

Mr Alan R Dewan
33 Betterton Street
LONDON
WC2H 9BP

Application Ref: **2007/0864/P**
Please ask for: **Jenny Fisher**
Telephone: 020 7974 **2527**

19 December 2007

Dear Sir/Madam

DECISION

Town and Country Planning Acts 1990 (as amended)
Town and Country Planning (General Development Procedure) Order 1995
Town and Country Planning (Applications) Regulations 1988

Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:
33 Betterton Street
London
WC2H 9BP

Proposal:

Change of use and works of conversion from a laundrette (sui generis) to residential use (Class C3) to provide a 2-bed self-contained flat, together with the erection of a single storey rear extension.

Drawing Nos: 33BS01/04/01; 02A; 03A; 04A; 05A; 06; 07A; 08; 09; 10; 11A; 12; 13; 14.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies S1/ S2; B1 and B7 of the London Borough of Camden Replacement Unitary Development Plan 2006.

Informative(s):

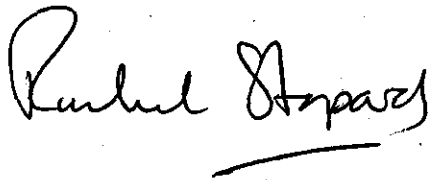
- 1 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies S1; S2; SD1; SD2; SD6; H1; H7; B1; B3; B7; T8; R7C. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

- 2 If a revision to the postal address becomes necessary as a result of this development, application under Part 2 of the London Building Acts (Amendment) Act 1939 should be made to the Council's Records and Information Team, Culture and Environment Directorate, Environment Department (Street Naming & Numbering) Camden Town Hall, Argyle Street, WC1H 8EQ (tel: 020-7974 5613).
- 3 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted.
- 4 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 5 You are advised that policy H7 of the Replacement Unitary Development Plan 2006 encourages all new housing developments to be accessible to all and meet "Lifetime Homes" standards, and the Council welcomes any measures that can be introduced to facilitate this. You are advised to consult Michelle Brannon, Council's Access Officer, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 5124) to ensure that the internal layout of the building is acceptable with regards to accessibility by future occupiers and their changing needs over time.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Rachel Stopard
Director of Culture & Environment

It's easy to make, pay for, track and comment on planning applications on line. Just go to www.camden.gov.uk/planning.

27th MARCH 2007

DESIGN & ACCESS STATEMENT

**33 BETTERTON STREET, COVENT GARDEN, LONDON WC2H 9BP
CONVERSION OF EXISTING LAUNDERETTE INTO SELF-CONTAINED FLAT.**

-2 APR 2007

The project comprises the conversion of existing launderette into two bedroom self-contained flat including the erection of a single storey rear extension.

Whole of the launderette area will be utilized for the proposed dwelling. The layout of the dwelling is designed such that the living, sleeping, cooking and washing facilities are provided at the ground floor level in order to give free access to people of all age groups, as well as disabled users. Wide entrance and corridor enables free access to all users. Due to site restriction, no provision has been allowed for disabled access to lower ground floor.

To the best of our knowledge, the rear extension was built in the early seventies and is in poor condition. Kindly refer to enclosed photograph. The new extension will provide spacious and better accommodation. Similarly, the use of the launderette was established in the early sixties. The launderette is in a generally dilapidated condition requiring major refurbishment works. The proposed alterations are designed sympathetically to maintain the original features of the building and components as shown on drawings.

At present we are not getting much business with the existing launderette. The fact of the matter is that we have not made any profit for the last 3 years as less people are using the launderette due to home laundry facilities being easily available at little cost. Furthermore, the existing equipment and supporting machineries are too old to run and maintain economically.

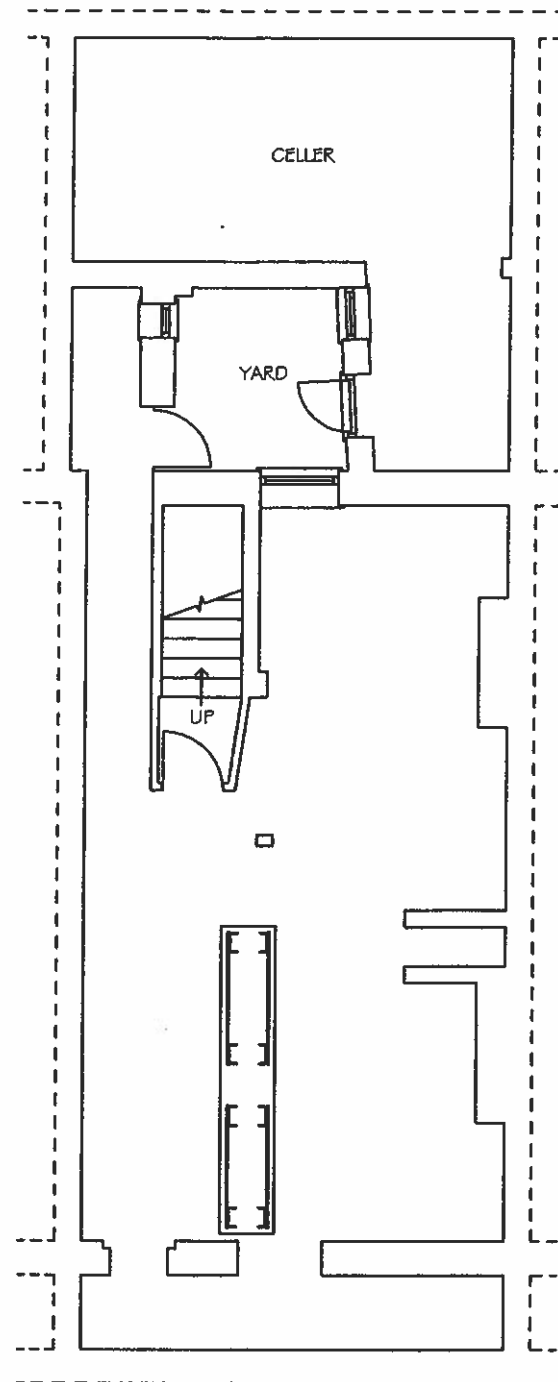
The new dwelling will easily fit into a long-established residential neighbourhood and will provide valuable housing accommodation within the central London area which is currently suffering from a housing shortage. The dwelling is within a few minutes reach of transport, shopping and work facilities.

