

Appendix C: Plans, etc, as Proposed

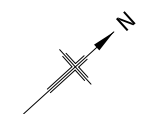
Trigram Partnership LLP drawings:

As Proposed:

- S/01: Lower and Upper Ground floor plans
- S/02: First and Second floor plans
- S/03: Front and Rear Facades
- S/04: Side Elevation and Section A-A
- S/05 Remedial Works to Ground Floor

STANDARD NOTES

1. GENERAL:
- 1.1 NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS ARE TO BE ESTABLISHED ON SITE.
- 1.2 THIS DRAWING IS TO BE READ WITH ALL RELEVANT ARCHITECTS AND SERVICES ENGINEERS DRAWINGS AND SPECIFICATIONS FOR CONSTRUCTION DETAIL, PLUMBING, DRAINAGE, ELECTRICAL WORK, HEATING WORK, INSULATION, DAMP PROOF DETAILS, VENTILATION, FINISHES, JOINERY ETC.
- 1.3 THE CONTRACTOR IS TO NOTIFY THE CONTRACT ADMINISTRATION (C.A.) OF ANY DISCREPANCIES BETWEEN THIS DRAWING AND SITE CONDITIONS BEFORE IMPLEMENTING THE WORK.
- 1.4 ANY TEMPORARY WORKS NECESSARY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



LEGEND:

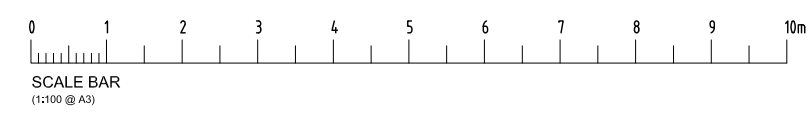
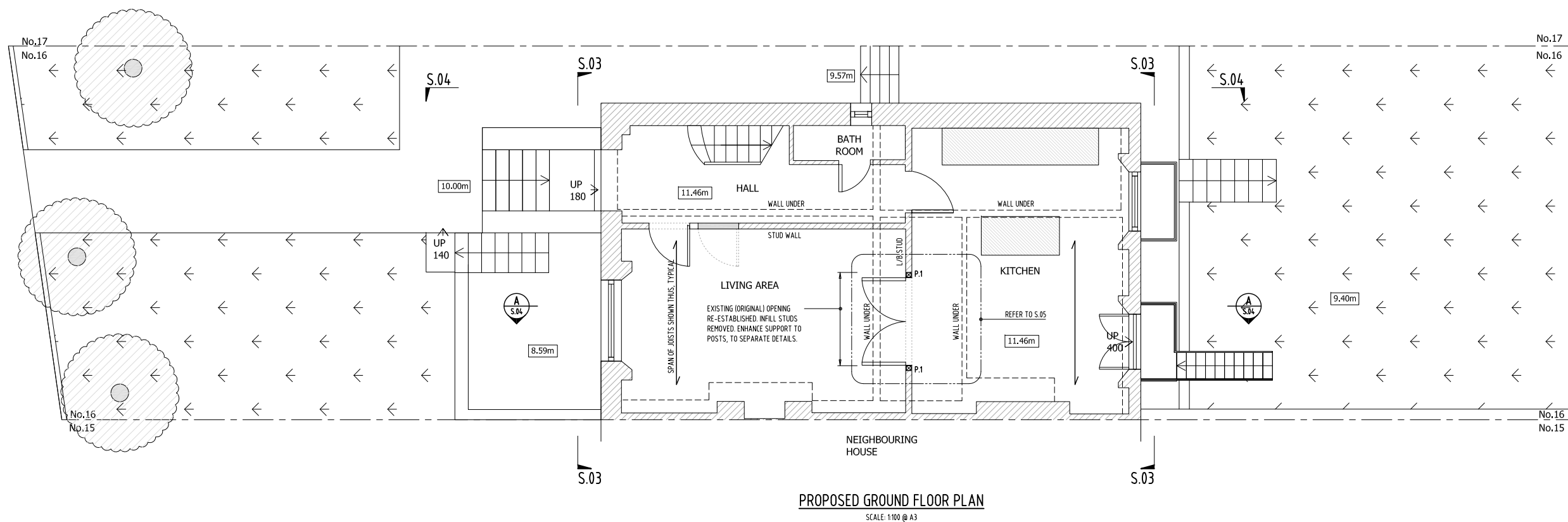
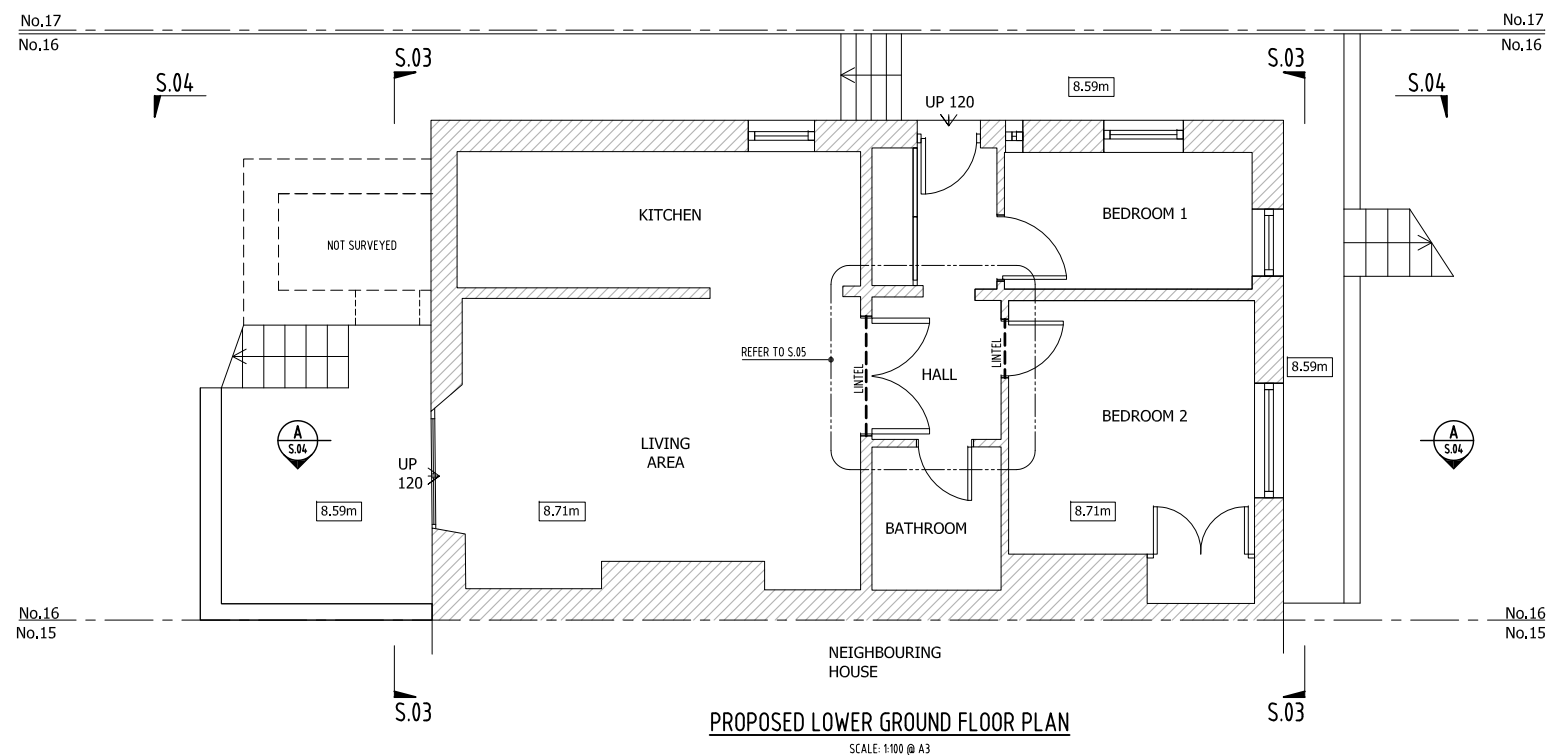
- EXISTING WALL
- NEW WALL
- WALL TO BE DEMOLISHED
- LOAD BEARING WALL UNDER
- 100x100 EXISTING TIMBER POST

