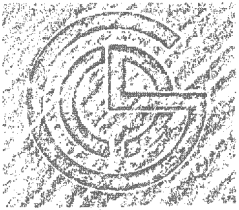


Rev A -Basement/garden access stair; Wall btwn bedroom 5 and playroom; plant sump; hub and cable tray notes, Wall btwn bedroom 5 and playroom; BD5 knob;

READ IN CONJUNCTION WITH SURVEY DRAWINGS AND WITH THE STRUCTURAL ENGINEERS DETAILS

CONSTRUCTION



THE CHARLTON BROWN PARTNERSHIP
ARCHITECTS

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8 GREENAWAY GARDENS, NW3

PROPOSED BASEMENT

1082/WD 02A

BRIEF SPECIFICATION

New External Walls to ground floor and above - Bricks to match existing (Roger Kynaston at Brickability matches bricks, tel. 07791 789 672); brick bond to match existing; Flemish bond with snapped headers; mortar colour and pointing type also to match existing; the contractor is to provide a sample panel for the architect's approval to remain on site during construction; 150mm cavity with wall ties to engineer's spec. with 100mm Rockwool High Performance Partial Fill Cavity slab insulation and 50mm clear cavity (care to be exercised in ensuring proper cavity width - keep cavity clear or mortar!); 100mm conc. block inner leaf unless otherwise stated to engineer's spec. with 20mm plaster. 'Peep Weep' cleave holes from Manthorpe Products to be provided through outer leaf above every cavity tray DPC at min. 450mm c/s (set out symmetrically). DPCs must be continuous when at openings in brickwork (at window heads etc). Redbank ceramic air bricks to match bricks.

Existing External Walls to ground floor and above - Strip internal face of walls back to bare brickwork and fix insulating dry-lining and skim. Repoint as required using a suitable lime mortar as recommended by SPAB Technical Pamphlet 5. Rebuild chimneys incorporating damp-proof courses.

Existing suspended timber floor (where access) - Fill joists with 100mm Rockwool Flexi or similar.

Waterproofing to Basement - All waterproofing products are by Grace Construction Products Limited, Ajax Avenue, Slough, Berkshire, SL1 4BH, United Kingdom, tel. 01753 692 929. www.graceconstruction.com - who are to check the details prior to construction and guarantee the installation. Generally, the waterproofing strategy comprises a new waterproof concrete box (using the Adprufe additive) built inside the underpinning, with a waterproof membrane to its outer face comprising Preprufe, Bituthene sheet and Bituthene LM, and a Hydroduct cavity drain to its inner face (20mm to the slab; 8mm to walls). Where Hydroduct is used to floors, the dimples are to be filled (from above!) with high strength mortar to allow it to carry load. All waterproofing products are to be installed in strict accordance with the manufacturer's recommendations.

Internal Walls
• **brickwork** 215mm to structural engineer's specification.
• **blockwork** 100mm or 140mm (typically) concrete block as shown, with 20mm plaster faces.
• **studwork** (stud positions shown diagrammatically only). If stud walls are between rooms, these are to be faced with 2 layers of 12.5mm PB and skim on both sides with 100mm Rockwool wall batts between studs unless otherwise noted. Studwork to ducts to be 75 x 75mm tan. ALL masonry/timber junctions to have EML with min. 200mm laps each side.

Windows - see window schedule.
Generally, all new windows are to exactly match the originals except that they are to be double-glazed with drained and ventilated beads. Therefore expose all reveals for architects to examine current dimensions and detailing. **The existing windows are retained and overhauled by Ventrolia.co.uk** (subject to the Building Control Inspector's approval of the retention of the existing windows). Contractor to inspect and advise regarding condition of all timber lintels and embedded timber plates to external walls; replace with proprietary steel or concrete units to the structural engineer's specification.

Internal doors - see door schedule - door construction to be certified 1/2 hr. / 1 hr. fire resistant where indicated on the schedule. Space hinges evenly.

Make up of Floors - see detailed drawings, acoustic report and structural engineers drawings; wet underfloor heating to Music room, Gym and Playroom; stone and tile bathroom floors (incl. the shower cubicle to Bath 1) are to have electric tile warming are to be laid on Ditra matting (3mm thick) by Schluter tel. 01530 813 396, www.schluter.co.uk, to provide an uncoupling layer to prevent cracking.

