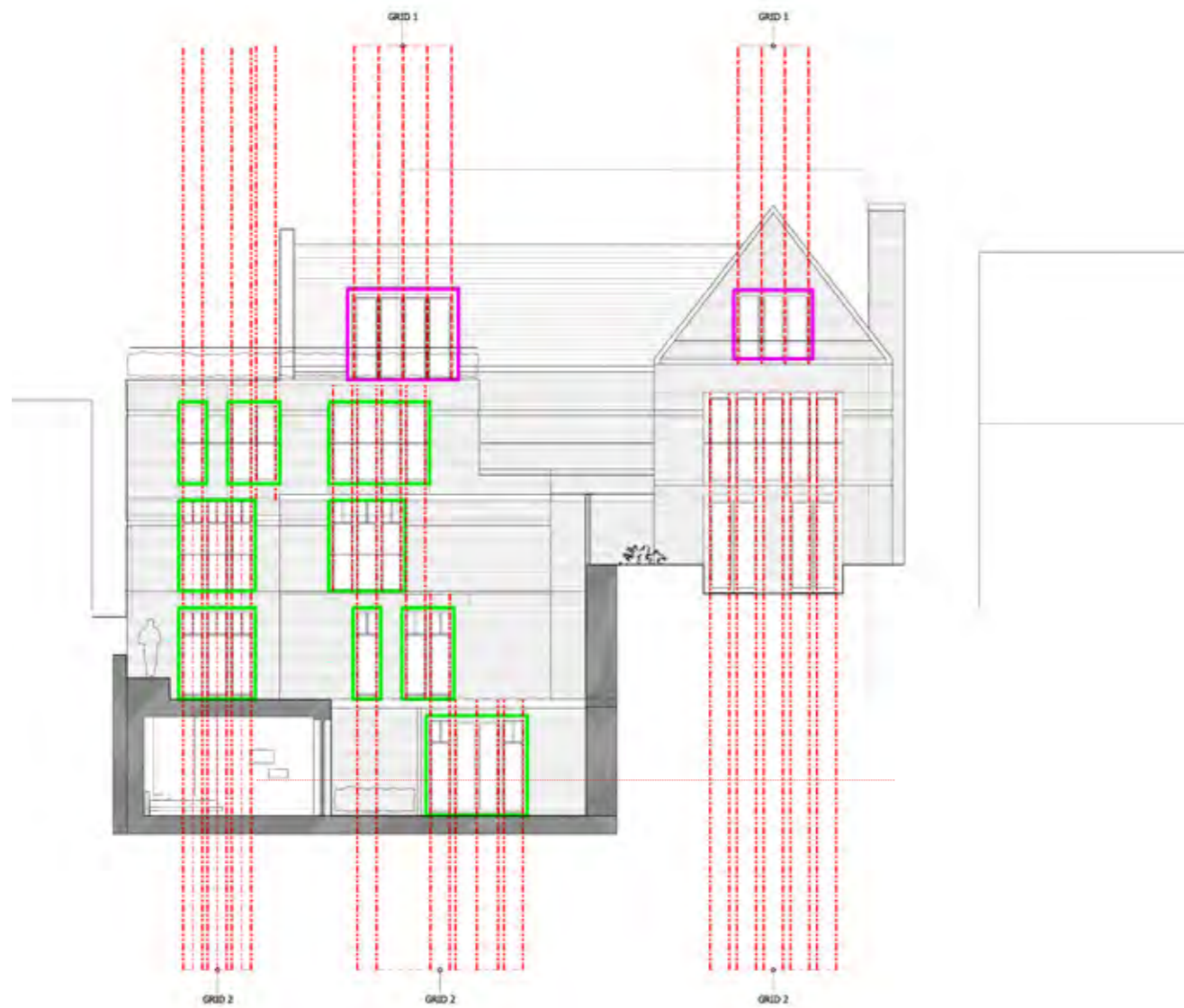


Fig. 4.6.3 Previous pre-application

- Window Type A
- Window Type B

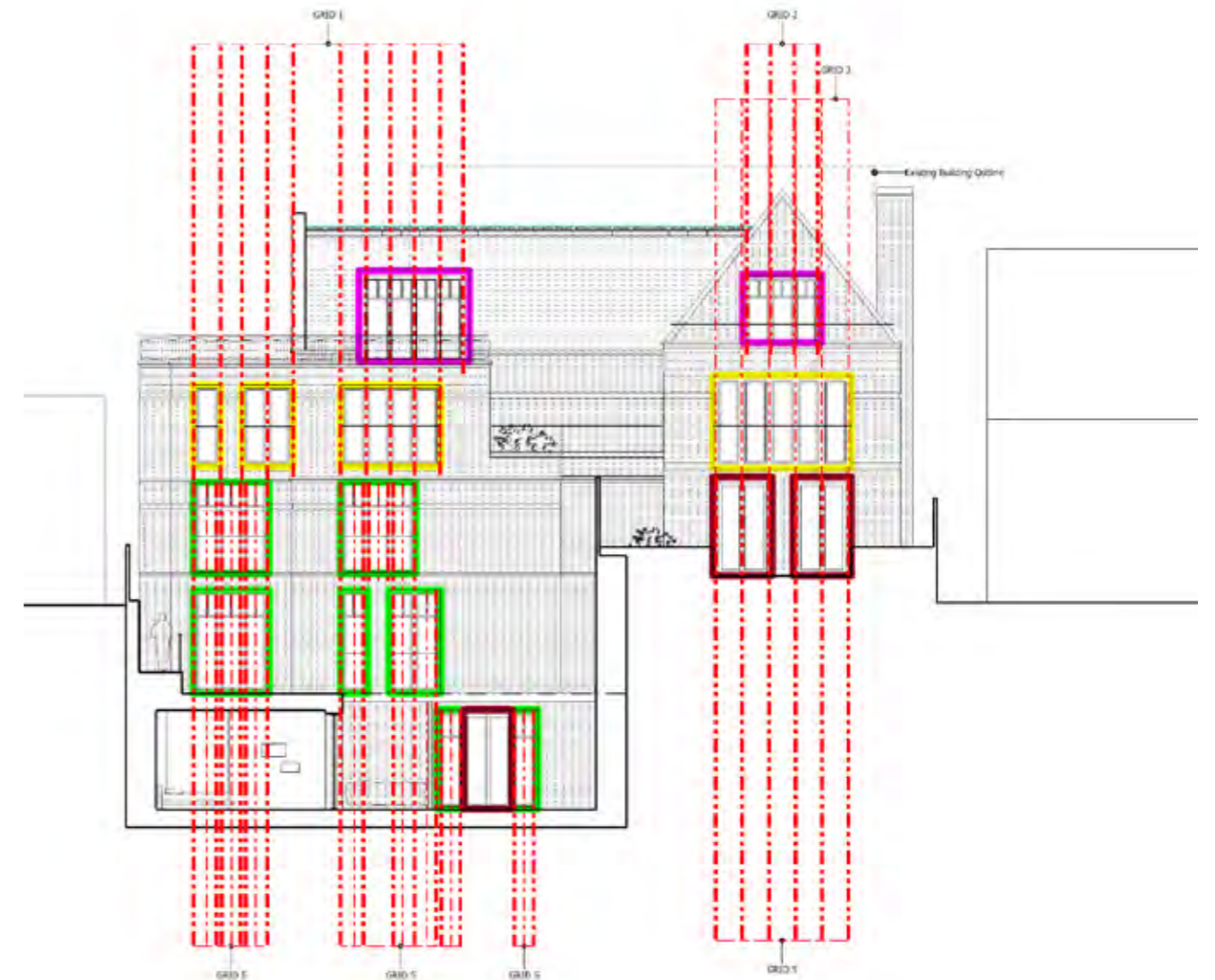


Fig. 4.6.4 Application elevation

- Window Type A
- Window Type C
- Window Type B
- Window Type D

4.6.4 Floor Proportions

The proportions of the floors in the revised scheme have been amended to give greater prominence to the ground floor, in accordance with Local Planning Authority advice.