NOTE 'A'

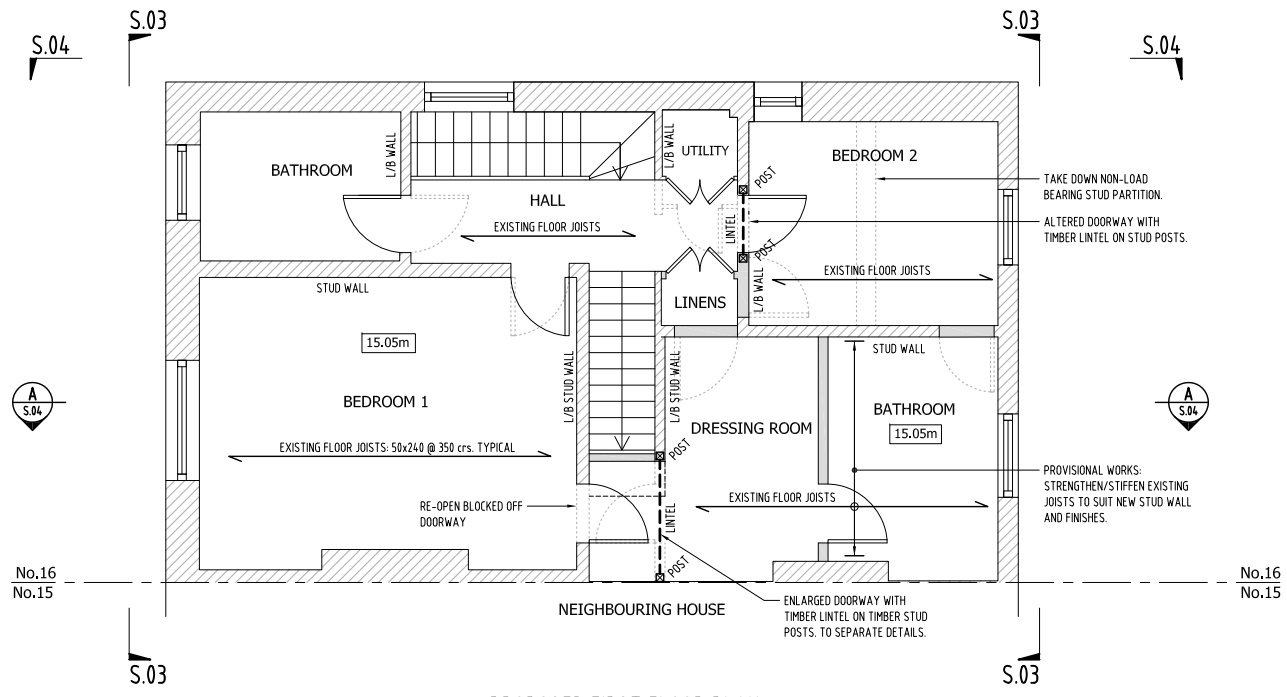
- FOR CRACK REPAIRS REFER TO ELEVATIONS.
- FOR REPAIRS TO INTERNAL AND EXTERNAL DRAIN RUNS, REFER TO SPECIALIST'S REPORT.
- FOR DPC AND INTERNAL WATERPROOF RENDER SPECIFICATION, REFER TO SPECIALIST'S REPORT.

NOTE 'B'

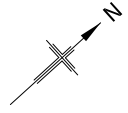
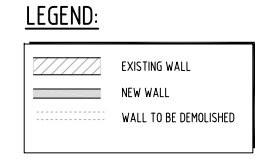
- FOR REMEDIAL WORKS TO INADEQUATE SUPPORTS, REFER TO DRAWING 4289/S.06



