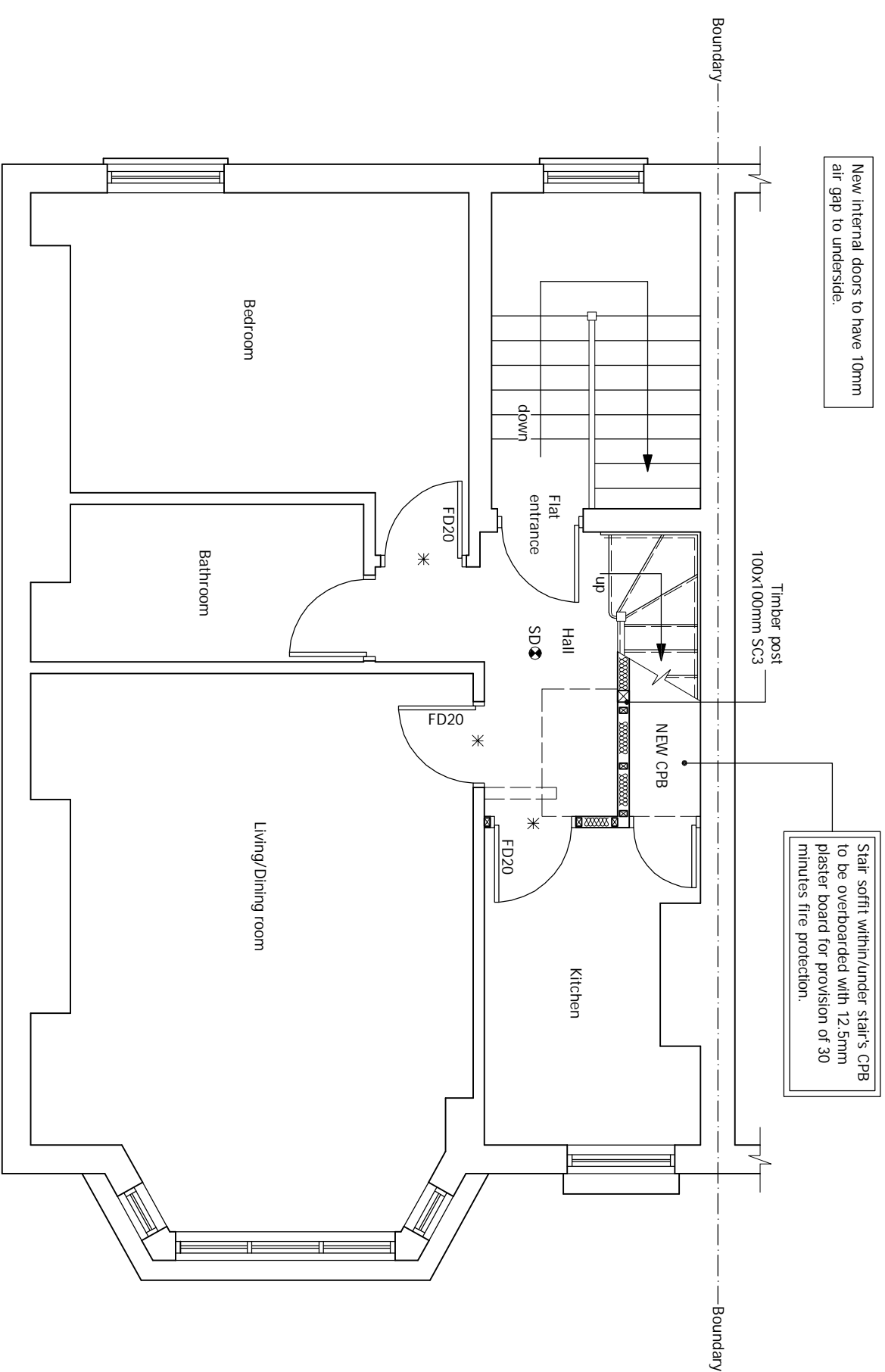
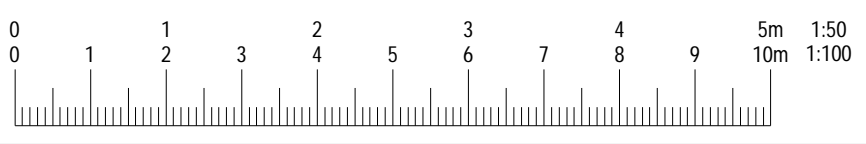


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PROPOSED FIRST FLOOR PLAN

Scale 1:50



DRAWING STATUS	CONSTRUCTION	
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REV.	DATE	NAME	DESCRIPTION
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DISCOUNT PLANS LTD
 PLANNING AND DESIGN SPECIALISTS
 HEAD OFFICE
 68 RAGLAN AVENUE
 WALTHAM CROSS
 HERTFORDSHIRE
 EN8 8DD
 07838135957

GENERAL NOTES:
 1. Ensure that all working drawings and calculations are approved by Building Control or Planning prior to commencement of building works the contractor/owner should:-
 2. Inform the Building Control department that the works are about to commence on site after reaching an approved decision from building control in writing.
 3. Verify boundary lines & ground conditions including checking positions of all gas, electrical, water & sewerage lines on drawings. DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
 4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership.
 5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
 6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings.

7. Where works involve demolition to ensure that all elements of the building and its contents are removed or destroyed for site that all necessary propping and temporary supports are in place.
 8. Works carried out under a building notice or prior to approval of drawings one of the contractors/owners risk. (All DPL drawings must be approved before works commence) Builders building without being approved by planning & building control are liable for any and all consequences, either between written and approved drawings or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, mechanical and electrical works. This includes types of materials if materials shown on drawings do not match which is on drawings. Any discrepancy between drawings and approved drawings should be reported to DPL before works can commence.
 9. All of DPL structural designs are subject to loadings being 1m deep, if however the design is for a different depth then the design will need to be checked on a different method of construction.
 10. All of DPL structural designs are subject to loadings being 1m deep, if however the design is for a different depth then the design will need to be checked on a different method of construction.
 11. All wall/s which have been designed to be removed on plans are to be checked on site by building control Inspector/builder for load bearing or non-load bearing status before purchase of steel/s. If non-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/materials changed for these steel/s.

PLANNING NOTES:

1. All new proposed roof and wall finishes on this drawing to match existing materials.
2. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile.
3. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing.
4. For a permitted development lot design the dormer height on this drawing is confirmed from the survey by DPL on the site.
5. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

PRINT @ A3 SHEET SIZE
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SITE ADDRESS
 10C SAVERNAKE ROAD,
 HAMPSTEAD, LONDON, NW3 2JP

DRAWING NO.	DPL.04.	REVISION	-
SCALE	AS SHOWN	DATE	26. MAY. 2015
DRAWN AT	HEAD OFFICE	DRAWN BY	