

Demolition Key:

	Existing structure / ground
	Line denotes proposed removal of existing structure (in elevation)
	Line denotes proposed removal of existing structure (in elevation)
	Match denotes proposed removal of existing structure (in elevation)
	Match denotes proposed excavation at lower ground floor (in elevation)
	Match denotes proposed excavation at lower ground floor (in elevation)
	Denotes proposed removal of existing fittings

Proposed Key:

	Main entrance		Flat entrance
	Proposed structure/partitions		Outline of existing building
	Proposed stone finish		Proposed tile finish
	Yorkstone slabs		Proposed external stone finish
	Proposed carpet finish		Proposed timber floor
	BMS		Slate roof tiles

- Demolition Notes:
- Existing structure/ground floor (1800mm below current ground floor level)
 - New opening in existing concrete slab
 - Existing internal stair to be demolished
 - Non-original rear elevation to be demolished
 - Proposed partial demolition of existing roof
 - Existing single panel door and window in lightwell to be removed
 - Existing entrance door to be refurbished and filled with new ironmongery. Existing ironmongery to be retained and kept in the same location
 - Existing service floor to be removed (non-structural element)
 - Existing dormers to be rebuilt to match existing

- Proposed Notes:
- Proposed extension to rear elevation
 - Refer to P_07 Proposed Key and Design Access Statement Section Three for further details
 - New floor to include Yorkshire cross-hatched pattern with other stone or gravel
 - Proposed stone finish to rear elevation
 - New external stair
 - New roof with slate finish
 - Proposed plant location (BIC Air source heat pumps/air treatment units)
 - New door into kitchen/laundry system to rear elevation
 - Proposed internal service door
 - Proposed terrace
 - Cycle storage (provision for 500 bicycles)
 - Proposed bin store enclosure (provision for 400 bins, capacity bins)
 - Flush conservation metal rooflight
 - New painted metal ballustrade
 - Existing timber cup, window refurbished and reconstructed
 - New secondary glazing fitted internally
 - Existing door refurbished and reconstructed. New entry panel externally
 - New lift car and associated plant with altered entrances
 - Proposed automatic-rising window vent
 - Existing service cupboard
 - Existing roof to high water table to be partially removed and refurbished with new structure/finishing. Existing dormers to be rebuilt (timber and steel) with white-painted metal external windows
 - New inverted roof with gravel finish
 - New glazed entrance door in lightwell. Existing window to be filled with robust blockwork
 - Privacy screen to rear terrace

- Liftline Homes CIBaB Key:
- (01) Parking space (width or parking capability)
 - (02) Approach to dwelling from parking
 - (03) Level or gently sloping approach to all entrances
 - (04) Accessible threshold - covered and lit
 - (05) Provision for a future step lift
 - (06) Conversion of routes to hallways and through dormers
 - (07) Turning circle for wheelchair at ground floor living rooms and dining area
 - (08) Entrance level being outside
 - (09) Potential for temporary entrance level bed-space
 - (10) Accessible entrance level WC/shower drainage
 - (11) WC and bathroom walk (width) to meet adaptations
 - (12) Space for future through-floor lift to bedroom
 - (13) Easy route for hoist from bedroom to bathroom
 - (14) Provision of accessible bathroom
 - (15) Low window lifts
 - (16) Lift to meet needs of convenient access to all rooms

Rev B: 18.03.2015 Flat (1) bathroom amendments
 Rev A: 06.03.2015 Issued for Planning

