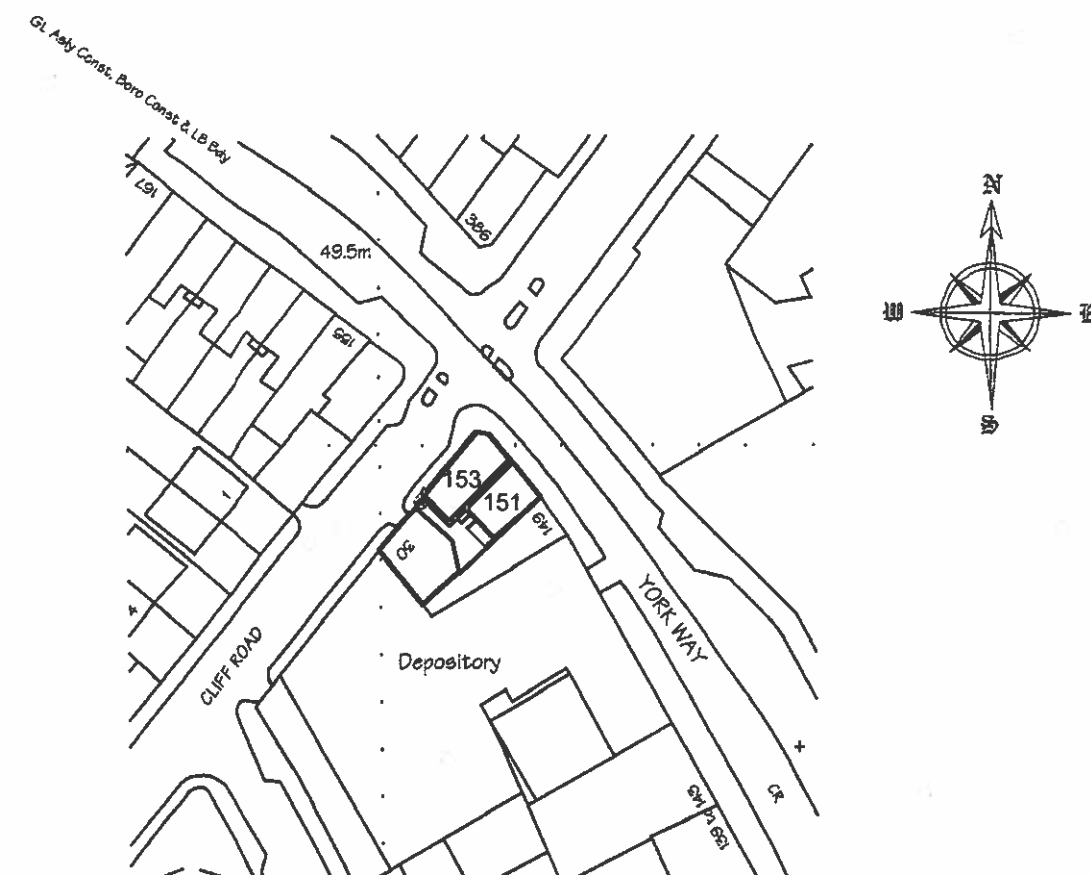
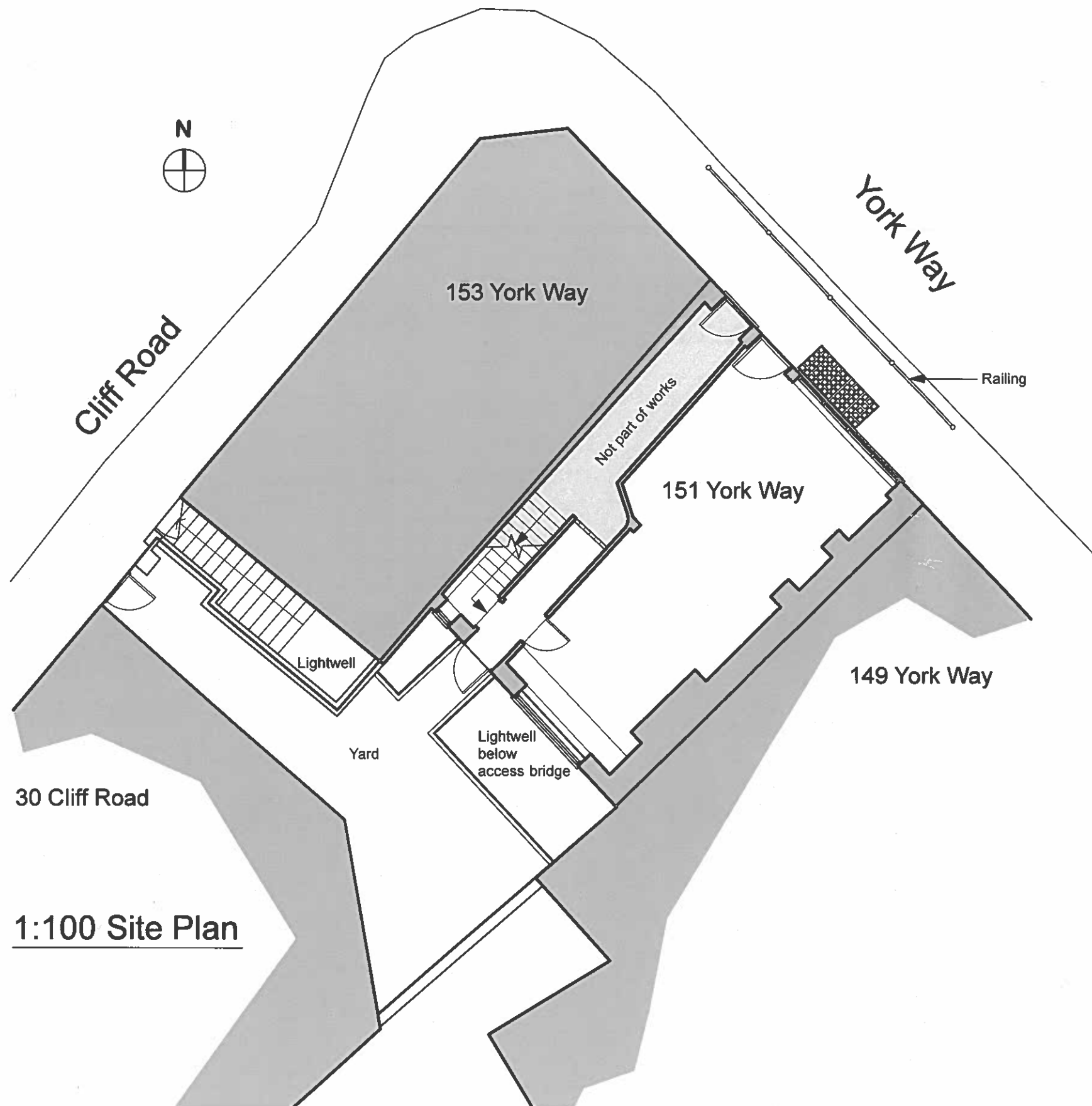