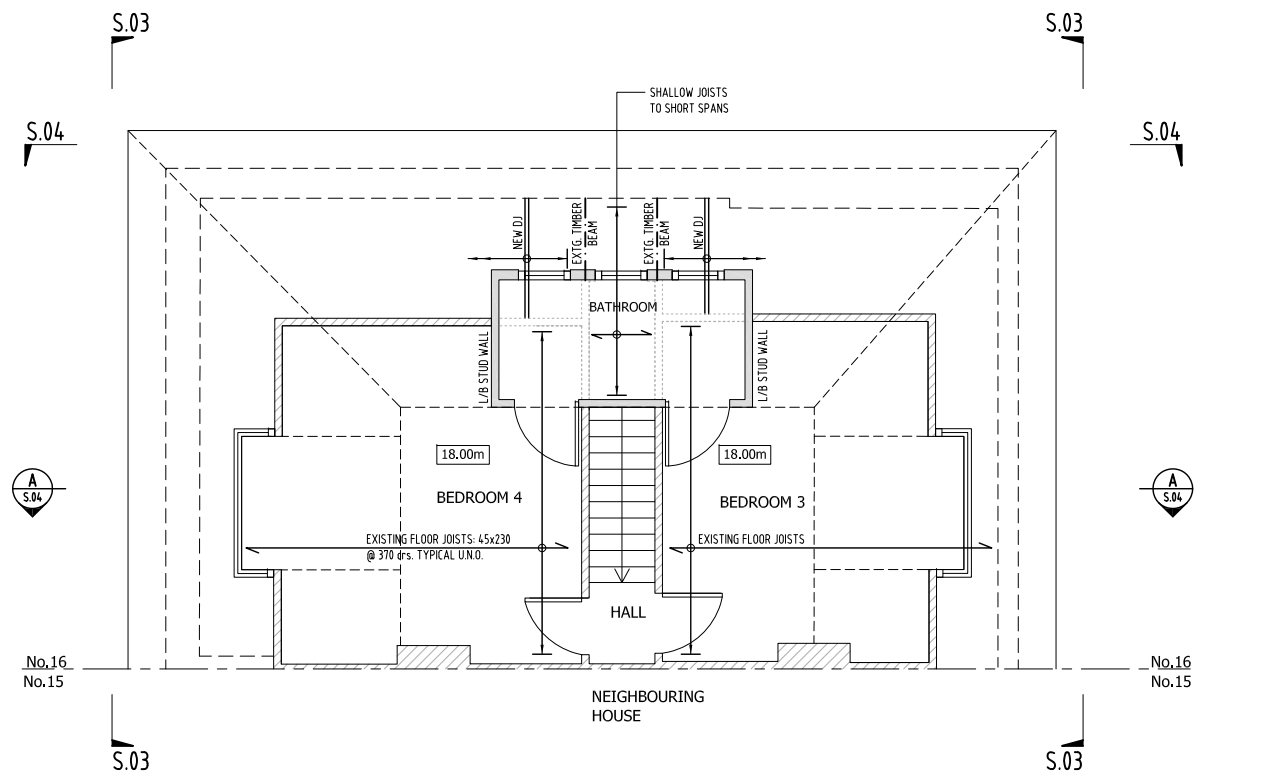
REV	DATE	DESCRIPTION	BY
DRG STATUS PRELIMINARY			
CLIENT JOSEPH BEKHOR			
JOB TITLE 16 ETON VILLAS LONDON, NW3			
DRG TITLE PROPOSED LOWER GROUND AND GROUND FLOOR PLANS			
		HARLING HOUSE 47-51 GREAT SUFFOLK ST. LONDON SE1 0BS TEL: 020-7401 8100 FAX: 020-7401 8845	
JOB NO 4289	DRG NO S.01	REV /	SCALE 1:100 @ A3 DATE 06/2015



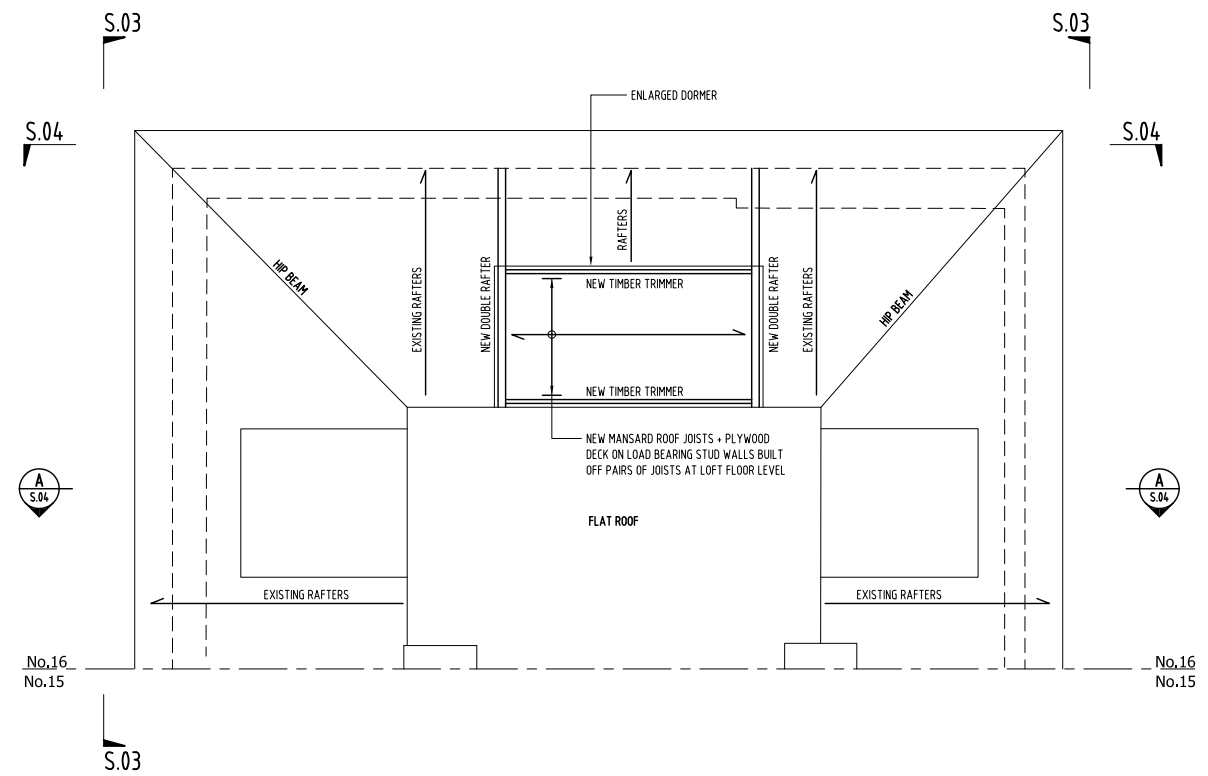
PROPOSED FIRST FLOOR PLAN
SCALE: 1:100 @ A3



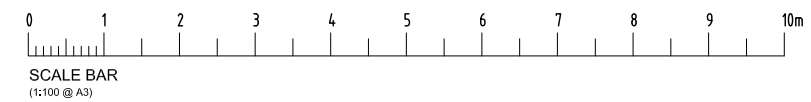
- STANDARD NOTES**
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 - THIS DRAWING IS TO BE READ WITH ALL RELEVANT ARCHITECTS AND SERVICES ENGINEERS DRAWINGS AND SPECIFICATIONS FOR CONSTRUCTION DETAIL, PLUMBING, DRAINAGE, ELECTRICAL WORK, HEATING WORK, INSULATION, DAMP PROOF DETAILS, VENTILATION, FINISHES, JOINERY ETC.
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PROPOSED LOFT FLOOR PLAN
SCALE: 1:100 @ A3



