



73 - 75 AVENUE ROAD, NW8 6JD
DERODA INVESTMENTS LTD
FULL PLANNING APPLICATION DESIGN AND ACCESS STATEMENT
MARCH 2015

PURCELL



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1.0 INTRODUCTION

This design and access statement is submitted in support of the full planning application for the redevelopment of 73-75 Avenue Road. The application is made on behalf of Deroda Investments Ltd. and is for the demolition of the existing dwelling, to be replaced by two new build detached, single family dwellings. This application follows a pre-application consultation with Camden Council ref: 2014/7902/PRE.

2.0 SITE AND CONTEXT

2.1 EXISTING SITE AND SURROUNDING AREA

The site (fig1) 73-75 Avenue Road is located in a very prominent position with frontages onto both Avenue Road and Queen's Grove, and is directly adjacent to the junction of Queen's Grove, Elsworth Road and Avenue Road. The site area is 2,460m².

The site is currently occupied by a two-storey plus attic detached single family dwelling and a dilapidated detached single-storey swimming pool. The house is set back from the road, with hard landscaped space for parking out front and two existing vehicular crossovers onto Avenue Road.

Although the site is not located within a Conservation Area, it is bounded by St John's Wood Conservation Area to the south-west and Elsworth Road Conservation Area to the east (fig.3). However, this is unlikely to have an impact upon proposed development of the site. Mature trees bound the site on all sides and two important trees are located to the front of the site on Avenue Road.



Fig. 2 Site panorama including existing buildings, taken from south corner of site