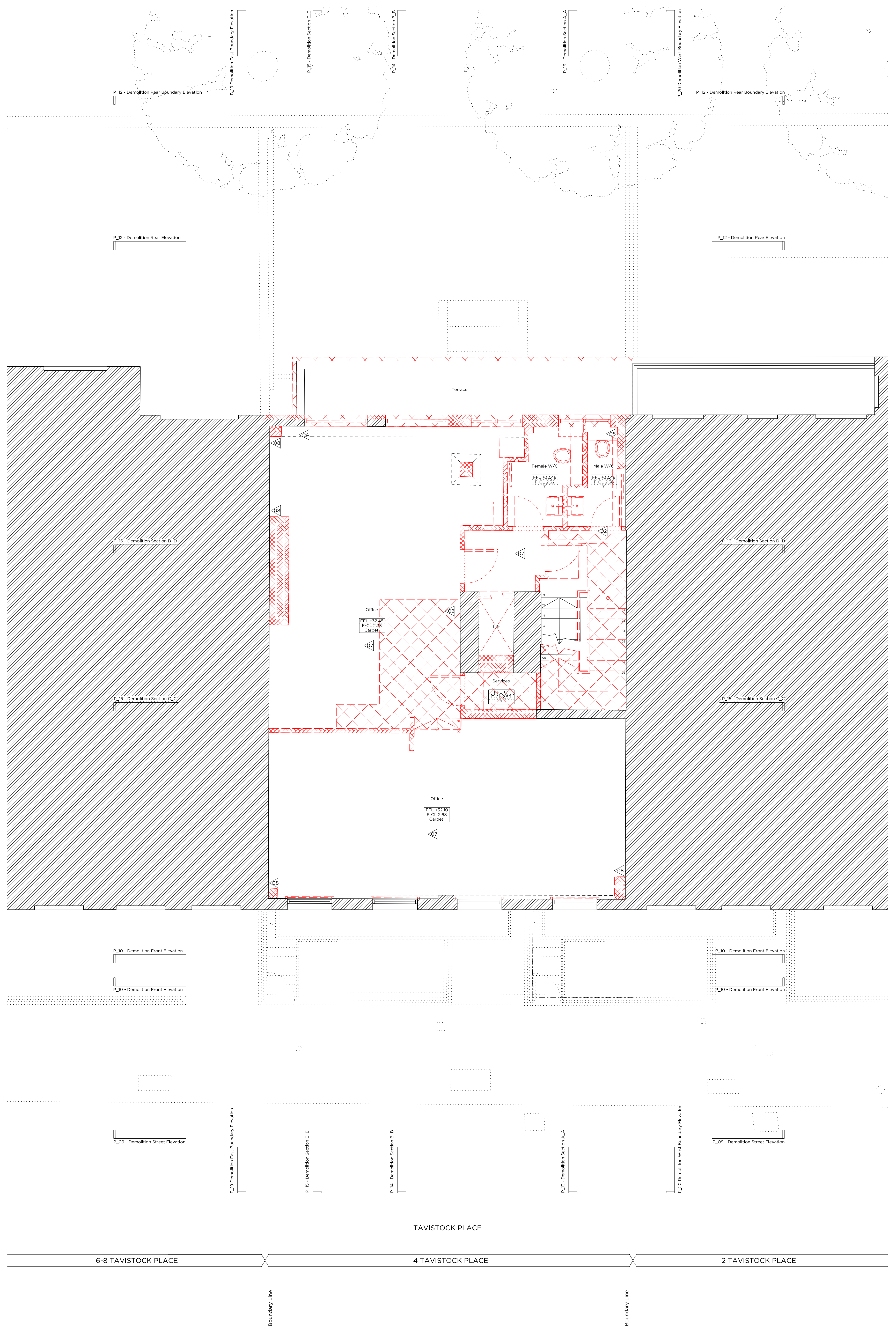
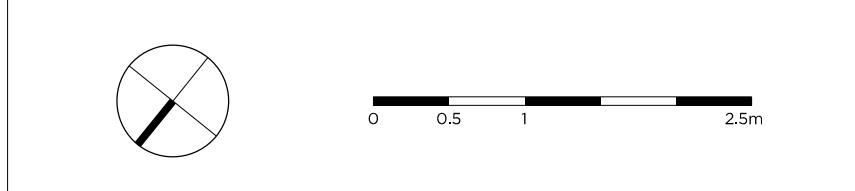
PLANNING

Project No: 13052
 Client: GFZ Developments Ltd
 Date: February 2015
 Scale: 1:50 @ A0/1:100 @ A2
 Project: 4 Tavistock Place

Drawing Title: Demolition and Proposed Third Floor Plans
 Drawing No: P_05
 Drawn: AT Approved: MW



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Existing/Proposed Demolition - Third Floor Plan

Proposed Third Floor Plan