PROPOSED ROOF PLAN
SCALE: 1:100 @ A3



REV	DATE	DESCRIPTION	BY
DRG STATUS PRELIMINARY			
CLIENT JOSEPH BEKHOR			
JOB TITLE 16 ETON VILLAS LONDON, NW3			
DRG TITLE PROPOSED FIRST, LOFT FLOOR AND ROOF PLANS			
JOB NO 4289		DRG NO S.02	REV /
SCALE 1:100 @ A3		DRN IP	DATE 06/2015

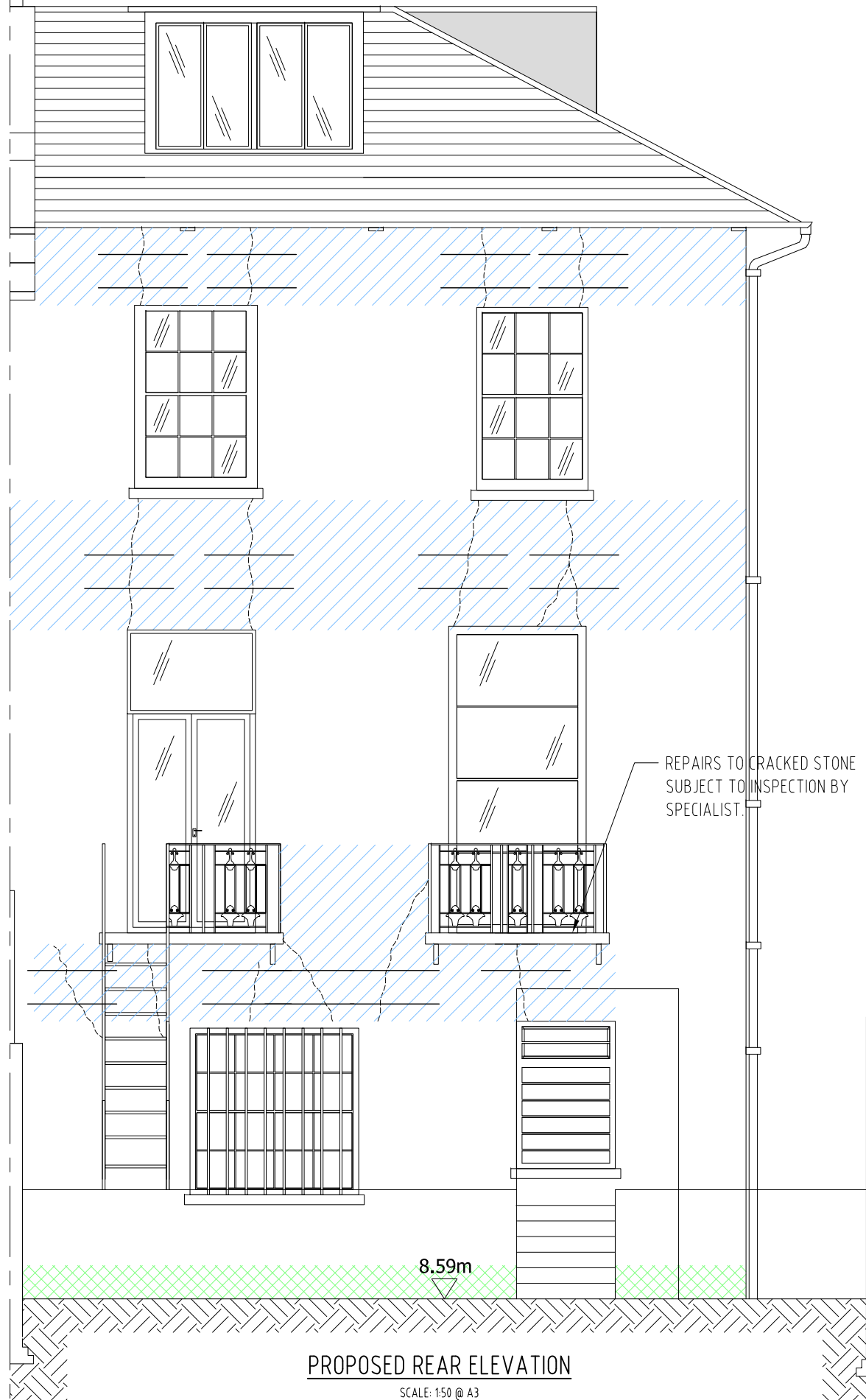
TRIGRAM PARTNERSHIP
CONSULTING STRUCTURAL ENGINEERS

HARLING HOUSE
47-51 GREAT SUFFOLK ST.
LONDON EC1 1QB
TEL: 020-7401 8100
FAX: 020-7401 8845



PROPOSED FRONT ELEVATION

SCALE: 1:50 @ A3



PROPOSED REAR ELEVATION

SCALE: 1:50 @ A3

STANDARD NOTES

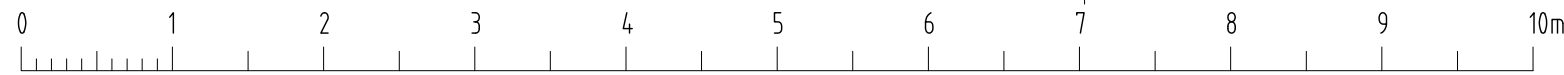
1. GENERAL:
11. NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS ARE TO BE ESTABLISHED ON SITE.
12. THIS DRAWING IS TO BE READ WITH ALL RELEVANT ARCHITECTS AND SERVICES ENGINEERS DRAWINGS AND SPECIFICATIONS FOR CONSTRUCTION DETAIL, PLUMBING, DRAINAGE, ELECTRICAL WORK, HEATING WORK, INSULATION, DAMP PROOF DETAILS, VENTILATION, FINISHES, JOINERY ETC.
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LEGEND:

	RESIN-INJECTED CRACK WITH HELI-BAR REPAIR TO SPECIALIST'S SPECIFICATION
	EXISTING CRACKED RENDER SUBJECT TO DETAILED SURVEY. PROVISIONAL WORKS: HACK OFF AND REPLACE, TO MATCH EXISTING (ORIGINAL?) MATERIALS AND FEATURES.
	SAW CUT RENDER AT LEVEL OF DPC, FORM BELL-MOUTHED DRIP FEATURE ABOVE SAW-CUT LINE.

REPAIRS TO CRACKED STONE SUBJECT TO INSPECTION BY SPECIALIST.