The walls around the light-wells have also been reduced to give a sense of greater verticality to the ground floor windows.

4.6.5 In response to points raised about the scale and massing of the previous pre-application scheme;

- The chimney height has been reduced
- The cornice has been broken into to three descending lines to provide a sense of movement to the elevation.
- The left hand window bay has been cut back to 5 no. lights from 7, in order to scale more harmoniously with the gable elevation.



Fig. 4.6.4 Previous Pre-application elevation



Fig. 4.6.5 Proposed scheme elevation

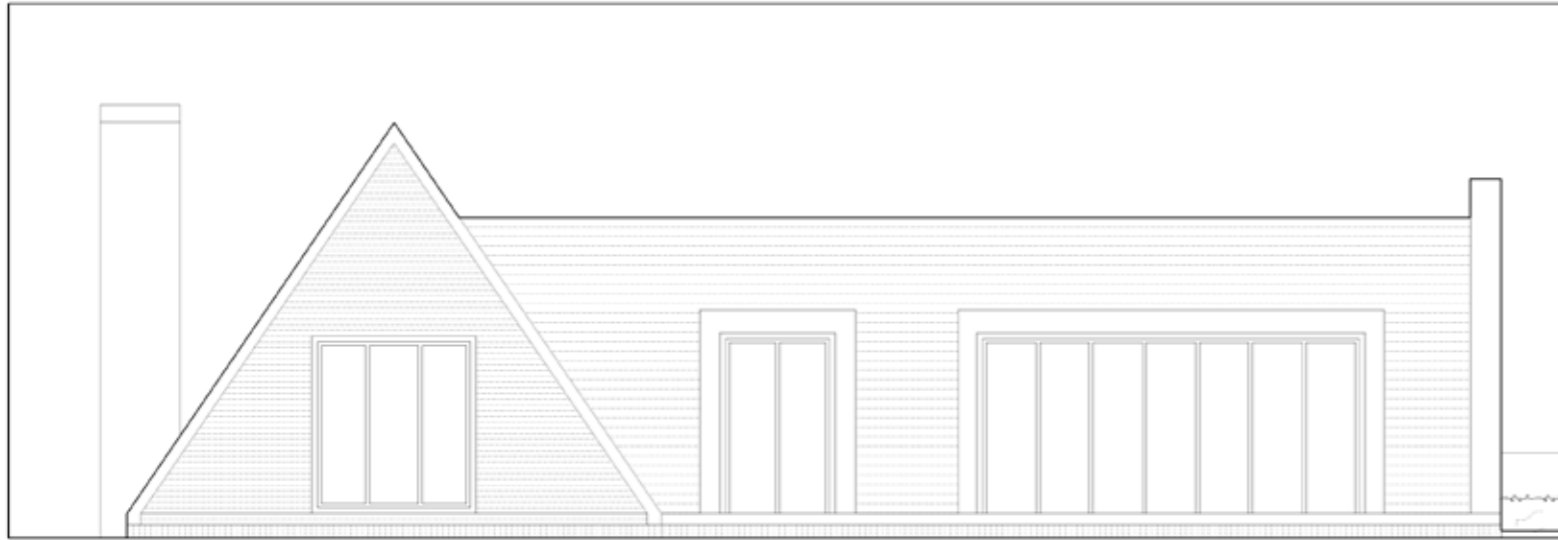


Fig. 4.6.6 Previous pre-application roofscape diagram



Fig. 4.6.7 Proposed roofscape diagram

4.6.6 Dormers

The proportions of the dormers have been reduced to better suit the immediate surrounding context. (See illustrations, 4.6.6 and 4.6.7 on this page.)

The profile detail of the dormer has also been amended to overcome the rectilinear character of the dormers of the pre-application scheme identified in the letter of advice.

4.6.7 Contextual Design

The proposed design ethos is contemporary, but seeks to take cues from the existing environment and vernaculars, as seen in Section 4.3.

This is exemplified in the case of the windows, where the traditional vernacular of stone mullions and transoms with timber casements has been translated into a more modern idiom. The transoms and mullions are a contemporary interpretation of the bay window found in the adjacent building at no. 28. The proposed design takes care to observe the dimensions and proportions of the existing neighbouring building.

This progressive vernacular helps underline how the proposal is appropriately contextual and will therefore make a positive contribution to a conservation area.