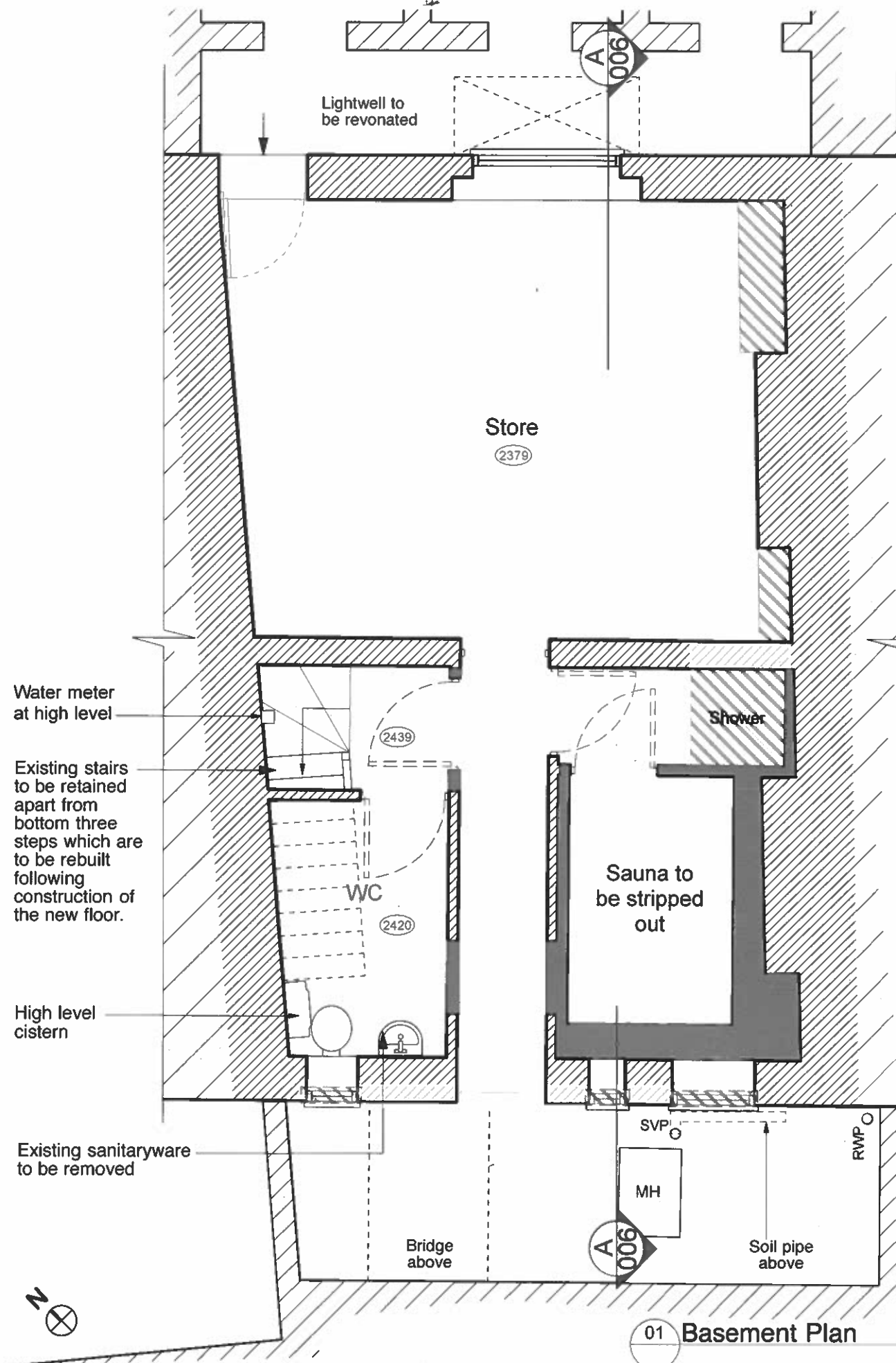