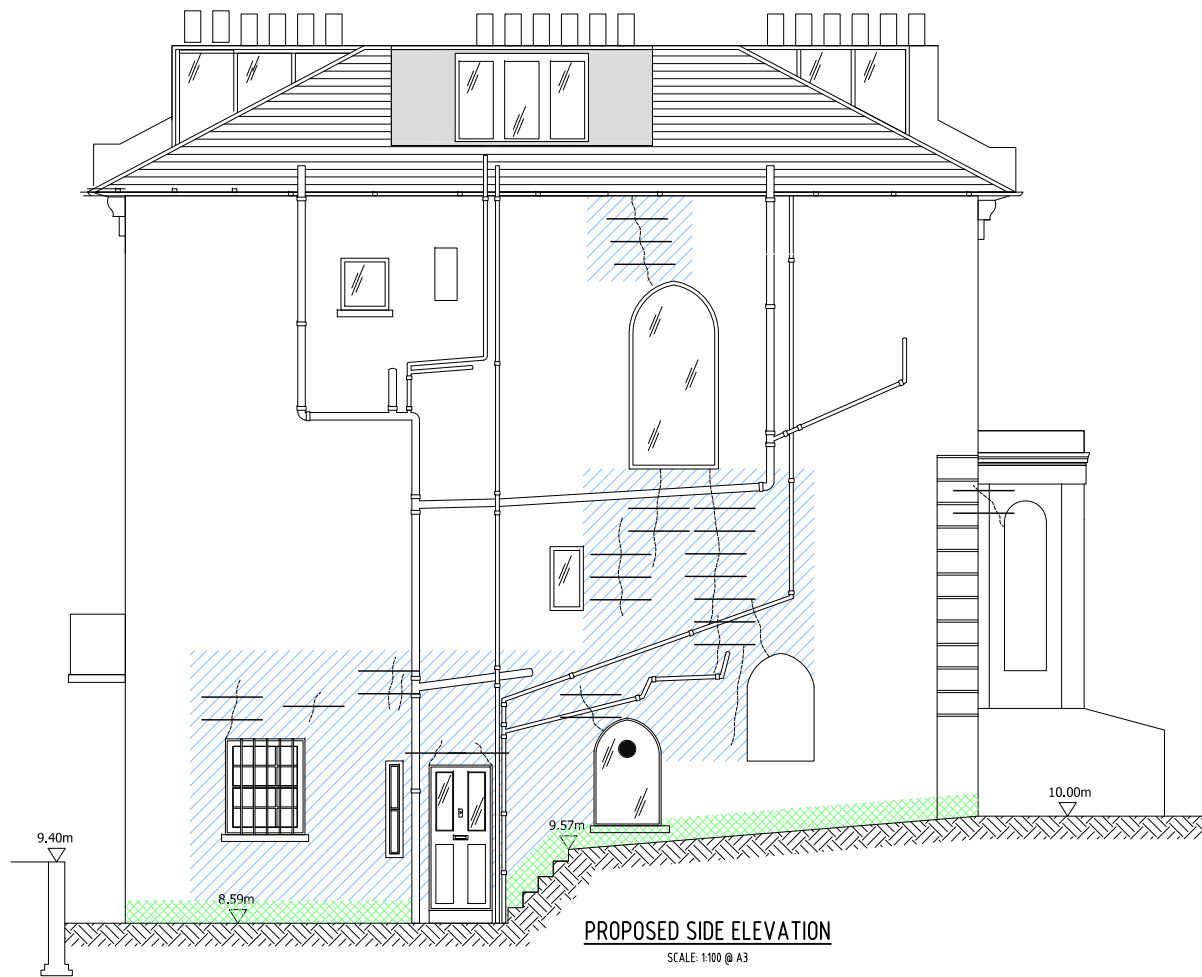
SCALE BAR
(1:50 @ A3)






REV	DATE	DESCRIPTION	BY
DRG STATUS		PRELIMINARY	
CLIENT		JOSEPH BEKHOR	
JOB TITLE		16 ETON VILLAS LONDON, NW3	
DRG TITLE		PROPOSED ELEVATIONS	

	TRIGRAM PARTNERSHIP CONSULTING STRUCTURAL ENGINEERS	HARLING HOUSE 47-51 GREAT SUFFOLK ST. LONDON SE1 0BS TEL: 020-7401 8100 FAX: 020-7401 8845
	JOB NO 4289	DRG NO S.03

REV	SCALE	DATE
DRN	IP	06/2015

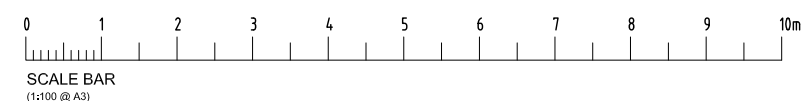
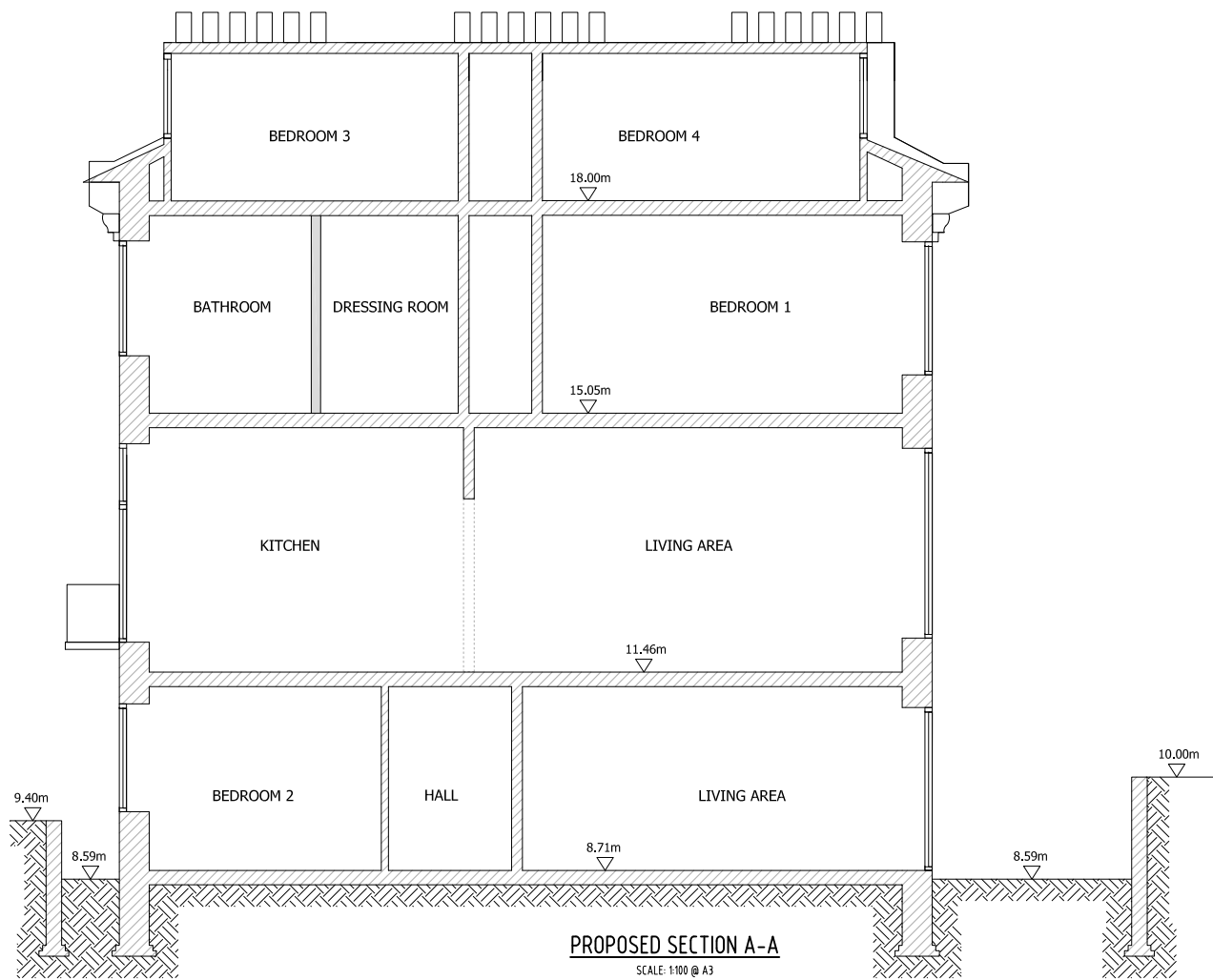