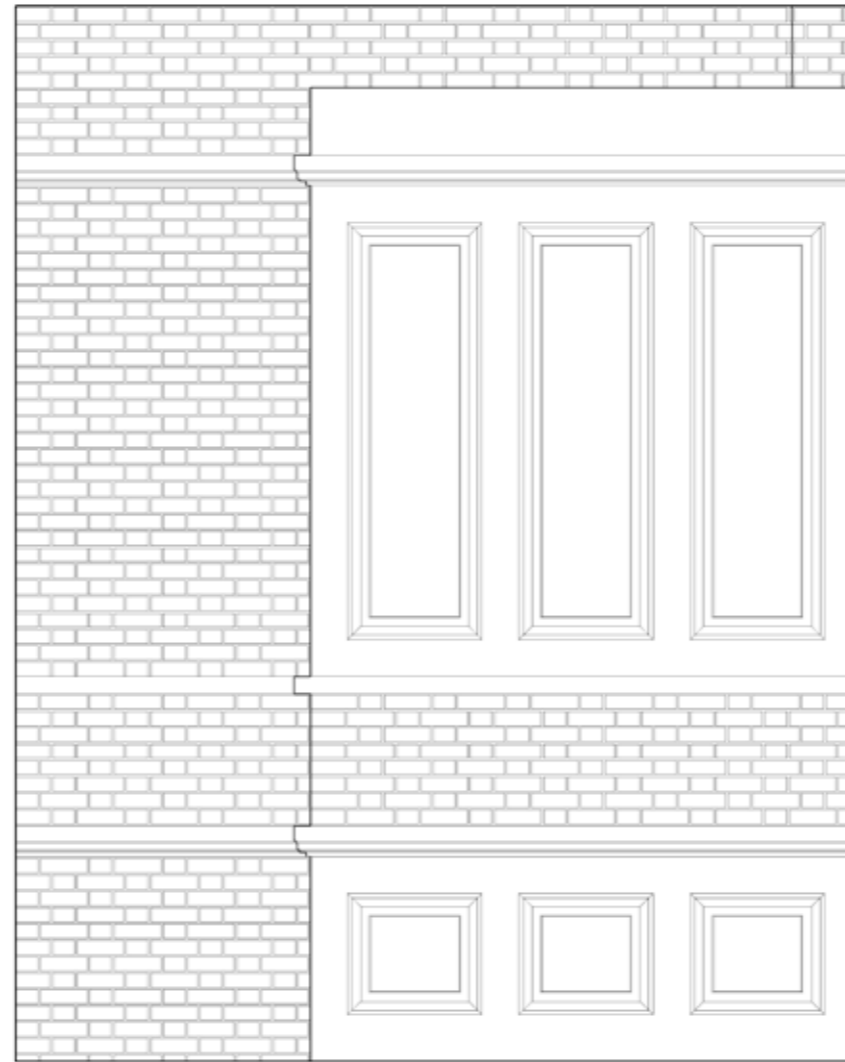


Fig. 4.6.8 Detail elevation of No. 28 window bay

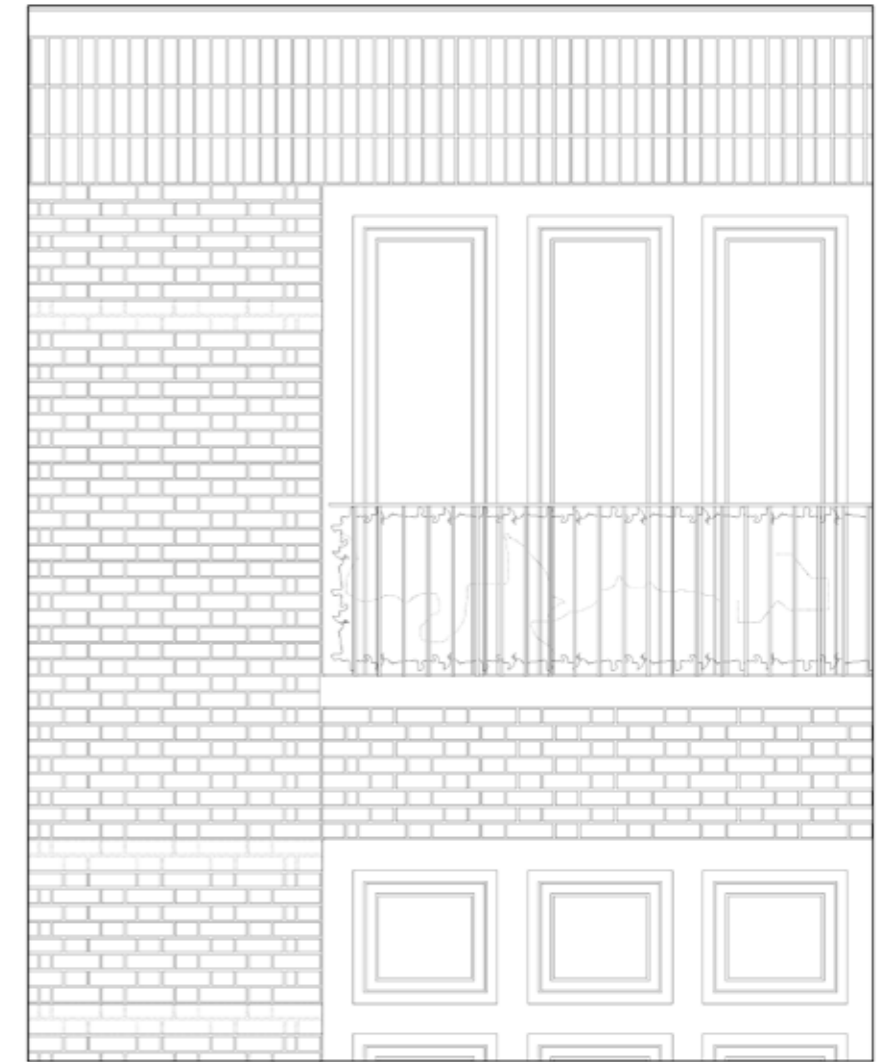


Fig. 4.6.9 Detail elevation of proposal window bay



Fig. 4.6.10 Conservation area details and materials



Fig. 4.6.11 Proposed scheme details and materials

4.6.8 Quality of Detail and Materials

The integrity of the proposed building design is derived from the cumulative impact of details and features which have been drawn from the best examples in the vicinity and recast in a contemporary idiom. These details take in moulding profiles, special brickwork, bespoke roof tile details as well as window types from the most architecturally interesting local buildings.

A high quality palette of materials, such as hand-made and special bricks, clay roof tiles and natural stone is deployed in a manner consistent with the best exemplars in the conservation area.

4.6.9 Conclusion

The proposed building has evolved not merely to respect the existing parameters and datums drawn from the immediate vicinity but to improve upon them where the existing building fails to do so.

It draws its construction palette from the natural materials found in the conservation area.

It takes its design cues from a rigorous analysis and development of the varied architectural dialects found in the conservation area and, in engaging with these styles, creates an approach which is at once utterly contextual as well as belonging to its time.

In doing so, the proposed design more thoughtfully respects the character of a conservation area than the existing building.

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- White Stone
- Roof Ridge Tiles
- Roof Tiles
- Metal Dormers with painted timber casements
- Metal Balustrade
- Soldier Course to Brickwork
- Brick Recess
- White Stone String Course
- Brick Recess
- White Stone String Course
- White Painted Timber Frames

Issued for Information	24/04/15	GH	A
Revision description	Date	Check	Rev

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Project
**26 Netherhall Gardens,
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 London. NW3.**

Drawing
**Proposed West Elevation
 Bay Study**

Drawn	Date	Scale
GH	23/04/2015	1: 5000 1: 10000
Job number	Drawing number	Revision
04009	G200_BS_TY_001	A

4.7 Sustainability and Renewable Energy

4.7.1 Energy Strategy

The development will utilise low energy building services solutions to keep energy use and carbon emissions to a minimum. The proposed scheme will be fully compliant with building regulations. A hierarchy approach to reducing energy consumption for the development will be adopted and developed along the following principles;

Be Lean

- High levels of insulation in the building fabric
- Enhanced air leakage standards
- Facade design to optimise natural daylight and reduce solar gains
- Use energy efficiently
- Low energy light fittings
- Energy efficient boilers

Be Clean

Low carbon and renewable energy options for the site which include the following:-

- All deliveries to site to be via electric vehicles
- Demolition and construction to take account of the Mayor's Business Waste Strategy for London, Policy 4.

Be Green

- Highly insulated wall and roof build-ups ensure efficient use of energy
- Deep window reveals limit solar gains during the summer

4.7.2 Sustainability Strategy

The sustainability strategy will adopt the principles set out in the in the Supplementary Planning Guide for Sustainable Design and Construction

This approach is designed to satisfy the requirements of Greater London Authority with respect to the implementation of the London Plan.

This will include the following measures across all disciplines:

- Re-use land and buildings
- Conserve energy, material, water and other resources
- Ensure designs make the most of natural systems both within, in and around the building
- Reduce the impacts of noise, pollution, flooding and micro-

climatic effects

- Ensure developments are comfortable and secure for users
- Conserve and enhance the natural environment, particularly in relation to biodiversity
- Promote sustainable waste behaviour in new and existing developments, including support for local integrated recycling schemes, CHP schemes and other treatment



5.0 Accessibility

5.1 Access Statement

- 5.1.1 This access statement has been prepared in support of the planning application which has been submitted for No. 26 Netherhall Gardens on behalf of Atlas Property Lettings and Services Limited.
- 5.1.2 The purpose of this statement is to outline the overall approach to inclusive design within the scheme in accordance with the relevant local and national planning guidance, along with how the different access principles will be implemented into the scheme and managed.
- 5.1.3 The scheme provides a safe, legible, high quality environment that will be easily used by as wide a range of people as possible without undue effort, special treatment or separation.
- 5.1.4 The site will benefit from simple access to Finchley Road Underground Station; this gives the site excellent access to the Jubilee and Metropolitan lines. Also within a seven minute walk from the site is Finchley Road and Frognal Station which is served by the rail and Overground networks. Finchley Road is a key arterial route which provides a significant number of bus routes and a local bus stop, as well as general traffic for taxis and cars. In addition, level pedestrian access is provided to the site directly from all surrounding streets.
- 5.1.5 Collectively, these transport modes provide the site with a large public transport catchment area which benefits from excellent accessibility. The development proposals will continue this existing good level of accessibility to the mobility impaired, in line with requirements set out in National Guidance and the London Borough of Camden UDP.
- 5.1.6 The key points of the proposed development are as follows:
- 5 No. residential apartments
 - 2 No. car parking spaces located to the Netherhall Gardens forecourt
 - 1 No. Disabled Bay car parking space, same location as above.
 - 5 No. sheffield stands cycle storage spaces, located in the basement, which is accessible by lift.