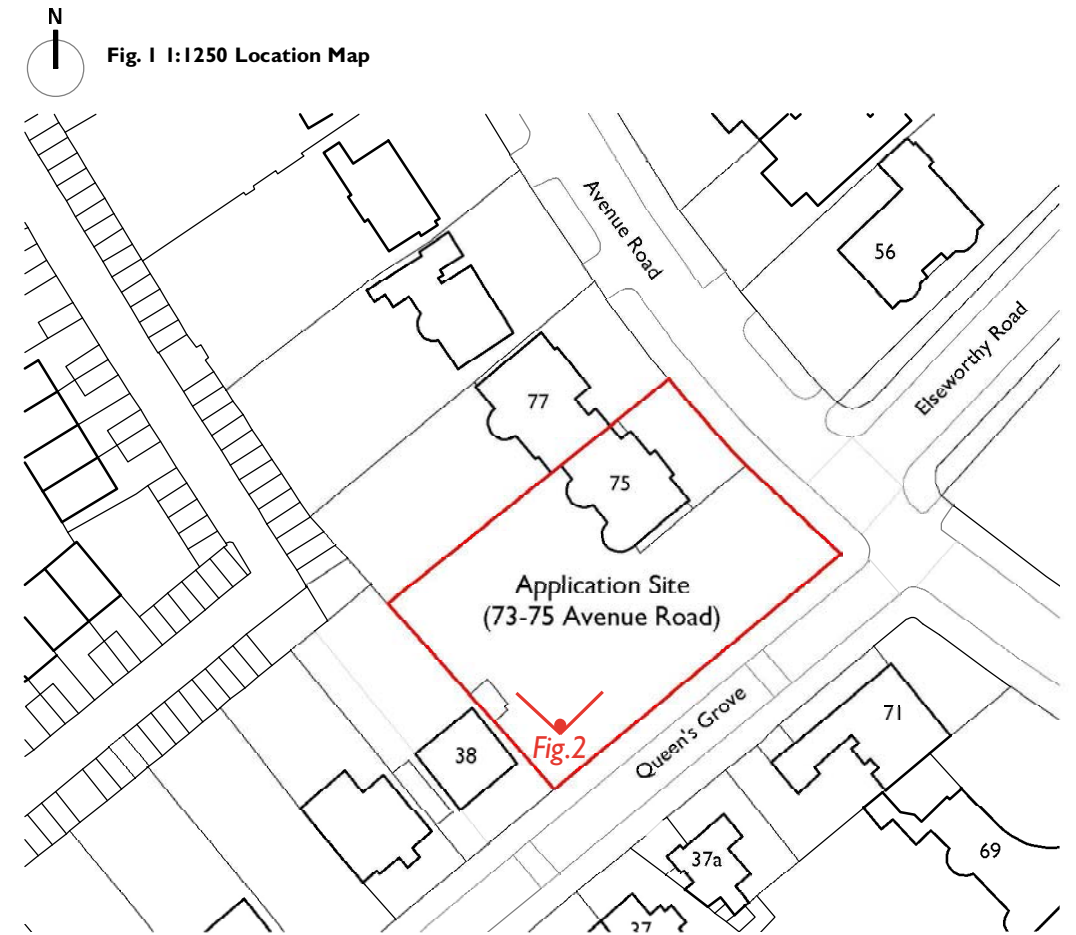


Fig. 3 Conservation area map

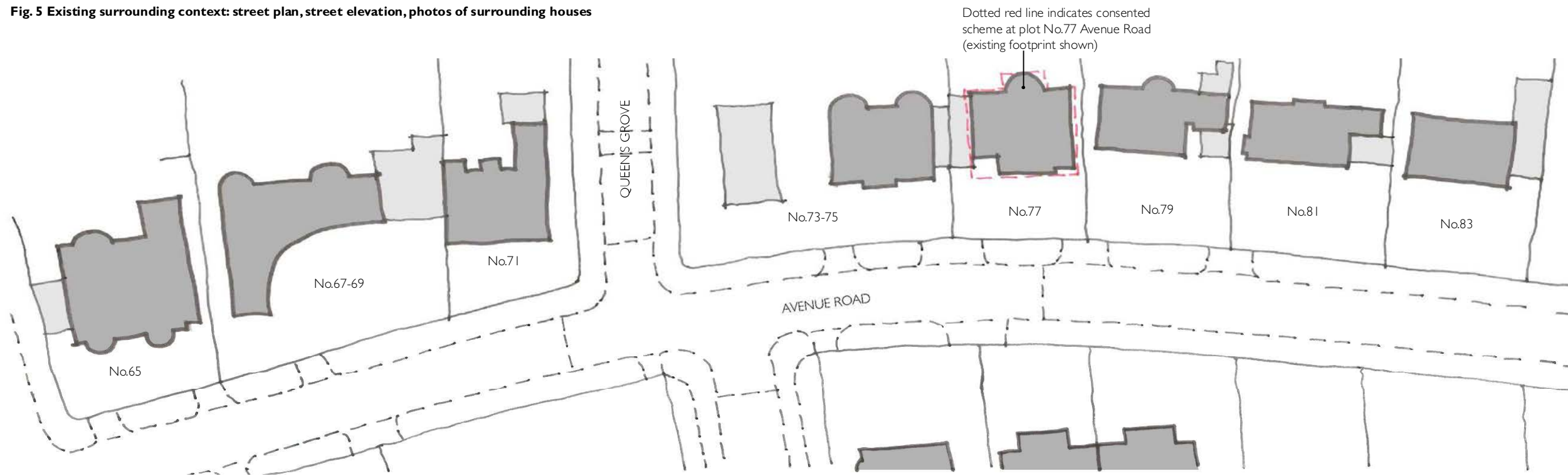
2.2 EXISTING VIEW

Fig. 4 Existing view of site from street



2.3 SURROUNDING CONTEXT

Fig. 5 Existing surrounding context: street plan, street elevation, photos of surrounding houses



The site is surrounded by a large variety of house styles, with many new build examples. There is, however, a consistency with regard to massing and materiality. The space between buildings vary along Avenue Road with some gaps reduced to 2-2.5m. The spaces between individual houses in the proximity of the site are larger at 3 to 7m above ground, with ground floor levels typically in-filled with later garage extensions. Many of the houses located on corner plots extend along their flanks, including No. 71 opposite which reduces in height to single storey along Queen's Grove.



The houses in the close vicinity to the site are characterised by red brick facades with stone detailing and clay roofs. The consented scheme for No.77, 2010/0351/P and 2013/2043/P, is proposed with a white render, glass and timber facade.



2.4 CONSENTED SCHEME

Planning consent has been granted (ref: 2011/2388/P) by the London Borough of Camden (LBC) for the demolition of 73–75 Avenue Road and for the construction of one 32,000 sqft large single-family dwelling.

A number of revisions were made to the initial proposals before consent was granted to accommodate comments by Camden. The Case Officer's Delegated Report documents the history of the application and has been key in developing the design principles for this application.

The key points noted from the Planning Report are:

1. LBC expressed preference for a "pair" of dwellings rather than a single large dwelling as this approach would address concerns over scale.
2. The existing house and the consented single dwelling are taller than the adjacent property at 77 Avenue Road.
3. Camden insisted on brick being used for the external elevations in lieu of the render/stucco originally proposed to respect immediate neighbours in Avenue Road which are predominantly brick buildings.
4. The consented scheme has a rearward extension along the boundary to Queens Grove, creating a potential for a formal frontage to this elevation.



Fig. 6. Consented Scheme Avenue Road Street Elevation

5. The consented scheme includes a large basement and subbasement, housing Staff Accommodation, Service Spaces, MEP Plant Rooms, Swimming Pool, Spa and Gym. The subterranean areas extend some 42 metres across the site.