LEGEND:

-  RESIN-INJECTED CRACK WITH HELL-BAR REPAIR TO SPECIALIST'S SPECIFICATION
-  EXISTING CRACKED RENDER SUBJECT TO DETAILED SURVEY. PROVISIONAL WORKS: HACK OFF AND REPLACE, TO MATCH EXISTING (ORIGINAL?) MATERIALS AND FEATURES.
-  SAW CUT RENDER AT LEVEL OF DPC, FORM BELL-MOUTHED DRIP FEATURE ABOVE SAW-CUT LINE.

STANDARD NOTES

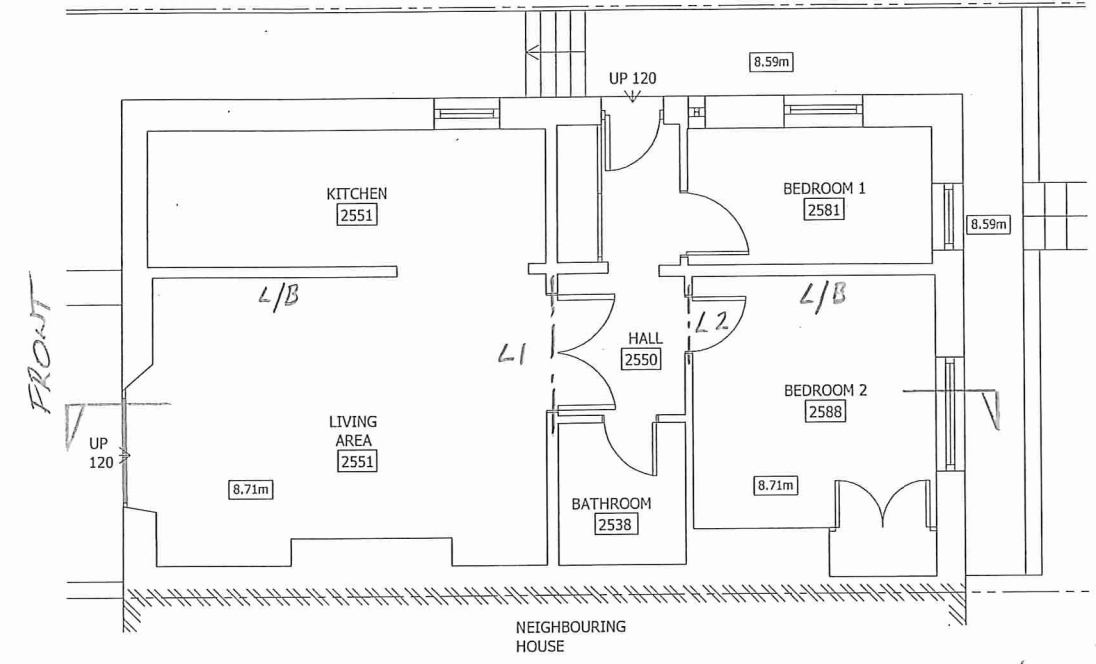
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REV	DATE	DESCRIPTION	BY
DRG STATUS PRELIMINARY			
CLIENT JOSEPH BEKHOR			
JOB TITLE 16 ETON VILLAS LONDON, NW3			
DRG TITLE PROPOSED SIDE ELEVATION AND SECTION A-A			
JOB NO 4289		DRG NO S.04	REV /
SCALE 1:100 @ A3		DATE 06/2015	IP

TRIGRAM PARTNERSHIP
CONSULTING STRUCTURAL ENGINEERS

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47-51 GREAT SUFFOLK ST.
LONDON SE1 0BS
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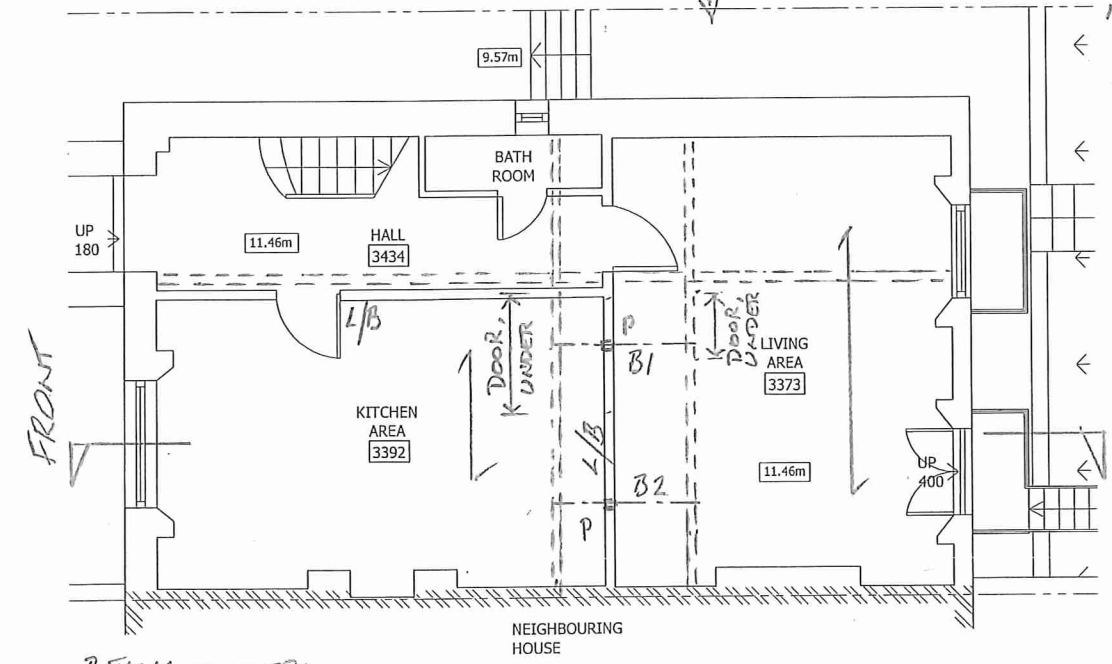