- 5.1.7 Netherhall Gardens is on a gentle gradient running north to south. The main entrance to the building comes from the Netherhall Gardens frontage which gives access to an Approved Document Part M compliant ramp, leading to flush step free access through doors designed to suit wheelchair access requirements. There is a change of level of 610mm between the northern and southern corners of the site to Netherhall Gardens which the proposal effectively negates.
- 5.1.8 The residential building is spread over 5 floors above ground with 1 No. basement level, all of which have flush lift primary access and escape.
- 5.1.9 The following documents have been referred to in the development of the scheme:
- London Borough of Camden Planning Guidance
 - Relevant British Standards
 - Part M of the Building Regulations
 - The London Plan, GLA
 - Lifetime Homes
 - CABE guidance on design and access statements
- 5.1.10 The London Borough of Camden UDP has been reviewed carefully in the light of mobility impaired access and policies have been accounted for in the design.
- 5.1.11 Parking and Access to and around the Building Underground (Finchley Road) Finchley Road Underground Station has no step free access. Overground (Finchley Road & Frognall Park) This station also has no enhanced provision for disabled persons.
- 5.1.12 Bus Services Accessible buses are operated on most routes serving Finchley Road, nearby, facilitating access by the mobility impaired.
- 5.1.13 Parking Public transport in this densely built area of London is of a good standard. The limited amount of parking is primarily due to the limited frontage to the site.
- 5.1.14 10 cycle spaces are provided for residential users on all levels. This provision is considered adequate for this type of

development in this type of area.

- 5.1.15 The Approved Document M 6 Person lift and the escape staircase on the adjacent side of the entrance hall go to Lower Ground and Basement levels.
- 5.1.16 Access to and around the building Access along Netherhall Gardens is level with the pavement. An appropriate level of external lighting will be provided in open spaces, to be addressed during the detail design.
- 5.1.17 Access into the Building
- Flush thresholds are provided into all ground floor areas.
 - Flush thresholds are provided into all residential cores.
 - Handrails to ramps and stairs suitably detailed
 - Minimum clear width to stairs 1200mm.
- 5.1.18 Within the Building The Residential entrance is provided with adequate space to manoeuvre, to suit Part M and Lifetime Homes. All corridors are minimum 1500mm clear width. Flush thresholds are provided into the common parts giving access to the lift. The building has 1 No. lift for the residential apartments. All corridors are minimum 1200mm clear width
- 5.1.19 Communications and controls This will be addressed in detail design Generally, signage will be clear, legible, and consistent. Consideration will be given to providing auditory signals for the visually impaired and visual signals for the auditory impaired. All fire alarms to be both visual and auditory, to be addressed during detail design.
- 5.1.20 Refuse Refuse stores are provided externally to the boundary with No. 24. All slopes giving access to the Refuse storage area will be Approved Document Part M compliant. It will be the responsibility of residents to take refuse from their apartments to the refuse store for collection by local authority contractors.

6.0 Scheme

6.1 Area Schedule

26 Netherhall Gardens, Hampstead, London NW3

Schedule of Areas, 24 April 2015, Rev -

Existing

	GIA		GEA	
	<i>sq.m.</i>	<i>sq.ft</i>	<i>sq.m.</i>	<i>sq.ft</i>
Lower Ground	125	1,345	146	1,571
Ground Floor	196	2,109	217	2,335
1st Floor	199	2,141	220	2,367
2nd Floor	212	2,281	231	2,486
3rd Floor		-		-
4th Floor		-		-
TOTAL	732	7,876	814	8,759

Proposed

	GIA		GEA	
	<i>sq.m.</i>	<i>sq.ft</i>	<i>sq.m.</i>	<i>sq.ft</i>
Basement 1	117	1,259	165	1,775
Lower Ground	324	3,486	516	5,552
Ground Floor	270	2,905	311	3,346
1st Floor	264	2,841	304	3,271
2nd Floor	187	2,012	225	2,421
3rd Floor	125	1,345	144	1,549
TOTAL	1287	13,848	1665	17,915

GEA Include light well area at lower ground floor.

Areas are approximate only and subject to change through planning, design and development.

6.2 Drawing Issue List

6.3 Existing Drawings

04009_JA12_P_00_001
04009_JA12_P_LG_001
04009_JA12_P_01_001
04009_JA12_P_02_001
04009_JA12_P_03_001
04009_JA12_S_AA_001
04009_JA12_E_N_001
04009_JA12_E_S_001
04009_JA12_E_E_001
04009_JA12_E_W_001

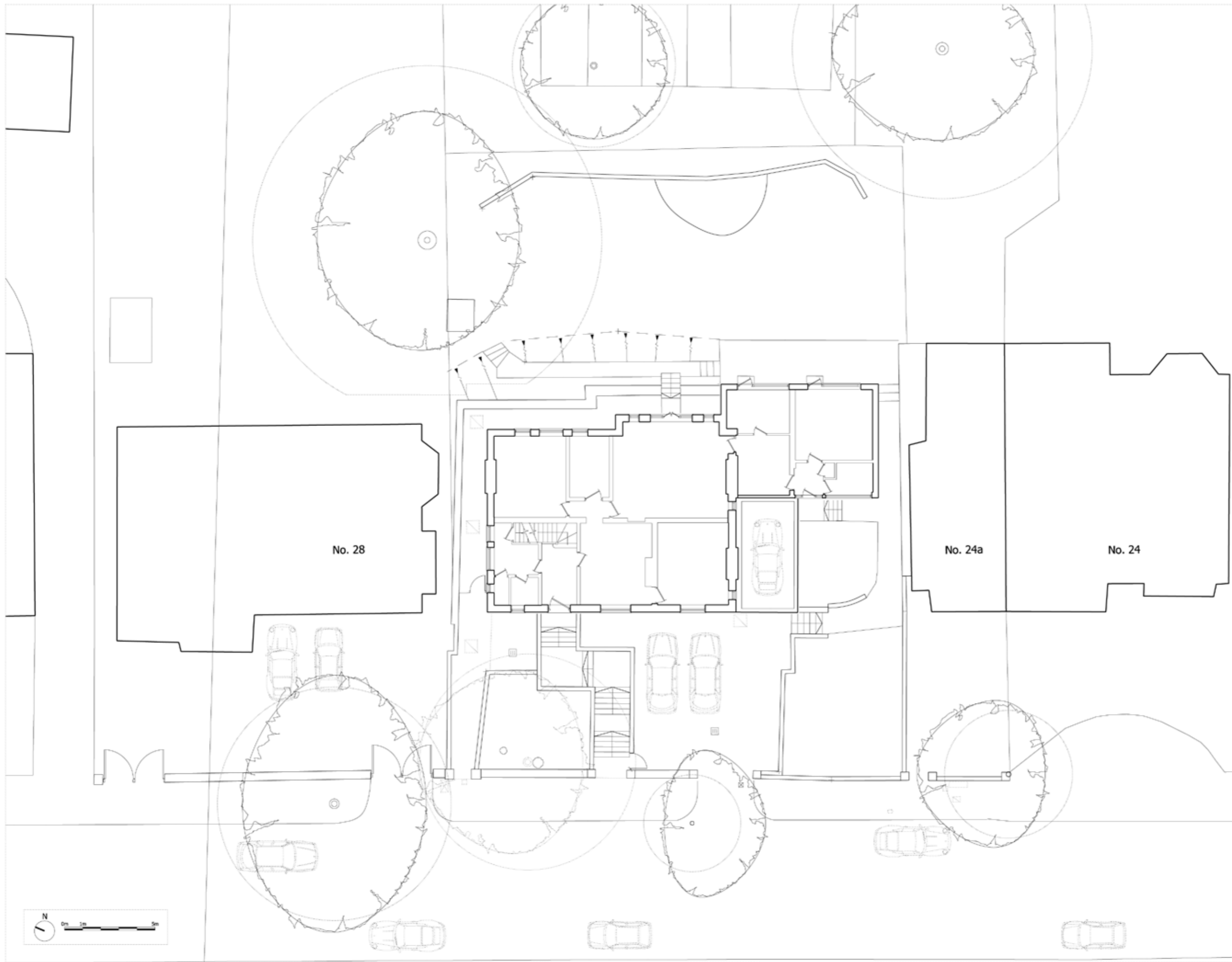
6.4 Demolition Drawings

04009_JC20_P_00_001
04009_JC20_P_LG_001
04009_JC20_P_01_001
04009_JC20_P_02_001
04009_JC20_E_N_001
04009_JC20_E_S_001
04009_JC20_E_E_001
04009_JC20_E_W_001