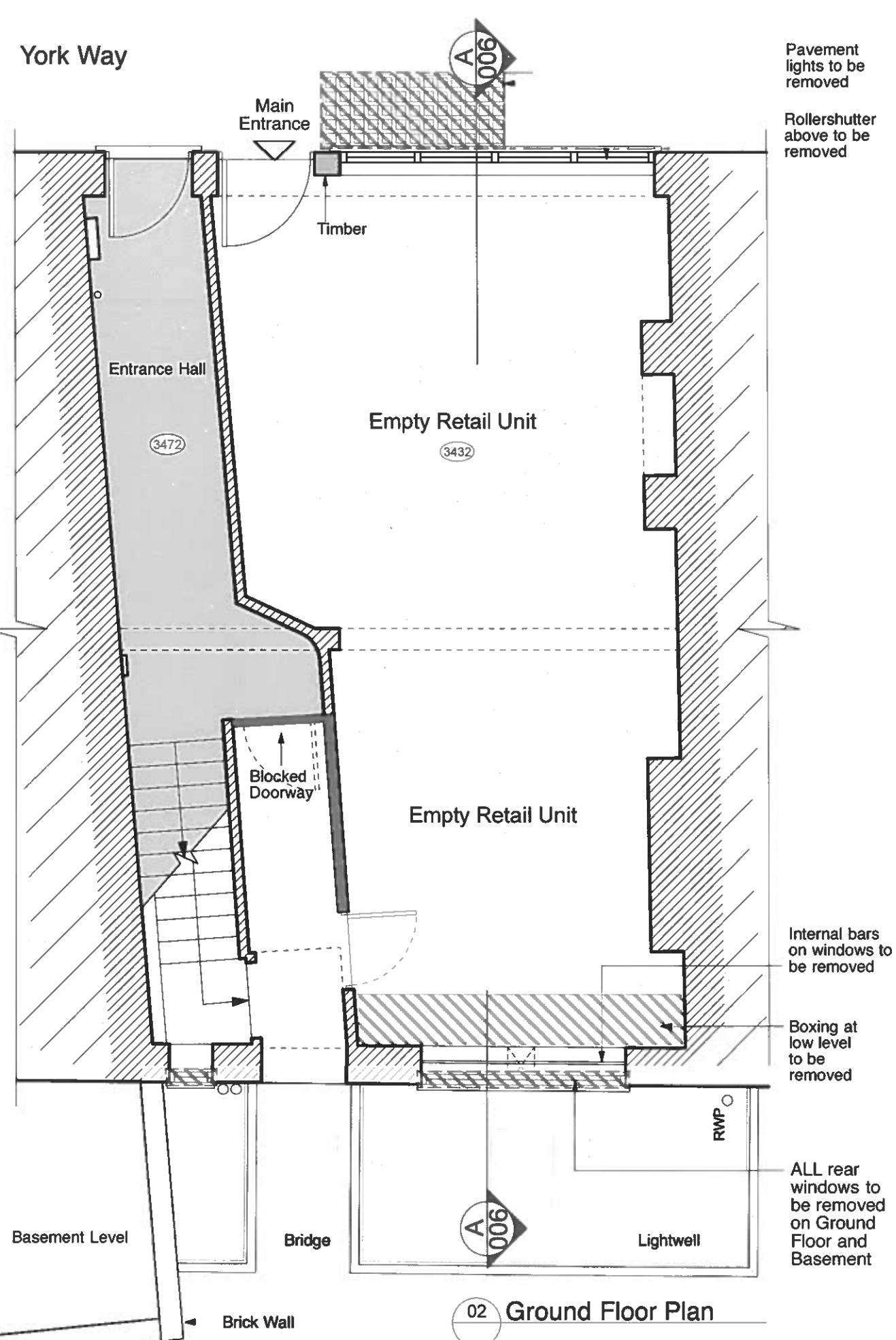


01 Basement Plan

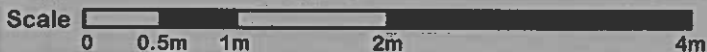
Key:

- Walls / Stud Partition to be removed
- Joinery / Fittings to be removed
- Door, frame & partition above to be removed.

- Notes:**
1. Ensure all electrics are disabled prior to stripping-out and hacking off plaster etc.
 2. Unless otherwise noted, all removed materials are to be disposed of away from site in a suitable manner.
 3. All plumbing in all existing WCs / Bathrooms to be removed and capped off at floor ready for new installation.
 4. Refer to drawing 252-016 for Proposed Electrical Layout. Strip out all necessary wiring to suit new layout.
 5. All kitchen units to be removed.
 6. All floor finishes to be removed (floor boards to remain).
 7. All wall paper to be removed (assume all walls currently papered).
 8. Remove ALL vegetation from external walls, gutters, roofs & parapets etc.
 9. Remove Polystyrene Ceiling Tiles/ Artex Ceilings (after Absestos testing)
 10. Remove Lead pipework and reinstate as necessary in uPVC / Cast Iron as necessary



02 Ground Floor Plan



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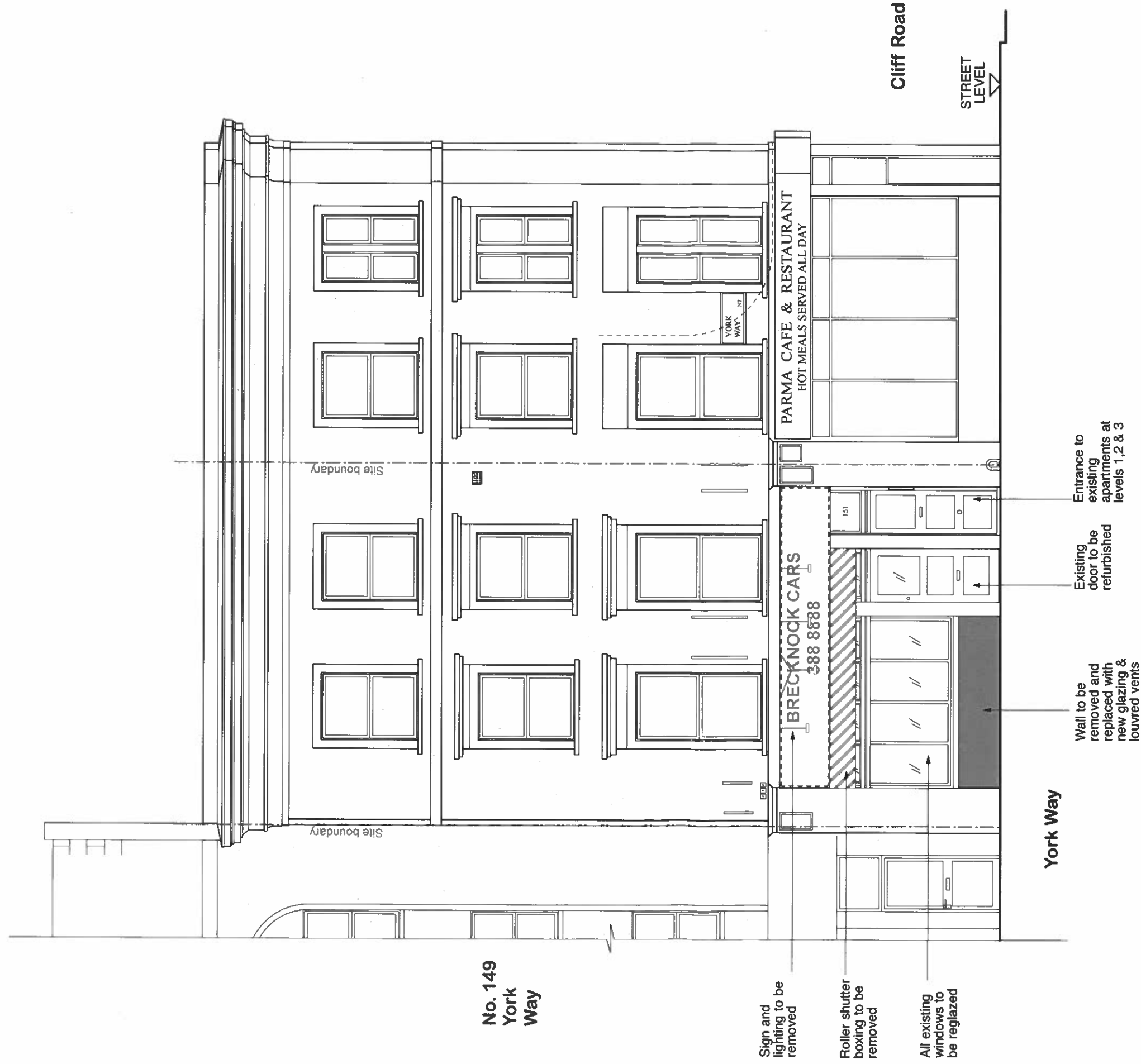
Existing Basement & Ground Floor Plans & Demolition / Strip-out

