

- Demolition Key:**
- Existing structure / ground
 - Line denotes proposed removal of existing structure (in sections)
 - Line denotes proposed removal of existing structure (in elevation)
 - Line denotes proposed removal of existing structure (in elevation)
 - Line denotes proposed excavation at lower ground floor (in sections)
 - Line denotes proposed excavation at lower ground floor (in elevation)
 - Denotes proposed removal of existing fittings.

- Proposed Key:**
- Main entrance
 - Flat entrance
 - Proposed structure/partitions
 - Outline of existing building
 - Proposed stone finish
 - Proposed tile finish
 - Yorkstone slabs
 - Proposed external stone finish
 - Proposed carpet finish
 - Proposed timber floor
 - Tiles
 - Slate roof tiles

- Demolition Notes:**
- Excavate and lower ground floor (1800mm below current ground floor level)
 - New covering in existing concrete slab.
 - Existing internal slab to be demolished.
 - Non-structural rear elevation to be demolished.
 - Proposed central demolition of existing roof.
 - Existing single panel door and window in lightwell to be removed.
 - Existing entrance door to be refurbished and fitted with new homogeneity. Existing entrance to be reduced and kept in the same location.
 - Existing dormers to be removed (non-structural elements).
 - Existing dormers to be rebuilt to match existing.

- Proposed Notes:**
- Proposed extension to rear elevation.
 - Refer to P_07 Proposed Key and Design Access Statement Section Three for further details.
 - New floor in upper level to be constructed in-situ with stone or concrete (specification to be agreed with the client).
 - New internal slab.
 - New roof with slate finish.
 - Proposed plant location (BIC Air source heat pump (plant attenuation)).
 - New door into accessible system to rear elevation.
 - Proposed internal services plan.
 - Proposed services.
 - Cycle storage (provision for 500 bicycles).
 - Proposed bin store enclosure (provision for 400, 300L capacity bins).
 - Flush conservation metal rooflight.
 - New painted metal balustrade.
 - Existing lift shaft window refurbished and reconstructed. New secondary glazing fitted internally.
 - Existing door refurbished and reconstructed. New entry panel externally.
 - New lift car and associated plant with altered entrances.
 - Proposed automatic-opening window vent.
 - Existing services outdoor.
 - Existing roof to be replaced with a pitched roof and refurbished with new structure. Existing dormers to be rebuilt (timber and steel) with white-painted metal roof.
 - New inverted roof with gravel finish.
 - New covered entrance door in lightwell. Existing window to be fitted with robust glazing.
 - Privacy screen to rear terrace.

Rev B 18.03.2015 Flat 03 bathroom amendments
 Rev A 06.03.2015 based for Planning

PLANNING

Project No. **13052**
 Client: **GFZ Developments Ltd**
 Date: **February 2015**
 Scale: **1:50 @ A0/1:100 @ A2**
 Project: **4 Tavistock Place**

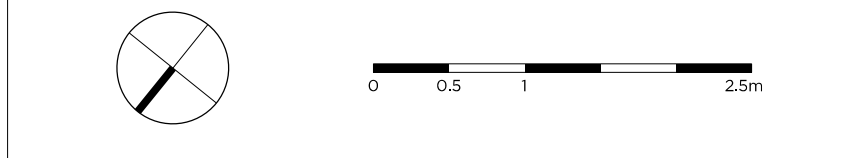
Drawing No. **Demolition and Proposed Lower Ground Floor Plans**

Drawn	AT	Approved	MW	Rev	P_02
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Existing/Proposed Demolition - Lower Ground Floor Plan

Proposed Lower Ground Floor Plan