6.5 Proposed Drawings

04009_C645_P_00_002_Rev_C
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04009_C645_P_B1_001_Rev_C
04009_C645_P_01_002_Rev_C
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04009_C645_E_E_002_Rev_B
04009_C645_E_W_002_Rev_C

6.6 CGI Existing
CGI Proposed



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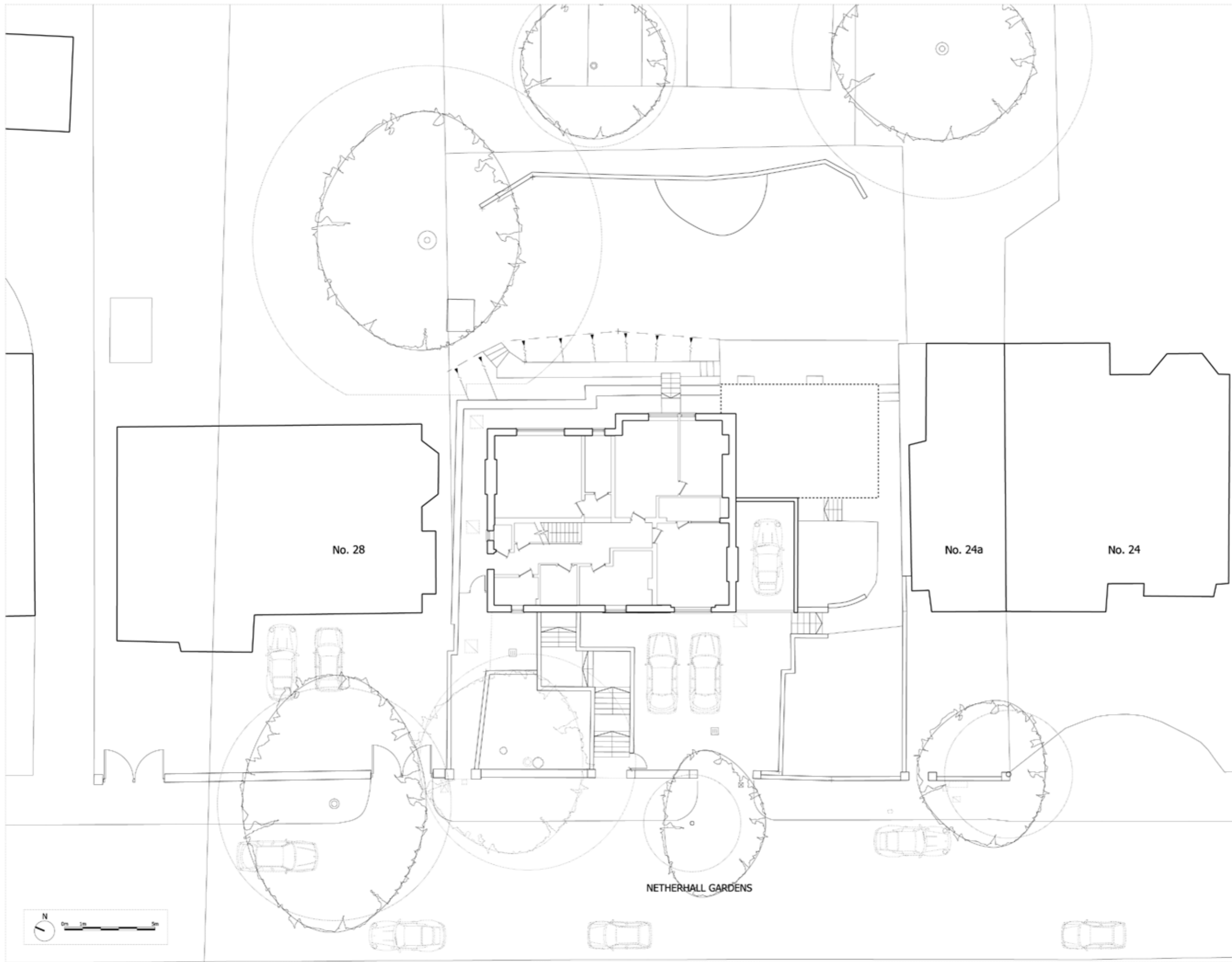
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Project
**26 Netherhall Gardens,
 Hampstead,
 London. NW3.**

Drawing
**Existing
 Ground Floor Plan**

Drawn	Date	Scale
EC	18/02/2013	1:1000
Job number	Drawing number	Revision
04009	JA12_P_UG_001	



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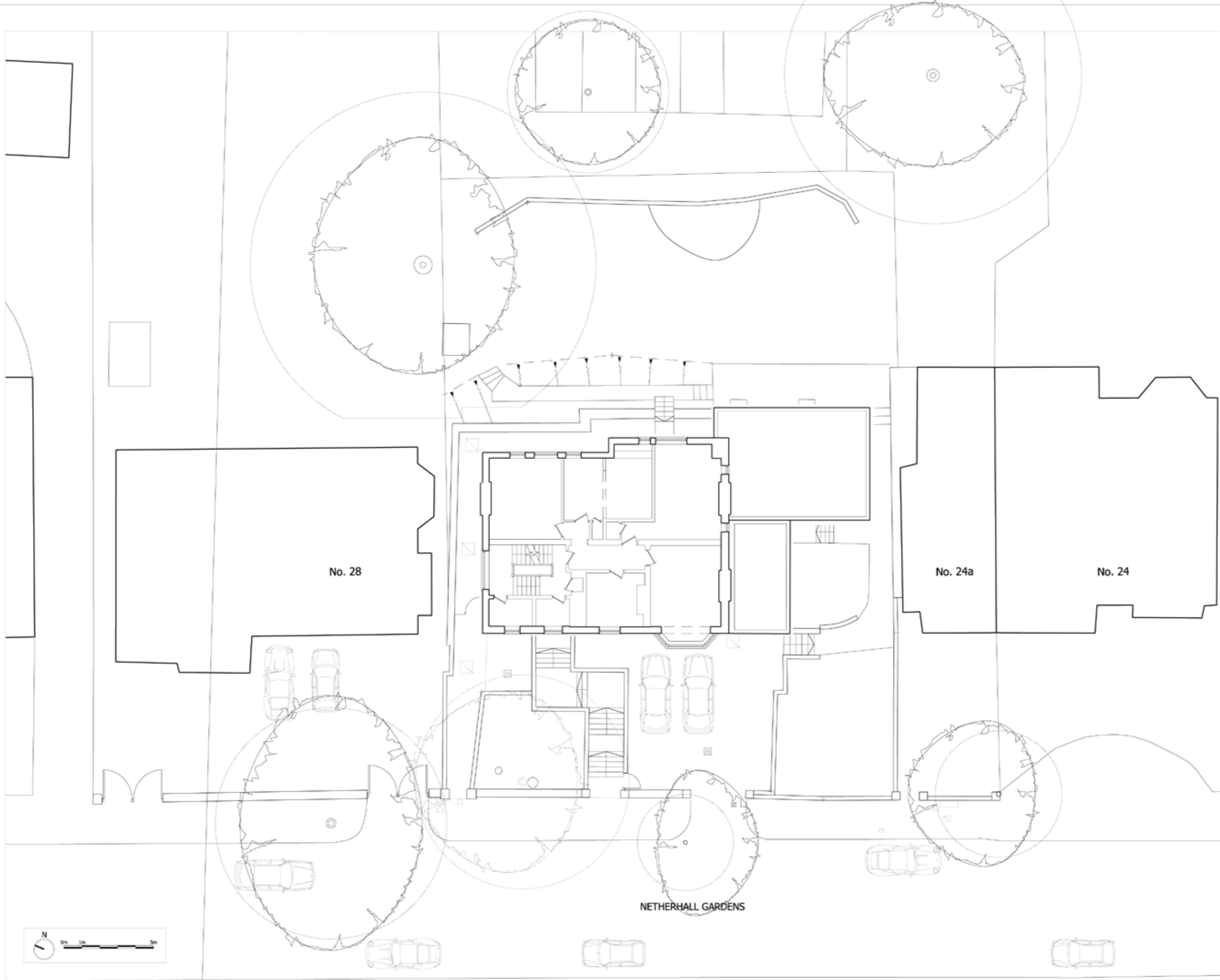
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Project
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Drawing
 Existing
 Lower Ground Floor Plan