PURPOSE OF ISSUE

- Preliminary ☐
- Planning ☐
- Tender ☐
- Construction ☒

252-002
 Rev: A
 Date: 02.07.13
 Scale: 1:50 @ A3

norton ellis architects nea
 151 York Way, London, N7 9LG
 Existing Basement & Ground Floor Plans



Scale 0 1m 2m 3m 5m

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Existing Front Elevation Stripping Out

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9LG

PURPOSE OF ISSUE
Preliminary ☐
Planning ☐
Tender ☐
Construction ☒

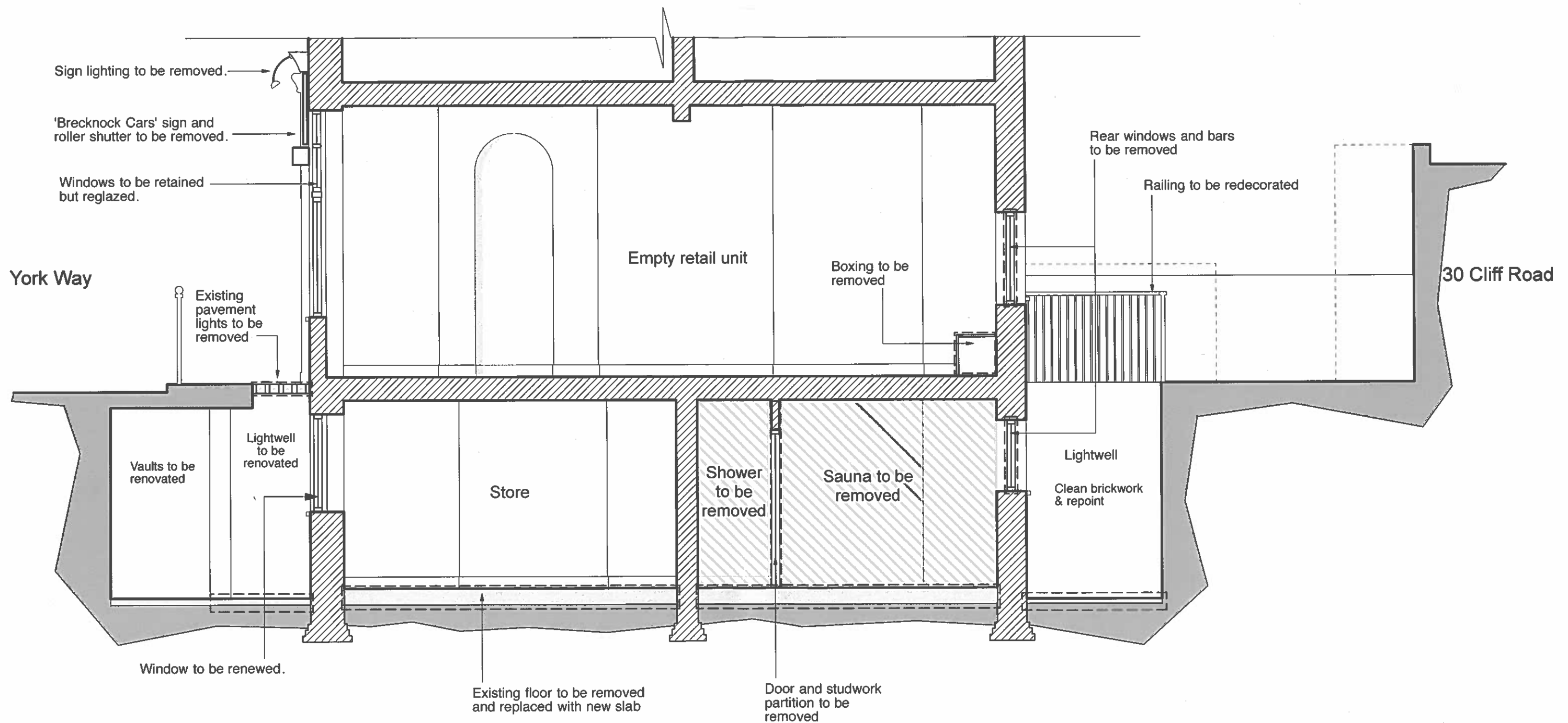
252-004

Rev: A

Date: 10.07.13

Scale: 1:75 @ A3

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01
006 Existing Section AA
1:50

Scale 0 0.5m 1m 2m 4m

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Existing Section AA - Demolitions & Strip-out