LOWER G/D FLOOR. (Approx 1:100)

REPLACEMENT LINTELS:-
 PRESTRESSED CONCRETE BY 'STRESS-LINE'

- L1: 100w x 140h HI-STRENGTH WITH 250 BEARING LENGTH
- L2: 'RISA' (100x150) WITH 150 BEARING LENGTH

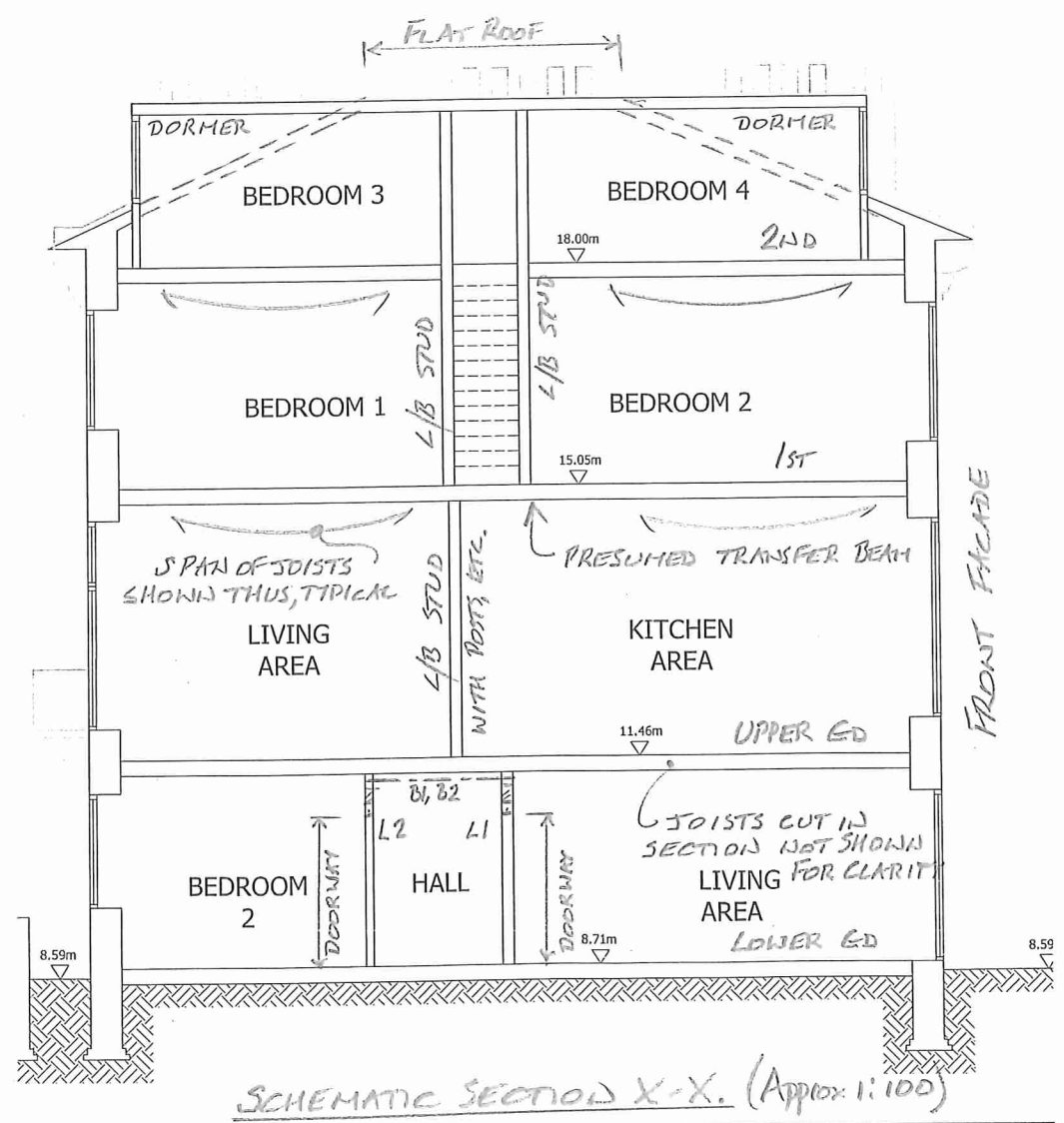
'P' DENOTES 100x100 TIMBER POST (ORIGINAL POSTS TO INFILL OPENING IN L/B STUD WALL)



BEAMS UNDER:-

- B1, B2: 100x100x8.0 SHS GRADE 355 HOT FINISHED, WITH P.C. PLANK LINTELS AS PADSTONES, 450 LONG.

UPPER G/D FLOOR. (Approx 1:100)



SCHEMATIC SECTION X-X. (Approx 1:100)

**Appendix D: Photographs of trees;
 and Plan annotated with NHBC guidelines**

Trigram Partnership LLP SK/010

Existing Mature Trees.

Horse Chestnut to rear of house, from 2nd floor rear windows:



Minor previous tree surgery apparent:



Mature London Planes to front of house (left-hand of semi-detached pair):



Significant previous tree surgery clearly apparent:



MATURE CHESTNUT TREE
APPROX 14-16m HIGH

Eton Villas, London NW3

Approximate Gross Internal Area:
House - 229.9 sq.mts. / 2475 sq.ft.
(Including reduced height area,
below 1.5m - denoted with dashed line)
Reduced height area - 4.8 sq.mts. / 52 sq.ft.
Plant Room - 2.0 sq.mts. / 22 sq.ft.