Drawn	Date	Scale
EC	18/02/2013	1:1000
Job number	Drawing number	Revision
04009	JA12_P_LG_001	



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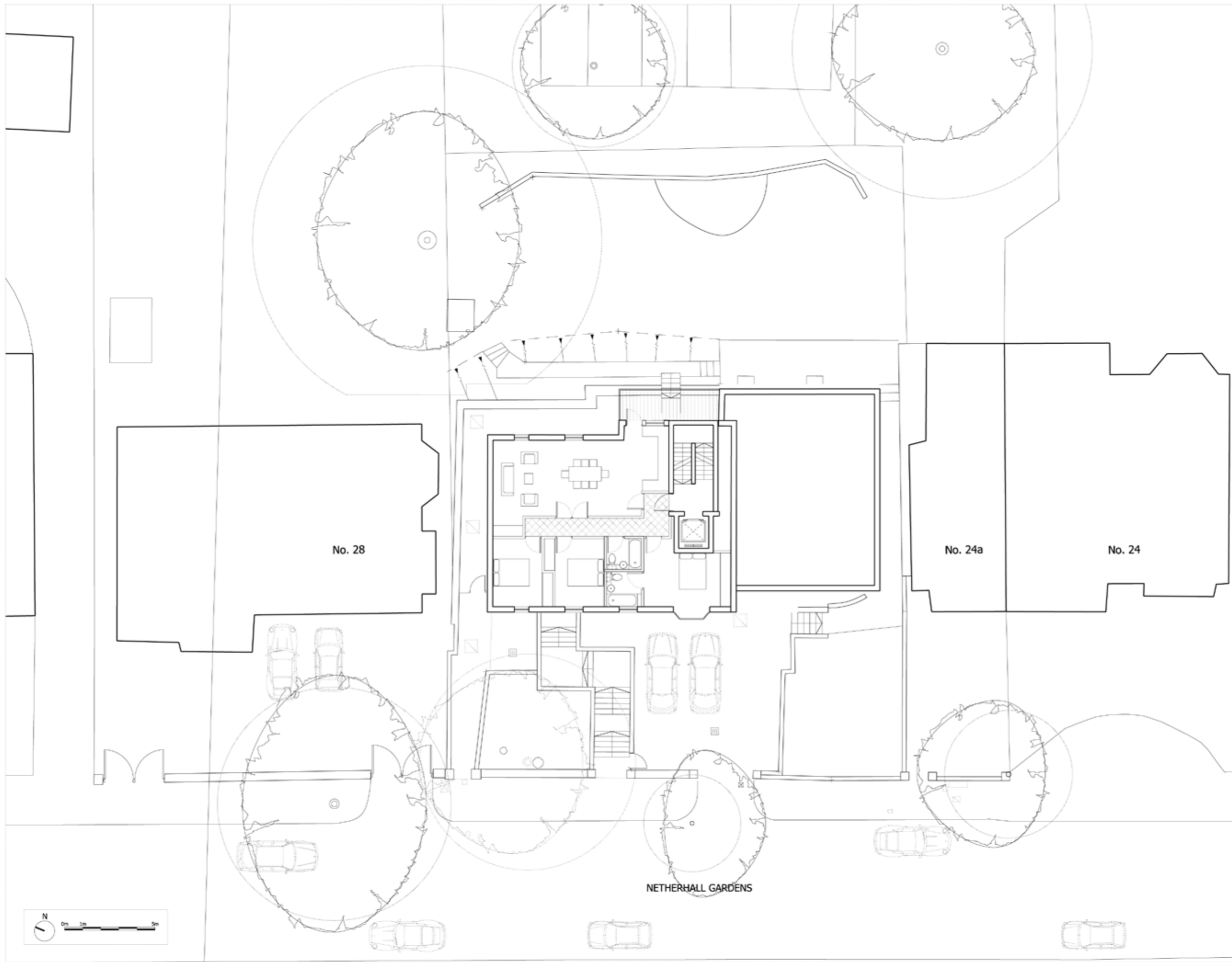
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Project
**26 Netherhall Gardens,
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Drawing
**Existing
 First Floor Plan**

Drawn	Date	Scale
EC	18/02/2013	1:1000
Job number	Drawing number	Revision
04009	JA12_P_01_001	



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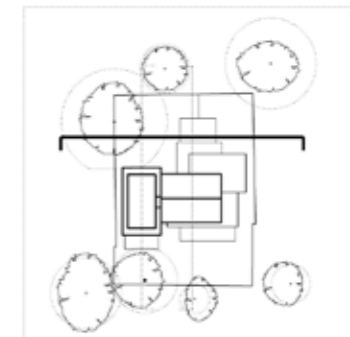
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**26 Netherhall Gardens,
 Hampstead,
 London. NW3.**

Drawing
**Existing
 Second Floor Plan**

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EC	18/02/2013	1:1000
Job number	Drawing number	Revision
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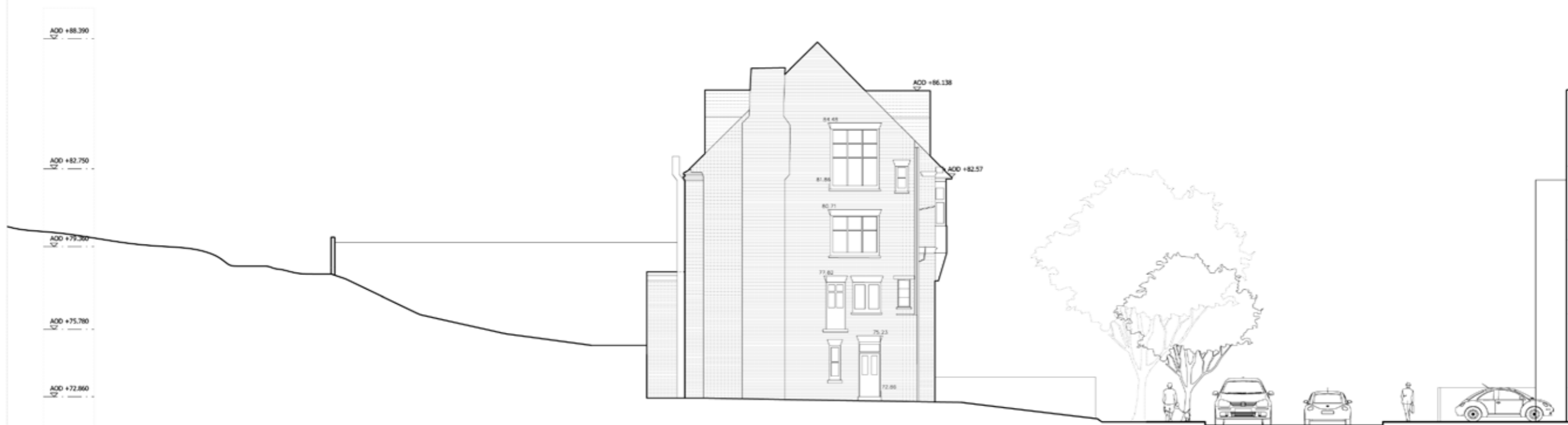
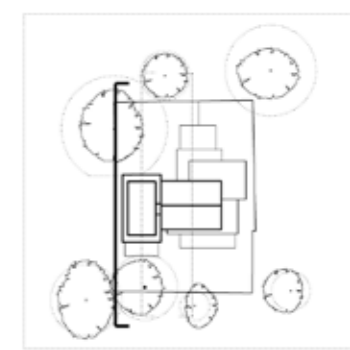
Project
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Drawing
 Existing East Elevation

Drawn	Date	Scale
GH	13/11/2013	1:100
Job number	Drawing number	Revision
04009	JA12_E_E_001_OP04	