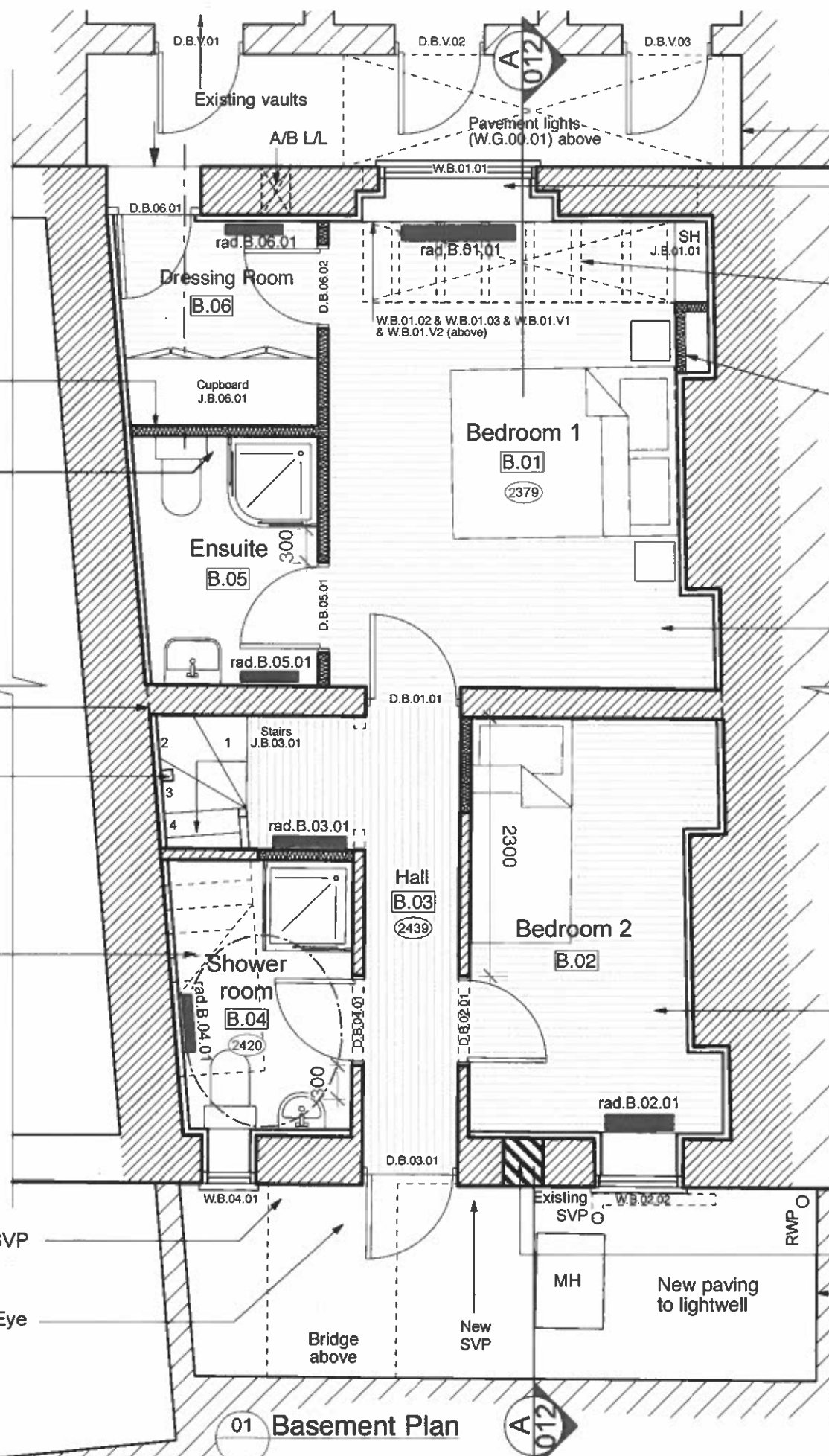
PURPOSE OF ISSUE
Preliminary ☐
Planning ☐
Tender ☐
Construction ☒

252-006
Rev: A
Date: 08.07.13
Scale: 1:50 @ A3

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Existing Section AA - Demolitions & Strip-out



Waterproof render to vault walls
Raised cill level
New electricity meter
Existing electricity meter
Existing Ground Floor joists retained and one hour fire rated with Gyproc Fireline board
New studwork partition