6. The site is bounded by mature London plane trees on Avenue Road and a variety of important mature trees along the boundaries to Queens Grove, and the boundary lines of the two adjoining properties at No.38 Queens Road and No.77 Avenue Road. In spite of the size and proximity of the mature trees, consent for extensive subterranean works was granted.

7. Consent has been granted for a car lift to 3No. car parking spaces at basement level and 5No. cycle spaces, plus a car wash area.

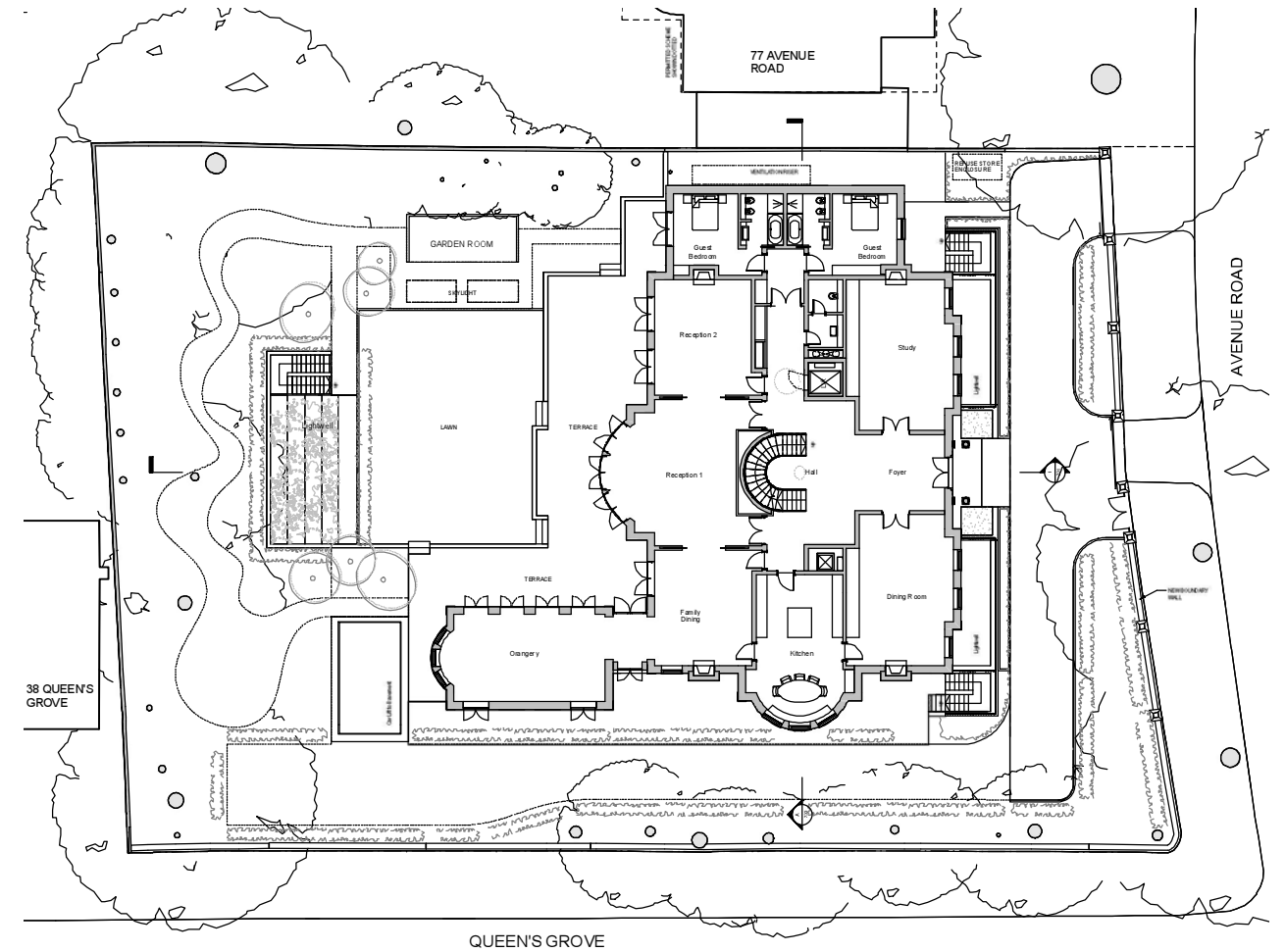


Fig. 7. Consented Scheme Ground Floor Plan

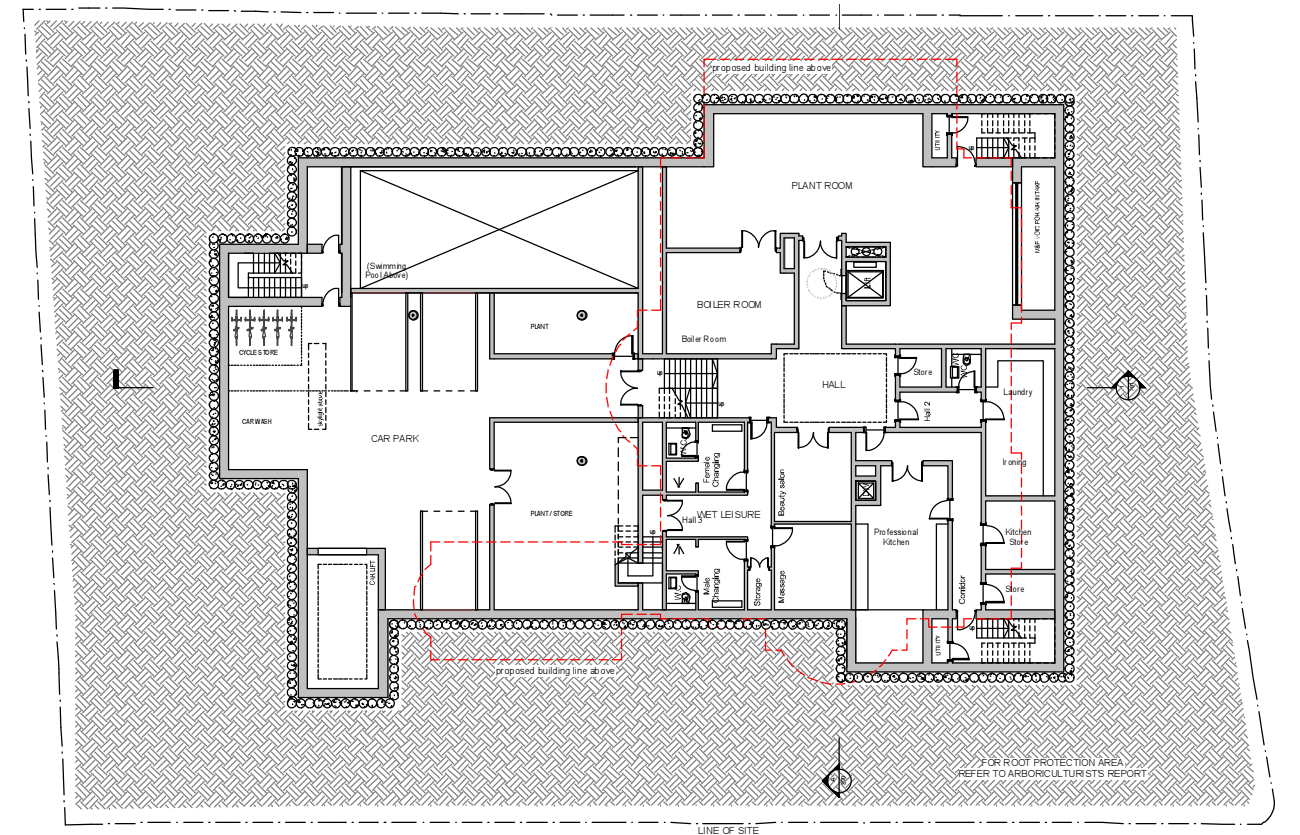


Fig. 8. Consented Scheme Basement Floor Plan

2.5 HISTORICAL CONTEXT

The area is historically characterised by large detached villas set within generous landscaped grounds. The 1872 OS map shows that the existing site boundary (indicated in red in fig.9) previously contained two separate plots, each containing a single building set within its own grounds.

These two properties remain visible on site until a 1946 aerial photo shows the site of No.73 as partly cleared and the outline only of a building is visible. According to the Greater London HER, the area suffered extensive bomb damage during World War II and was said to have been extensively rebuilt. It is not known the exact date that No.73 was removed but it is considered likely that this was due to damage caused by bombing or fire. The London County Council Bomb Damage Map shows that No.73 was used as a clearance area for the local bomb damaged properties to store rubble during the clean-up.

The 1954 OS map shows that all remains of No.73 have been completely cleared and the two plots have combined into a single large plot. It is assumed that the single building, No.73-75, left on the plot after 1954 is the existing building. The new swimming pool structure was built in 1970.



Fig. 10. 1946 aerial photo of site



Fig. 9. 1872 OS map of site



Fig. 11. 1954-1955 OS map of site

3.0 DESIGN PRINCIPLES

The analysis of the surrounding area as outlined in section 2 was taken into account in developing proposals for the site. Listed below are the main design principles that describe the proposals:

- The existing buildings on the site are proposed to be demolished as consented in the previous application.

- Division of the site into two equal plots; with the support of historical research showing that the site was previously occupied by two dwellings, alongside LBC's preference for a pair of dwellings, we propose to equally divide the site into two plots.

- Trees; the setting out of the two properties is informed by the root protection areas of the surrounding tree's as discussed on site with the Camden tree officer. See arboricultural report from Landmark Trees for full details.