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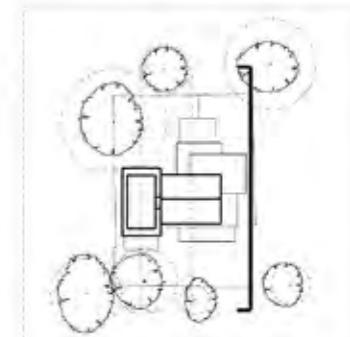
Project
 26 Netherhall Gardens,
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Drawing
 Existing North Elevation

Drawn	Date	Scale
EC	27/02/2013	1:100 @ A1
Job number	Drawing number	Revision
04009	JA12_E_N_001	-

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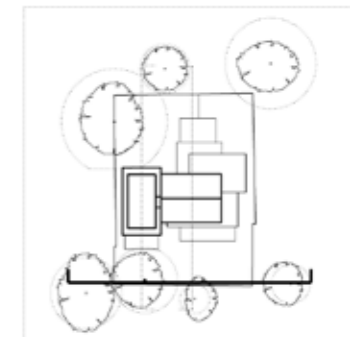
Project
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Drawing
 Existing South Elevation

Drawn	Date	Scale
EC	27/02/2013	1:1000
Job Number	Drawing Number	Revised
04009	JA12_E_S_001	

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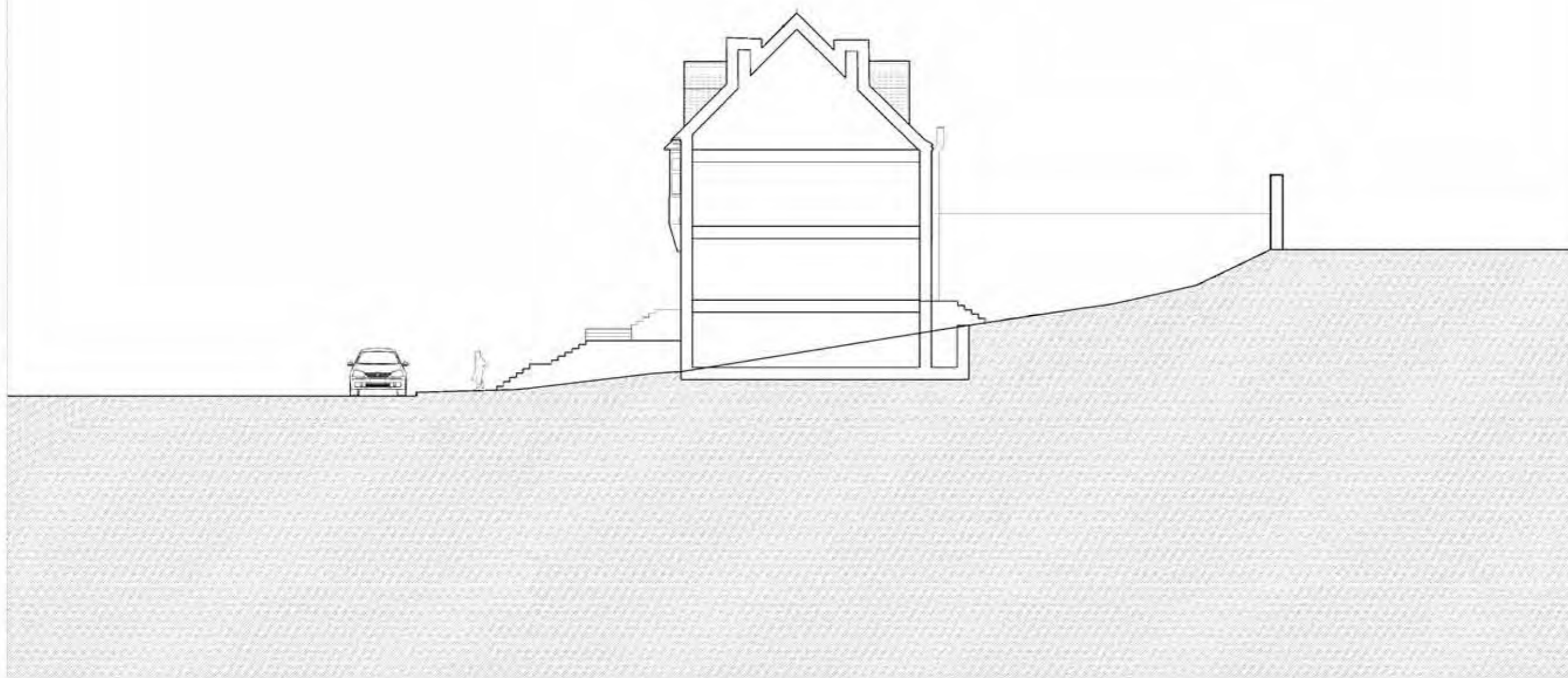
Project
 26 Netherhall Gardens,
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Drawing
 Existing West Elevation

Drawn	Date	Scale
AAN	07/02/2013	1:100 @ A1
Job number	Drawing number	Revision
04009	JA12_E_W_001	-

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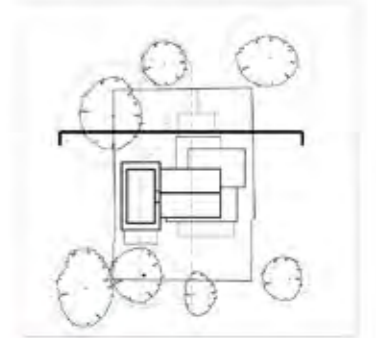
26 Netherhall Gardens,
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Existing
Section AA

Drawn	Date	Drawn
EC	27/02/2013	J. JOHNSON
04009	JA12_S_AA_001	

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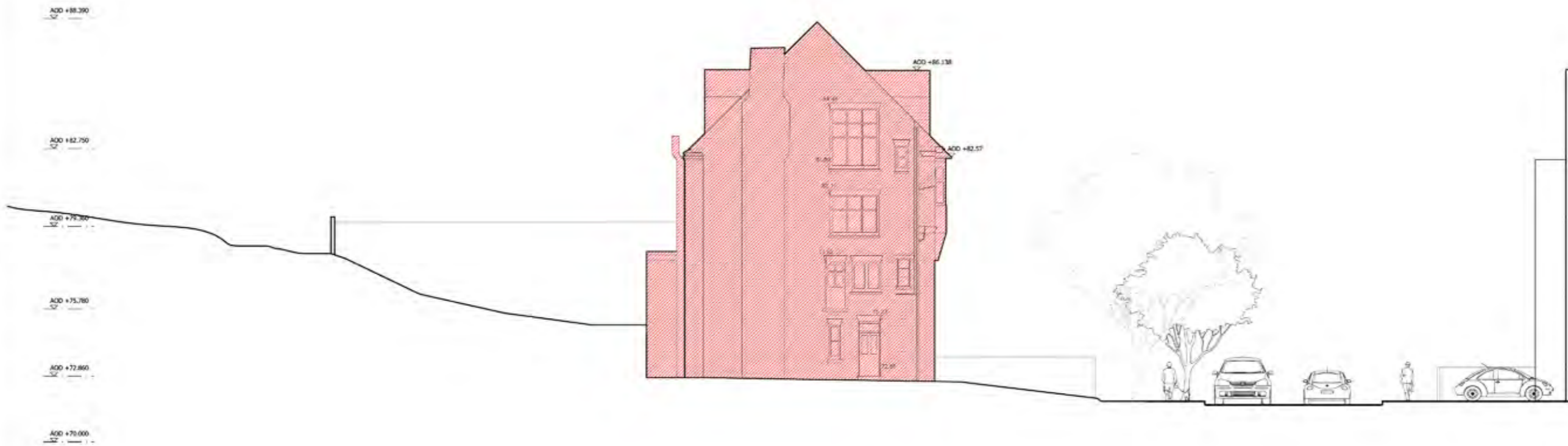
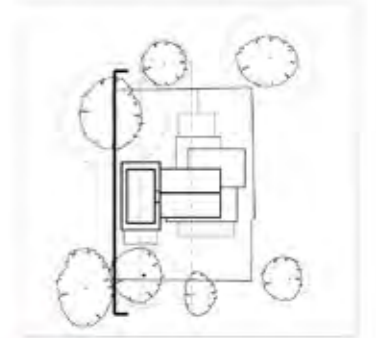
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Project
 26 Netherhall Gardens,
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Drawing
 Demolition East Elevation