Gyproc Sound Bloc or similar approved to partition with communal Hallway

New timber floor finish

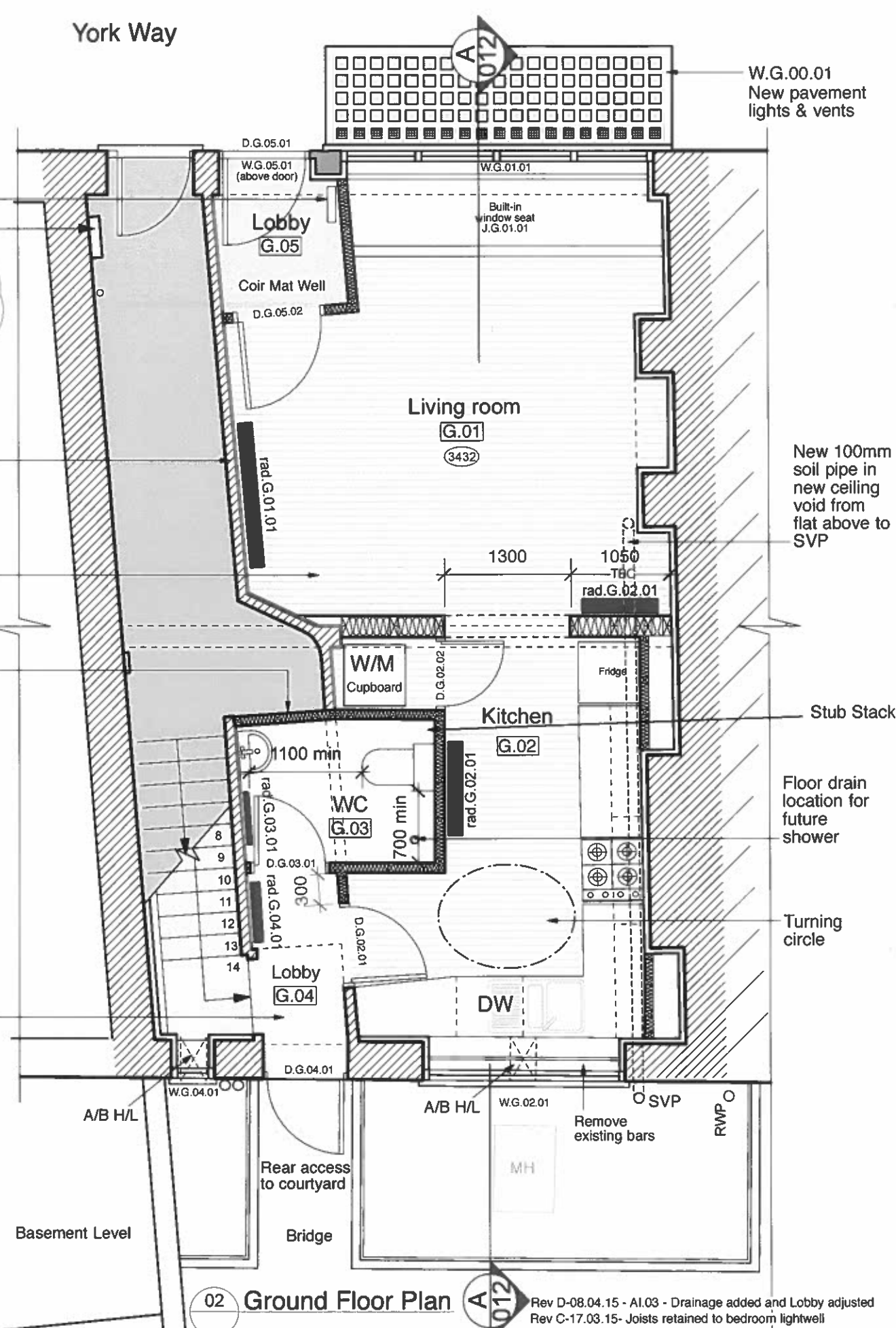
1hr fire rated partition

New concrete floor with insulation below screed to entire basement

New ceiling to Lobby

Windows W.B.02.01 blocked up & cill removed

Clean & Repoint Brickwork



New 100mm soil pipe in new ceiling void from flat above to SVP

Stub Stack

Floor drain location for future shower

Turning circle

Rev D-08.04.15 - AI.03 - Drainage added and Lobby adjusted
Rev C-17.03.15- Joists retained to bedroom lightwell
rev B-29.01.14- W.B.02.01 blocked up. W.B.01.01 cill raised

Scale 0 0.5m 1m 2m 4m

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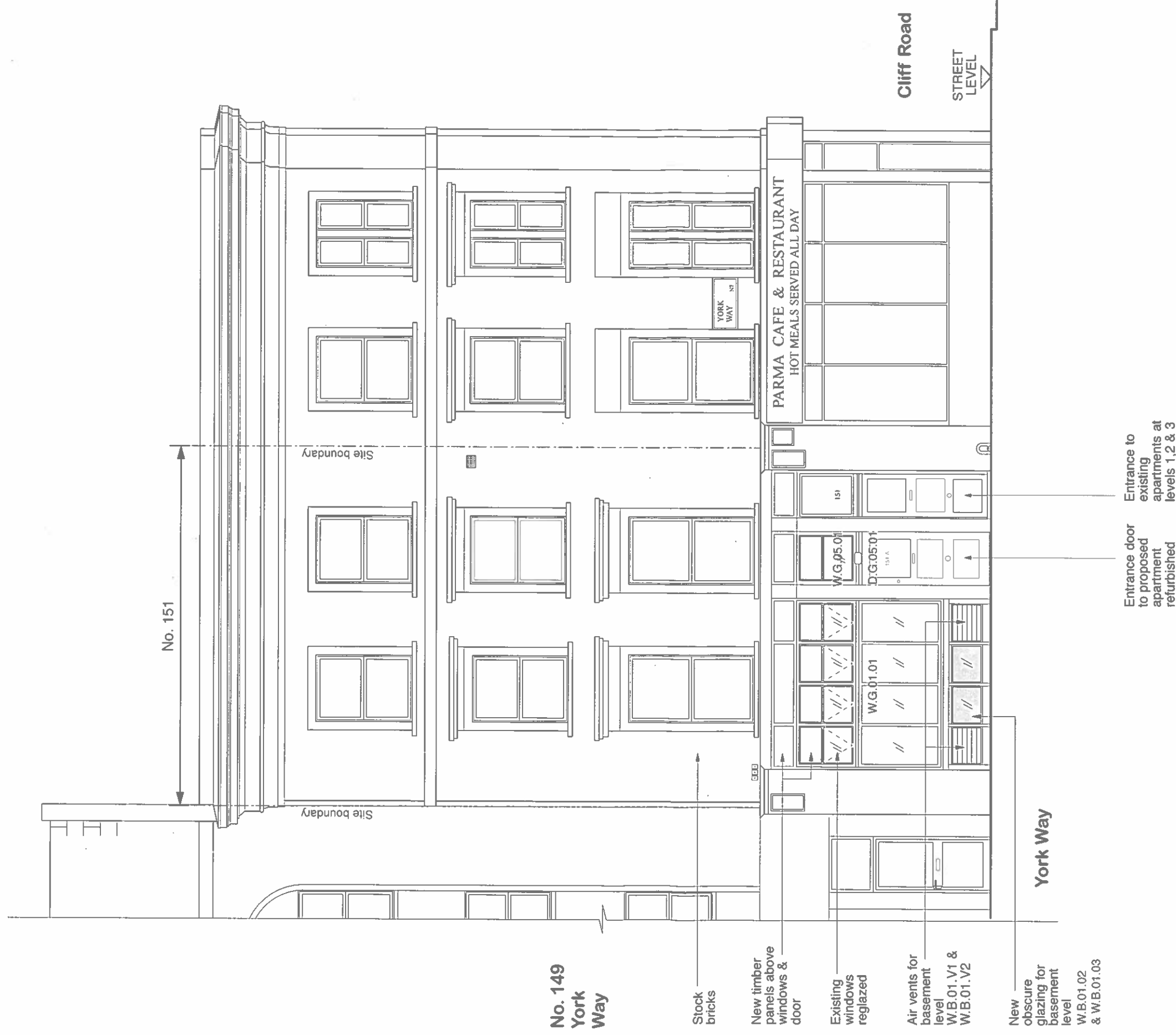
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Proposed Basement & Ground Floor Plans

PURPOSE OF ISSUE
Preliminary ☐
Planning ☐
Tender ☐
Construction ☒

252-010
Rev: D
Date: 04.07.13
Scale: 1:50 @ A3

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Proposed Basement & Ground Floor Plans



rev B-29.01.14- Upper parts of windows made timber panels.