CONSULTING STRUCTURAL ENGINEERS

HARLING HOUSE

47-51 Great Suffolk Street, LONDON. SE1 0BS

Telephone: 020 7401 8100 Facsimile: 020 7401 8845

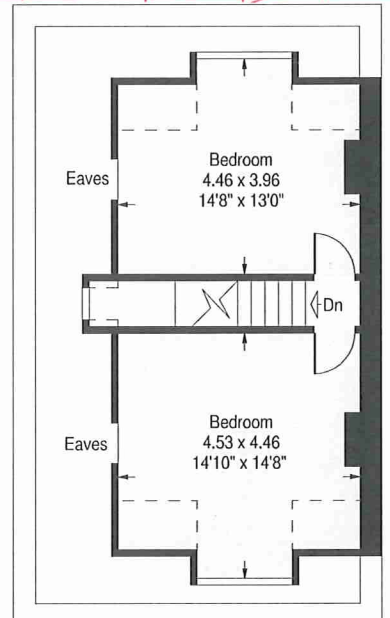
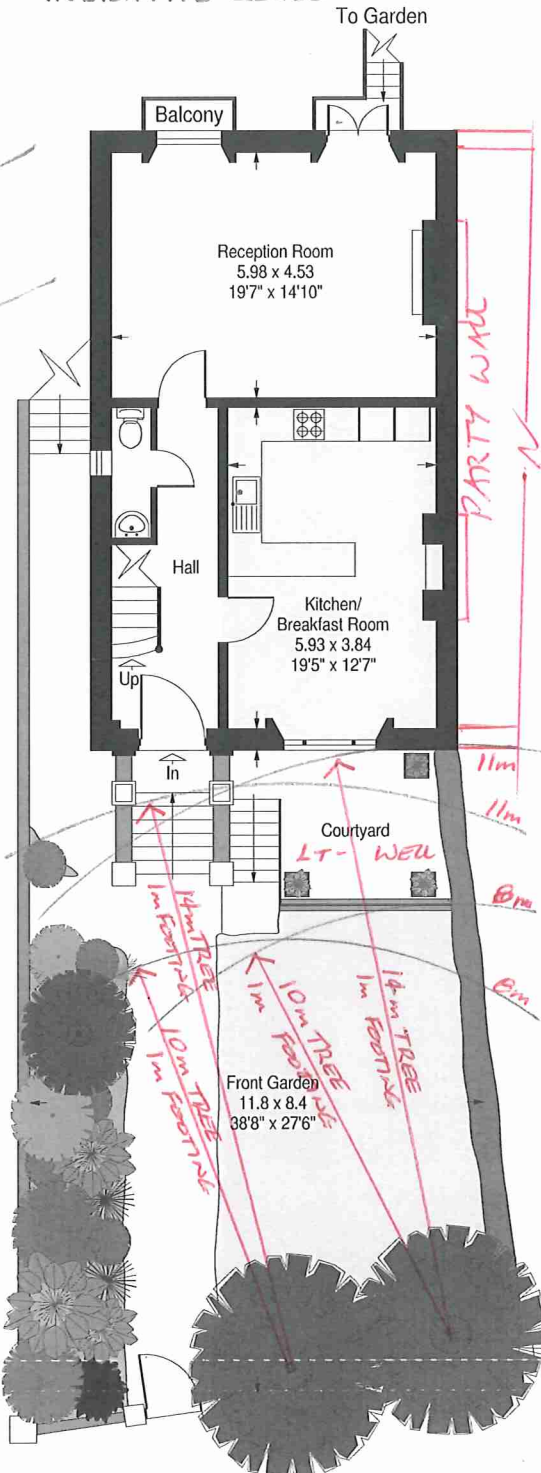
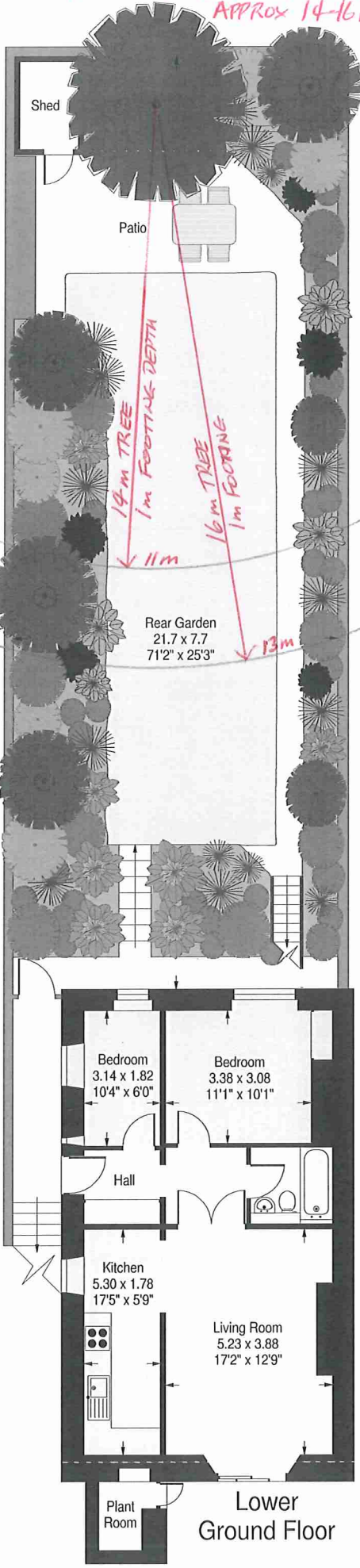
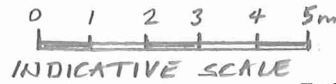
mail@trigrampartnership.com

Registered in England : 0C309613

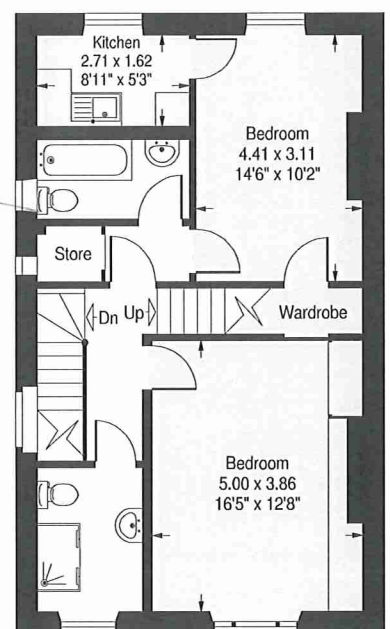
MAJOR TREES ANNOTATED

4289/SK/010 06/15/DH

NHBC GUIDELINES FOR
SINGLE MODERATE DEMAND
DECIDUOUS TREE IN SOILS
OF HIGH PLASTICITY SHOW



Second Floor



First Floor

Floor Plans produced by
Proplan
01491 842925

This plan is for guidance only and must not be relied upon as a statement of fact. Attention is drawn to the Important Notice on the last page of text of the Particulars.

MATURE PLANE TREES
APPROX 12-14m HIGH BUT PREVIOUSLY
REDUCED TO APPROX 10m