- Two new build dwellings are proposed for the site 73-75 Avenue Road. No. 73 will offer approximately 17,800 sq ft and No. 75 will offer approximately 16,250 sq ft of gross internal area.

- Vehicle access: The existing number of crossovers has been retained, respecting the concerns raised in the previous application 2011/2388/P. The crossover closest to Queen's Grove has been relocated 1.2m towards Queen's Grove in response to the equal division of the site into two plots.

- Pedestrian access: A new pedestrian access is proposed to the corner of the site, accessing the main entrance to No. 73. This approach will soften the corner and ease pedestrian flow around the edge of the site by handing some landscaping over to the public realm.

- Privacy: The designs of the houses facilitate the majority of outdoor interaction to occur to the rear of the houses and so privacy of the gardens and courtyards is offered by the single storey library, garden walls and trees. Additionally, overlooking to and from No.77 is improved on the existing condition, with only the stairwell window proposed to this facade.

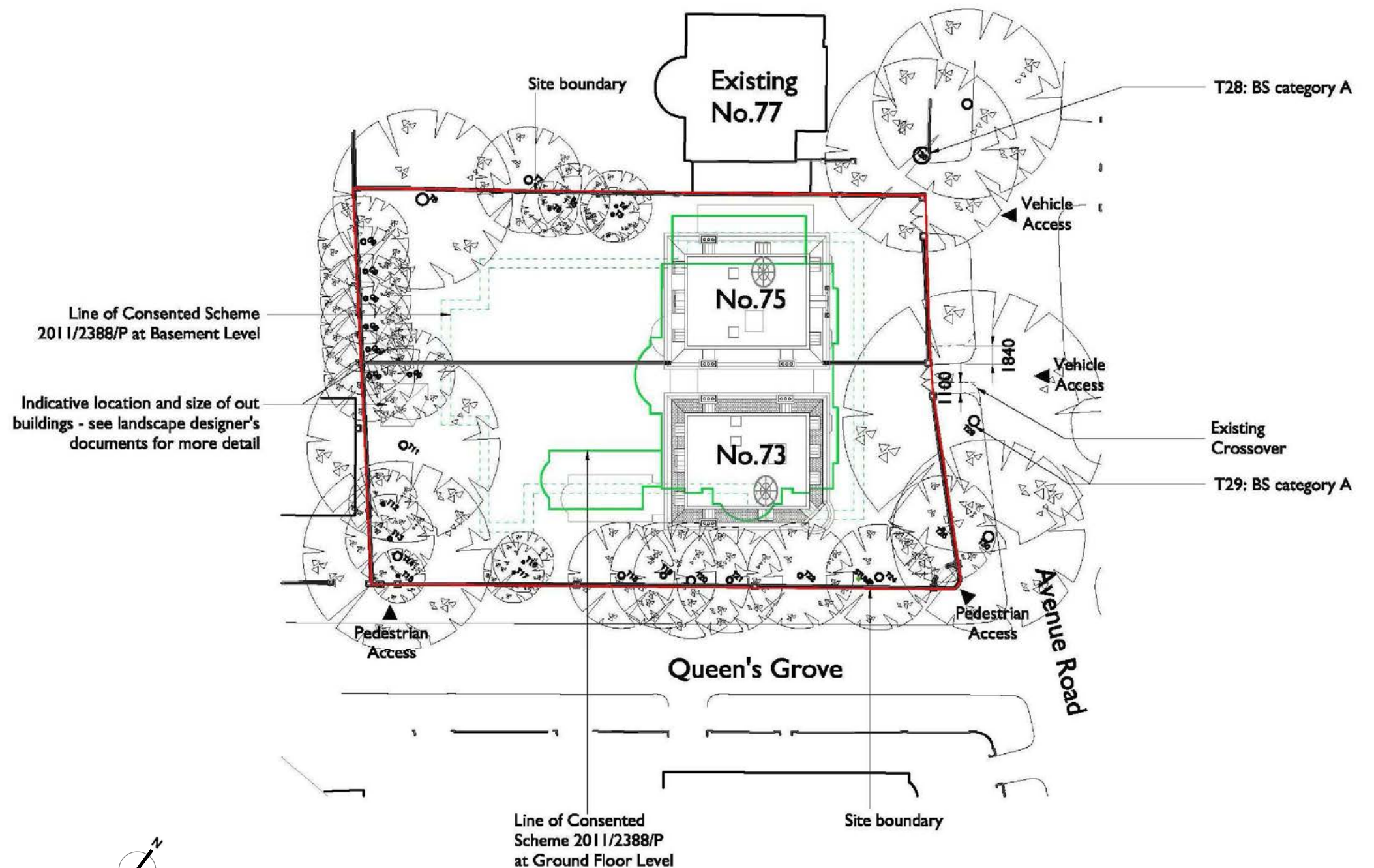


Fig. 12. 1:500 Proposed Site Plan

3.0 DESIGN PRINCIPLES (CONT.)

- The height above ground and the excavation depth of both proposed houses has been set by the consented scheme. This defines the number of storeys above ground as two, with an additional upper floor located behind a mansard roof.