Scale 0 1m 2m 3m 5m

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Proposed Front Elevation

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PURPOSE OF ISSUE

Preliminary ☐

Planning ☐

Tender ☐

Construction ☒

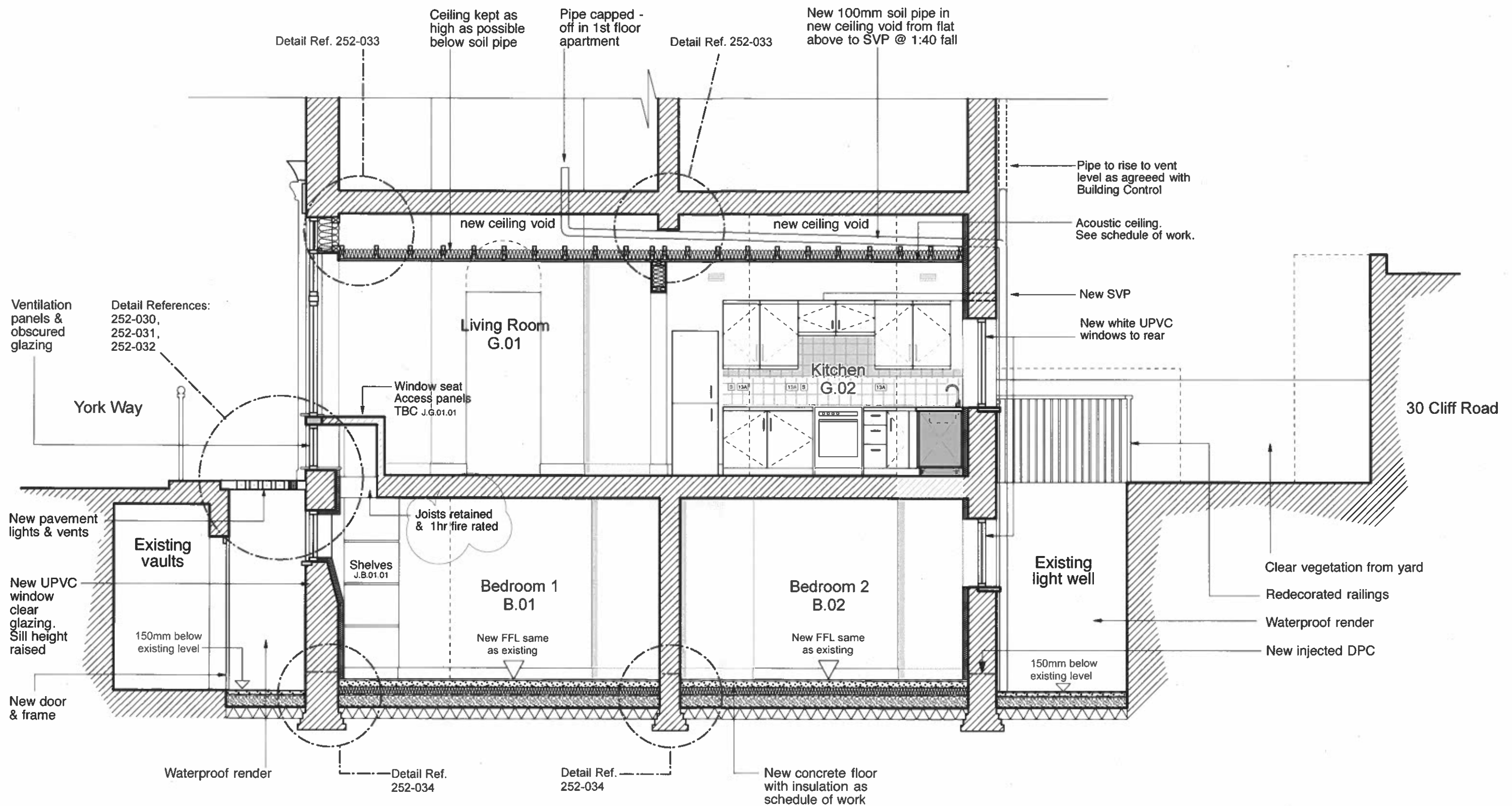
252-011

Rev: B

Date: 10.07.13

Scale: 1:75 @ A3

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01 Proposed Section AA
012 1:50

Rev D - 17.03.15 - Joists retained at window seat detail,
Access panels TBC
rev C - 05.02.14 - New pipe from 1st floor apartment.
rev B - 29.01.14 - W.B.01.01 sill height raised & ceiling updated.

Scale 0 0.5m 1m 2m 4m

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Proposed Section AA

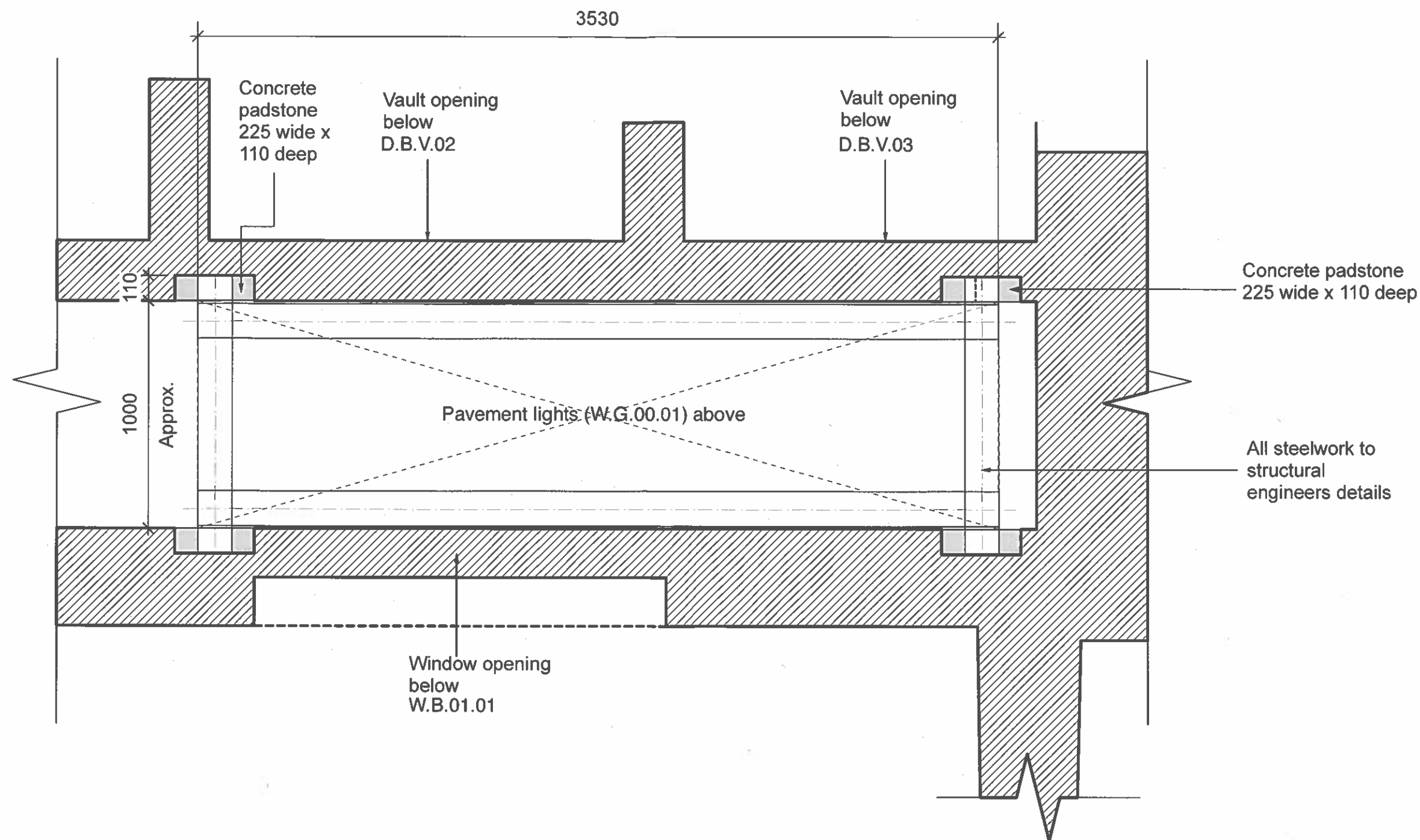
PURPOSE OF ISSUE
Preliminary ☐
Planning ☐
Tender ☐
Construction ☒