Drawn	Date	Scale
GH	13/11/2013	1:1000
Job number	Drawing number	Revision
04009	JC20_E_E_001	

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Revision description	Date	Check	Rev

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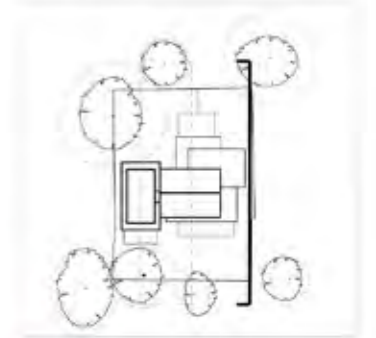
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Project
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Drawing
 Demolition North Elevation

Drawn	Date	Scale
EC	27/02/2013	1:1000(A3)
Job number	Drawing number	Revision
04009	JC20_E_N_001	-

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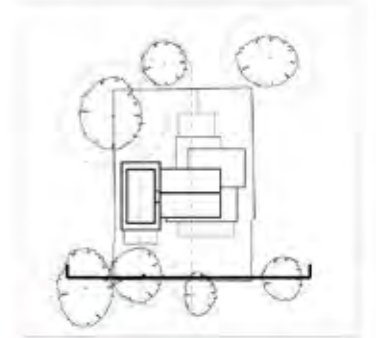
info@squireandpartners.com
 www.squireandpartners.com

Project
 26 Netherhall Gardens,
 Hampstead,
 London. NW3.

Drawing
 Demolition South Elevation

Drawn	Date	Scale
EC	27/02/2013	1:100 (A3)
Job number	Drawing number	Revision
04009	JC20_E_S_001	

NOTES
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Revision	Description	Date	Check	Rev

Squire and Partners

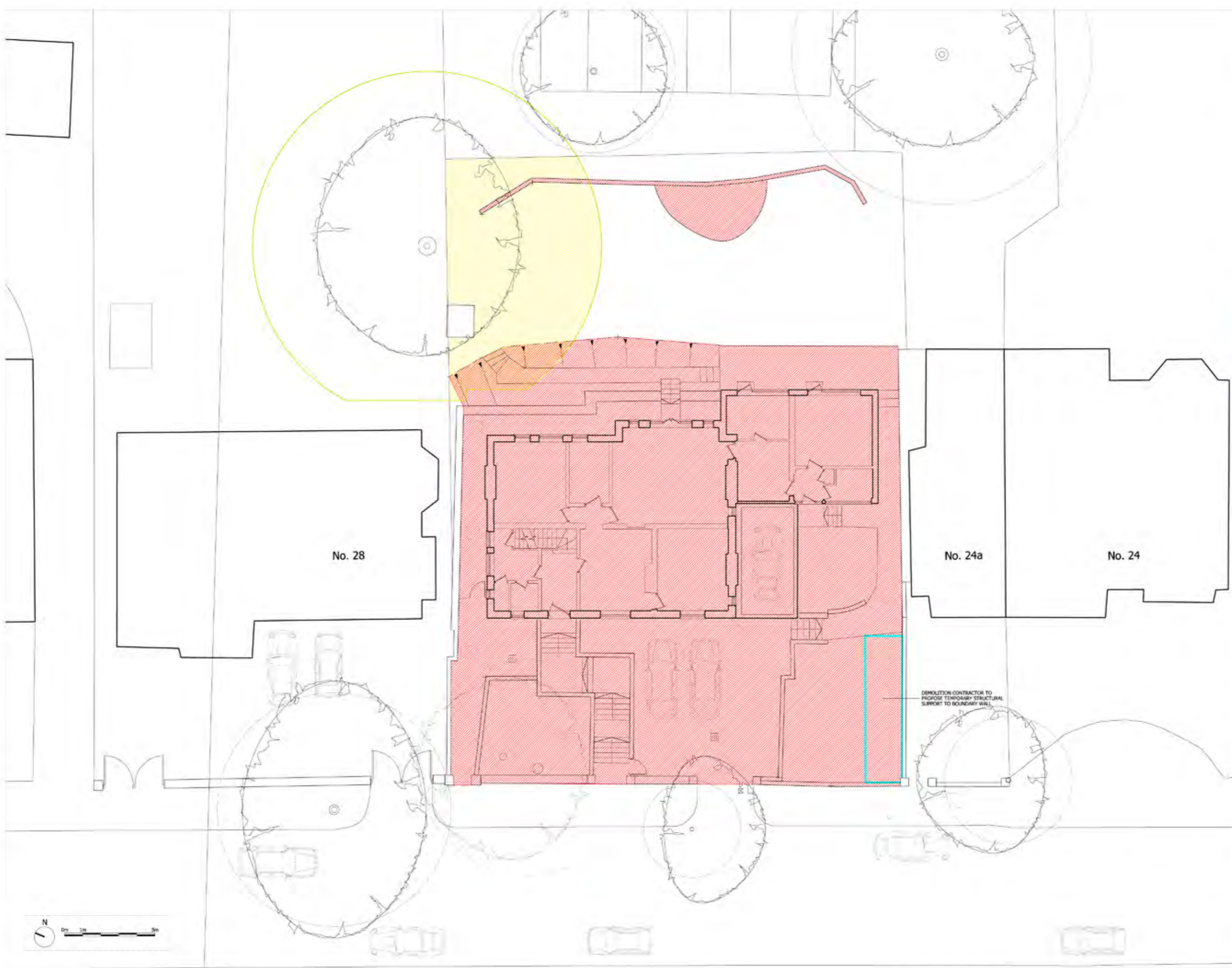
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Project
 26 Netherhall Gardens,
 Hampstead,
 London. NW3.

Drawing
 Existing West Elevation

Drawn	Date	Scale
AAN	07/02/2013	1:100 @ A3
Job number	Drawing number	Revision
04009	JC20_E_W_001	-



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- TO BE DEMOLISHED
- AREA OF TREE TO BE PROTECTED DURING DEMOLITION



Revision	Description	Date	Check	Rev

Squire and Partners

77 Wicklow Street London WC1X 9JY
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Project
 26 Netherhall Gardens,
 Hampstead,
 London. NW3.

Drawing
 Demolition
 Ground Floor Plan

Drawn	Date	Scale
EC	18/02/2013	1:1000(A3)
Job number	Drawing number	Revision
04009	JC20_P_00_001	



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- TO BE DEMOLISHED
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Revision	Description	Date	Check	Rev

Squire and Partners

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Project
 26 Netherhall Gardens,
 Hampstead,
 London. NW3.

Drawing
 Demolition
 First Floor Plan

Drawn	Date	Scale
EC	18/02/2013	1:1000A1
Job number	Drawing number	Revision
04009	JC20_P_01_001	



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 TO BE DEMOLISHED

 AREA OF TREE TO BE PROTECTED DURING DEMOLITION

Revision	Description	Date	Check	Rev

Squire and Partners

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Project
 26 Netherhall Gardens,
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Drawing
 Demolition
 Second Floor Plan

Drawn	Date	Scale
EC	18/02/2013	1:1000(A3)
Job number	Drawing number	Revision
04009	JC20_P_02_001	



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 TO BE DEMOLISHED

 AREA OF TREE TO BE PROTECTED DURING DEMOLITION



Revision	Description	Date	Check	Rev

Squire and Partners

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Project
 26 Netherhall Gardens,
 Hampstead,
 London. NW3.

Drawing
 Demolition
 Lower Ground Floor Plan

Drawn	Date	Scale
EC	18/02/2013	1:1000A1
Job number	Drawing number	Revision
04009	JC20_P_LG_001	