- Single storey links between the two proposed properties and No.77 adjacent respect the grain of the area with generous spacing between the detached buildings.

- Frontage to Avenue Road: The two new houses will be read as a pair, being both similar but unique in character and materiality. The principle façade has been designed fronting Avenue Road, with a secondary façade facing Queen's Grove.

- Response to Queen's Grove: The single storey library to the rear of No.73 reduces in scale from the main building whilst creating a strong frontage to Queen's Grove, responding to opportunities presented by this corner plot. This also provides a more private garden space to the rear.

- Treatment of the corner: The entrance to No. 73 is proposed as a curved portico, responding to its corner location. The prominence of the plot is portrayed with the protrusion of this curved form to first floor level plus a decorative Dutch gable above.

- Materiality: The elevations are proposed in red brick with stone detailing and clay roofs to respond to materiality of houses on Avenue Road in the close vicinity of the site. [Refer to Section 6.0 of this documents for more information on materials]



Fig. 13. Proposed Avenue Road Context Elevation, NTS



Fig. 14. Proposed Queen's Grove Context Elevation, NTS

4.0 PROPOSED SCHEME IN SURROUNDING CONTEXT

Massing

We have proposed a single storey library to No.73 extending along Queens Grove, responding to a pattern formed by other corner plots on the street. This creates the opportunity to offer a more formal frontage to Queens Grove and address this prominent corner plot.

The existing grain of Avenue Road and the surrounding streets has been respected. House widths seem to be around 13-15m, with visual spaces between buildings and single storey garage infills. The two proposed houses stand as individual elements, both 13m wide with single storey garages between them and with No.77.

Materiality

Houses in the close vicinity to the site are characterised by red brick facades with stone detailing and clay roofs. These materials have informed our material palette for the proposed facades. The Avenue Road façade offers a formal frontage, whilst the proportions become more informal progressing towards the rear façade.

Fig. 15 Proposed surrounding context: street plan and street elevation



5.0 SUMMARY OF PRE-APPLICATION CONSULTATION

COMMENTS

The following comments are a summary of the pre-application advice we received from Camden Council, ref: 2014/7902/PRE.

- The principle of replacing the existing dwelling with 2 new houses is acceptable.
- The buildings are to cover a similar footprint and height to the existing and approved schemes. As the site originally comprised two houses the plot has scope to accommodate 2 houses. The return to this historic arrangement is acceptable and welcomed.
- The proposed design is of traditional period style and complements various adjoining buildings in the vicinity. As such this is considered acceptable.
- The proposed materials are acceptable in principle.
- Basement Impact Assessment report to be submitted with details of the SUD system. *(BIA and SUD system are detailed in the report by Heyne Tillett Steel).*
- Details of how the proposal complies with the 16-point Lifetime Homes criteria should be submitted. *(See 11.0 Lifetime Homes Assessment on page 19 of this document).*
- Acoustic report required to assess potential noise impact. *(See acoustic report from ion acoustics).*
- Sustainability report demonstrating how we achieve 'Level 4' under the code. *(See the 'Sustainability and Energy Statement' document by Ridge and Partners).*
- Updated Arboricultural report required to reflect current conditions. *(See report from Landmark Trees).*
- There is currently a 2m high wall along Queen's Grove and a lower boundary on the majority of Avenue Road; this scaling is recommended to be maintained. *(See 7.0 Boundary Wall on page 15 of this document for boundary wall design).*
- No objection to the creation of a new pedestrian access point on the corner of the site.

Conclusion

The redevelopment of the site to provide 2 new large houses of the style proposed is considered to be acceptable in this location. The documentation presented demonstrates that the proposal would generally comply with the Council's policies, subject to the provision of affordable housing and other additional information as detailed.

6.0 MATERIALS

MATERIALS KEY:

- A Red brick
- B Alu Clad frame double glazed windows, or other similar in appearance
- C Powder coated metal railings
- D Natural stone, or other similar in appearance
- E Clay tiles
- F Hardwood timber door
- G Lead roofing

The façades of the proposed houses are composed with elegant proportions to benefit the street scene. The ground floor has been raised slightly to provide a grand entrance on approach, whilst providing the added benefit of gaining increased daylight into the lightwell below. The ground floor is of a taller proportion than the first floor; conveying a sense of architectural hierarchy into the façade. The two houses act as a pair, being both similar but unique in appearance.