252-012
Rev: D
Date: 08.07.13
Scale: 1:50 @ A3

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Proposed Section AA



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Plan of Steelwork below pavement lights

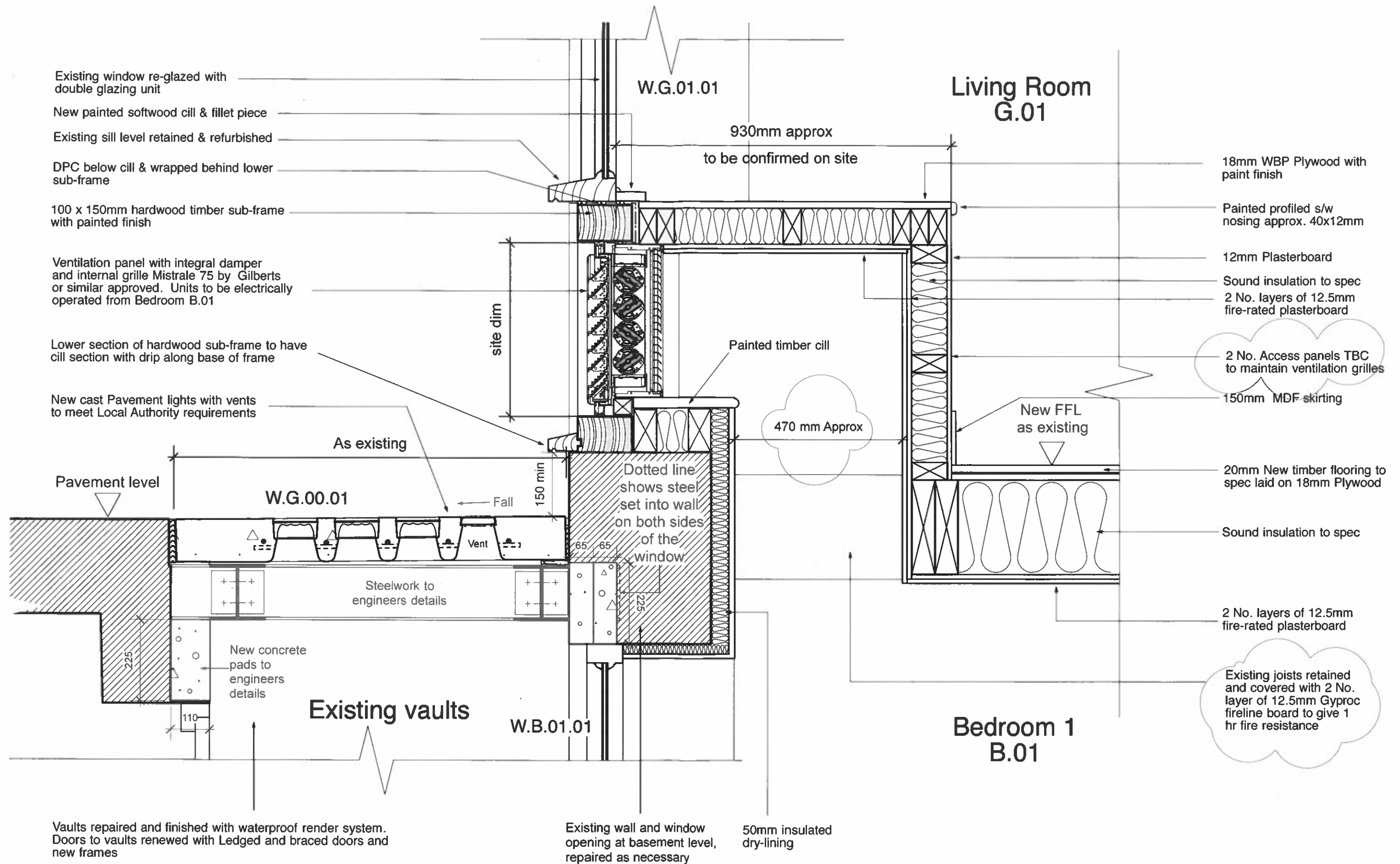
PURPOSE OF ISSUE
Preliminary ☒
Planning ☐
Tender ☐
Construction ☐

252-025
Rev:
Date: 01.04.15
Scale: 1:20 @ A3

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Plan of Steelwork below pavement lights



Rev C - 15.04.15 - Pavement support updated as per engineers instructions
Rev A - 17.03.15 - Existing Ground Floor Joists retained. Access panels TBC

Scale 0 100mm 500mm

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Pavement Lights & Ventilation Panel detail

PURPOSE OF ISSUE
Preliminary ☒
Planning ☐
Tender ☐
Construction ☐

252-030
Rev: C
Date: 08.01.14
Scale: 1:10 @ A3

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Pavement Lights & Ventilation Panel detail