Garage Lead Roof - lead roof on non-bituminous building paper. The leadwork contractor is to assume responsibility for all joints, lengths of sheets and fixings and for laying in strict accordance with the recommendations of the Lead Sheet Association's Guide to Good Practice (tel. 01892 513351) - on 19mm marine plywood over tan. firings (min. 1 in 40 fall) on joists to engineer's spec.; with insulation between joists (see schedule) but allowing 50mm clear cross-ventilation pathway; well lapped and taped 1000 gauge vapour barrier - NO HOLES! and 12.5mm foil-backed PB and skim to underside.

Drainage - All new S&VP's to be cast iron, fire checked at floors. Fibre quilt insulation to be packed tightly around all pipes to full depths/widths to ducts accommodating these. New rainwater goods where required are by Alumasc (tel. 01744 648 400) to match existing. All gutters and downpipes in black.

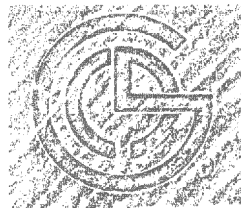
General - 1. All timber used for roof, studwork and general construction to be pressure impregnated.
2. All structural steel to be protected to 1 hour FR (1 layer of 12.5mm Gyproc Fireline board and 1 layer of 12.5mm PB & skim or the equivalent)
3. All habitable rooms to be provided with a minimum of 5000 sq. mm of background ventilation by way of airbricks or trickle vents to windows, and a minimum of 2500 sq. mm of background ventilation to the kitchen, utility room and bathrooms. Mechanical ventilation to basement rooms in accordance with the Building Regulations.
4. Flooring to all bathrooms to be tiles on two layers of 20mm marine plywood screwed and glued with staggered joints.
5. No lamination of timber unless shown on the rod drawings and agreed with the architects. Any joints other than those shown are to be marked on the rod drawings and agreed with the architects.

KEY	
	Existing walls
	NEW EXTERNAL WALLS New brick to match existing brickwork in size and bond. 65mm Course with 7mm joints 100mm cavity with wall ties to engineer's spec. (care to be exercised in ensuring proper cavity width and clear cavity) 100mm Kingspan TVG partial fill cavity wall insulation, fitted using double dip type wall tie and retaining clip, installed to the manufacturer's recommendations. ENSURE CAVITY IS KEPT CLEAR OF ALL WASTE AND EXCESS MORTAR! 100mm Medium density block 20mm depth of plaster
	NEW INTERNAL PARTITION WALLS 50 x 100 trassated studwork (shown as indicative) with 100mm Rockwool R10 semi-rigid slabs between the studs and 2 layers 12.5mm PB & skim each side (render on EML to 'wet' areas in bathrooms. Well lapped EML over junctions with masonry)
	NEW INTERNAL WALLS 100/40 mm concrete block to structural engineer's spec, unless otherwise stated with 20 mm plaster and emulsion both sides
	NEW EXTERNAL GARAGE WALLS Solid brickwork as specified by SE
DIMENSIONS IN BLUE ARE FINISHED DIMENSIONS COS - CONTRACTOR RESPONSIBLE FOR CHECKING DIMENSION ON SITE	

09.03.09 Rev A - Changes to Grd-1st staircase and ramp thru side passage; GD16 relocated with new landing and steps; kitchen/study wall; basement access stair; TV room chimney breast and nib removed; AC units for Kitchen+dining room +drawing room+music room
12.08.09 Rev B - Drawing room wall straightened, notes to G12+13+14,

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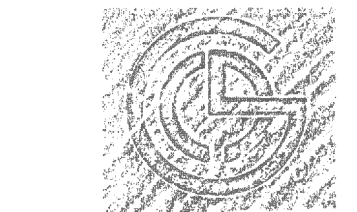
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8 GREENAWAY GARDENS, NW3
PROPOSED GROUND FLOOR

1082/WD 03B

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ARCHITECTS

1082/WD 04A

Revisions

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Where flat roof - install **Rockwool Roll**, 100mm between the joists with 170 mm cross laid above. Allow for a small access walkway to the air conditioning units, either using rigid insulation or a clearly labelled removable section of 170 mm **Rockwool Roll**. Line Loft access hatch with typical insulation; foil backed Kingspan Kooltherm K18 (20mm insulation bonded to plasterboard) faced fixed to ceiling joists & skimmed.

Dormers

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1082/WD 05A

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Revisions