Materials are traditional in appearance and have been carefully selected from surrounding precedent. The red brick façade is the prominent material in houses in the near vicinity, and had been the favoured material from the consented scheme's pre-application advice for No.73-75. This red brick will also be used to reconstruct

the boundary wall, to achieve a consistent palette throughout the scheme.

The main façades are articulated with stone details, using a style that is characteristic in the area. A rich formal frontage has been created, whilst the houses become more informal as they turn towards the rear. By focussing the stone detailing at ground floor and reducing the articulation as the façade progresses in height, this reinstates the architectural hierarchy.

The main building roof will be in clay tiles, a material that is used on many houses in the local area. Glass lanterns are proposed for the tops of both stair wells and to the single storey library roof to increase natural light throughout the building and its circulation.



Fig. 16 Proposed Avenue Road Elevation with materials



7.0 BOUNDARY WALL



Fig. 17 Existing Avenue Road Boundary Wall

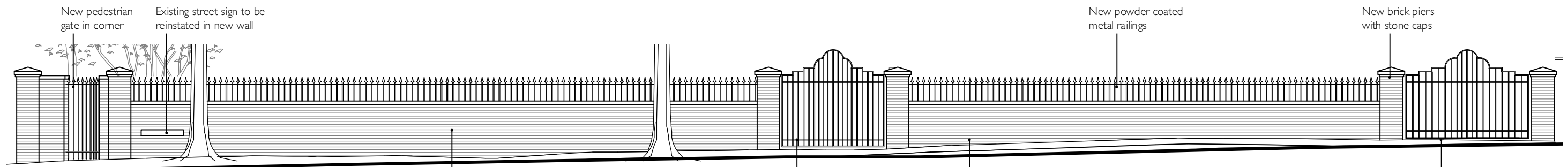


Fig. 18 Proposed Avenue Road Boundary Wall

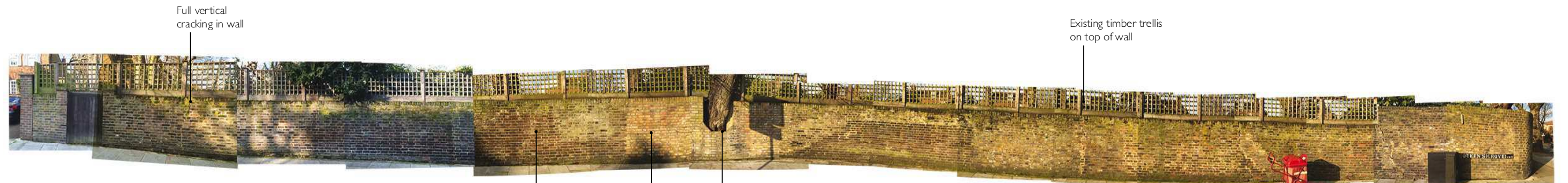


Fig. 19 Existing Queen's Grove Boundary Wall

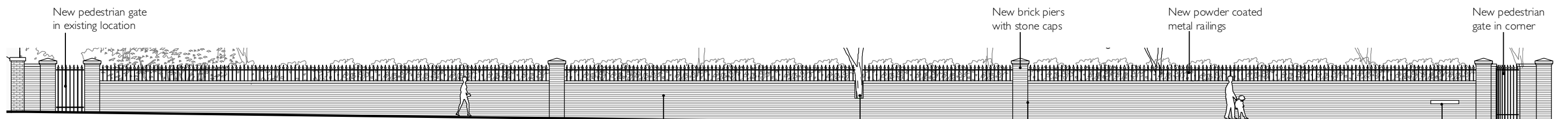


Fig. 20 Proposed Queen's Grove Boundary Wall

8.0 PROPOSED VIEW



Fig. 21 Proposed view of site from street

9.0 ACCESS STATEMENT

INCLUSIVE DESIGN

The proposals are Lifetime Homes and part M compliant for inclusive accessibility internally and externally. Ramped approaches are provided for both properties. Additionally, thresholds, doors and corridor widths, as well as a lift accessing all floors in each property, will provide for accessible passage throughout the dwellings in compliance with part M of the building regulations.

While the majority of the garden has been designed on a gradient, terraces have been provided for those requiring level access.

Please refer to Section 11.0 for a Lifetime Homes Assessment. Please refer to the separate Code for Sustainable Homes report for more information on inclusive access.

EMERGENCY ACCESS

Access to site for emergency vehicles is located at the vehicular crossovers for each property on Avenue Road.

REFUSE DELIVERY/ ACCESS

Refuse and recycling storage facilities are in accordance with Camden's requirements. They have been provided in close proximity to external doors with inclusive access. They will be enclosed to enhance appearance and stand on a hard, level impervious surface. Refuse and recycling will be wheeled out of the driveways for collection by the council on the relevant days.

Deliveries will be carried out from the Avenue Road entrances. Turning space has been provided in each driveway to allow deliveries to take place on site, without affecting traffic on Avenue Road.

10.0 SUSTAINABILITY

Note: please refer to the separate Sustainability and Energy Statement provided by Ridge for more detailed information.

The report details that high standards of environmental sustainability will be achieved with the proposed dwellings, with a 40% reduction in carbon dioxide emissions beyond Part L1A 2010 requirements to satisfy the London Plan Policy 5.2. The development is to achieve the Code for Sustainable Homes Level 4.

The combination of energy efficient fabric to reduce energy demand, efficient building services, and active renewable energy technologies to meet remaining energy demands will serve to provide energy efficient and sustainable new dwellings.

The building skins have been designed to have efficient air tightness, insulating materials and construction, south facing apertures for solar gain and thermal massing within the structure for slow release of energy. Light wells and courtyards are provided to allow natural light and ventilation into below-ground rooms, reducing the demand on mechanical and electrical systems. The sustainable strategy includes Photovoltaic panels and Combined Heat and Power systems as low carbon technologies to serve electricity and heating to the dwellings.

The Code for Sustainable Homes targets will ensure that the development employs a holistic approach to improve efficiency and minimise impact on the local and wider environment, both during and after construction.

11.0 LIFETIME HOMES ASSESSMENT

CRITERIA	LIFETIME HOMES STANDARD	ASSESSMENT
1	Where there is a car parking adjacent to the home, it should be capable of enlargement to achieve an overall parking width of 3300mm.,	SCHEME FULLY COMPLIANT
2	A level or gently sloping approach to the dwelling should be kept to a minimum distance.	SCHEME FULLY COMPLIANT: Ramped access no steeper than a 1:20 slope has been provided in both dwellings from the front forecourt to the secondary entrance in compliance with criterion 3. The primary entrance will be accessible by a platform lift. All non-ramped entrances provide steps that are fully compliant with part M.
3	All entrances should preferably be level or gently sloping.	SCHEME FULLY COMPLIANT: See previous. Ramped access has been provided from the front forecourts to the secondary entrances whilst a platform lift has been provided at the primary entrances. It was impractical to ramp up to the primary entrance given space availability. The Ground Floor is raised by 500mm to reduce the risk of surface water flooding.
4	All entrances should be illuminated, have level access over threshold and clear widths as outlined in the criterion. Main entrances should have weather protection and landings.	SCHEME FULLY COMPLIANT: The main entrances to the house have ample weather protection and a level external landing, accessible by platform lift. All entrances will be illuminated, have level thresholds and clear widths.
5	Communal access stairs should provide easy access. Where a lift is provided, the lift should be wheelchair accessible.	NOT APPLICABLE
6	The width of internal doorways and hallways should conform to part M, except where the approach is narrower, in which case doorways in their side walls should be wider. All doors on the entrance level should have a 300mm leading edge of door.	SCHEME FULLY COMPLIANT
7	There should be space for turning a wheelchair in dining areas and living areas, and basic circulation space for wheelchair users elsewhere.	SCHEME FULLY COMPLIANT: Generous space for manoeuvrability has been provided throughout.
8	Living area to be provided at entrance level.	SCHEME FULLY COMPLIANT
9	There should be potential for an entrance level bed-space in a house with two or more storeys.	SCHEME FULLY COMPLIANT
10	There should be a wheelchair accessible level WC compartment with drainage provision enabling a shower to be fitted in future.	SCHEME FULLY COMPLIANT
11	Walls in bathrooms and WCs should be capable of firm fixing and support for adaptations such as grab rails.	SCHEME FULLY COMPLIANT
12	The design should incorporate provision for a future stair lift and suitably identified space for potential installation of a through-floor lift.	NOT APPLICABLE: Through-floor lift is proposed to access all floors in dwellings
13	There should be the potential for the fitting of hoists between main bedroom and bathroom.	SCHEME FULLY COMPLIANT
14	There should be an accessibly designed bathroom for ease of access between WC, wash basin and bath.	SCHEME FULLY COMPLIANT
15	The principle living space glazing should begin at 800mm or lower, and at least one openable window in each habitable room should be approachable and easy to operate.	SCHEME FULLY COMPLIANT
16	Switches, sockets, ventilation and service controls should be located at a usable height - between 450mm and 1200mm from the floor; and 300mm away from internal corners.	SCHEME FULLY COMPLIANT

12.0 LANDSCAPING



The proposals incorporate large areas of soft landscaping and sustainable urban drainage systems for effect surface water drainage. Diverse species of trees, shrubs, plants and water will benefit the local ecology by improving biodiversity in the area. See landscape designer's, Bowles & Weyer, report.