NOTES:

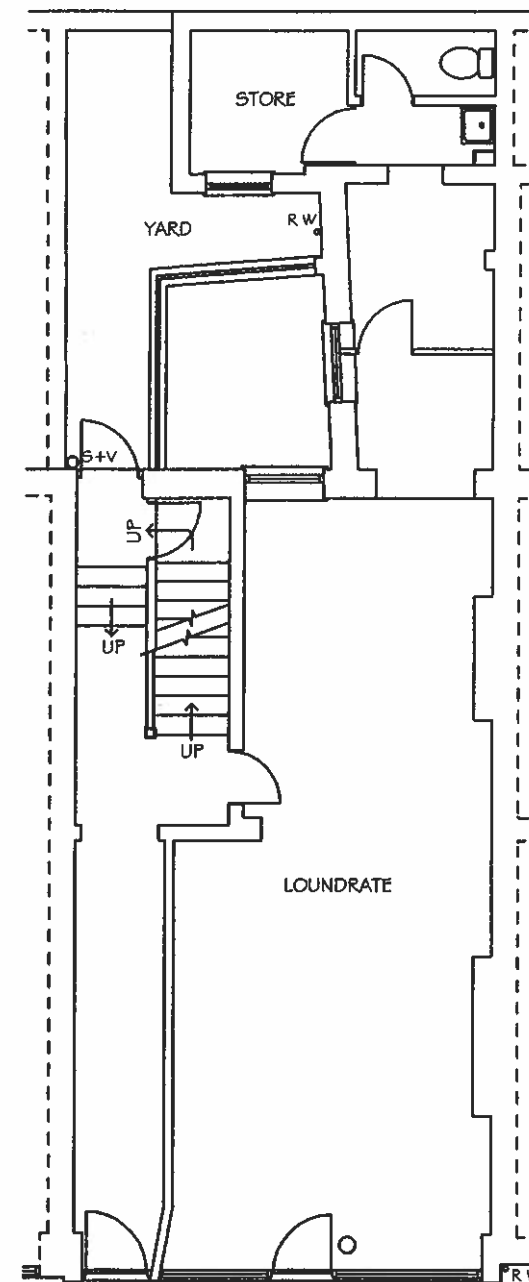
All dimensions must be checked on site & not scaled from this drawing.

This drawing has been prepared for Planning approval only.

This drawing to be read in conjunction with Drg. Nos. 01 to 10.



EXISTING LOWER GROUND FLOOR PLAN



EXISTING GROUND FLOOR PLAN

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing Floor Plans.

Dec 2004 Scale: 1:100.

33BS01/04/01

NOTES:

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This drawing to be read in conjunction with Drg. Nos. 01 to 14.

Form new door opening; provide new door & frame to match existing with lintel to suit.

Remove existing bathroom window; brickup opening to original configurations with tooth bonds.

Galvanized metal Cat Ladder.

New staircase to be minimum 800mm wide timber construction with 35mm S W strings, minimum 260mm going & 190mm risers. Handrails to be 900mm high with balustrade to have maximum 100mm spacing. Handrails to be provided on both sides.

Existing column to be checked for it's adequacy and to be retained if found to be satisfactory.

The habitable room windows are to be fitted with fire-egress hinges, which allow windows to open fully for means of escape in case of fire. Window openings are to be minimum 450mm high/wide with minimum area 0.33 m². Cill height not to exceed 900mm.

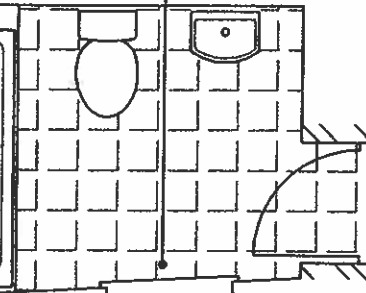
New half hour fire resisting door and frame with self-closing device.

Provide new windows within the opening to match existing windows.

STORE

YARD

LOBBY



100mm light weight block partition on 300mm deep & 450mm wide mass concrete foundation.

Partition is to be fully restrained with ceiling using 5x30mm galvanized straps at 1000mm centres; HYLOAD dpc to be laid at appropriate level.

Remove existing bathroom door and frame and brickup opening to original configurations with tooth bonds. Provide new window to match existing

60 litre/second extract fan to bath/wc

Form new door opening; provide new door & frame to match existing with prestressed concrete lintel to suit.

100mm light weight block partition on 300mm deep & 450mm wide mass concrete foundation.

Partition is to be fully restrained with ceiling using 5x30mm galvanized straps at 1000mm centres; HYLOAD dpc to be laid at appropriate level.

New paneled door and frame to match with existing.

21/05 Some notes altered+ A Added.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Lower Ground Floor.

Dec 2004 Scale: 1:50.

33BS01/04/02A

PROPOSED LOWER GROUND FLOOR PLAN

NOTES:

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Remove existing toilet door & frame and brickup opening to original configurations. New brickwork to be tooth bonded at alternative courses.

Form new door opening; provide new door & frame to match existing with prestressed concrete lintel to suit.

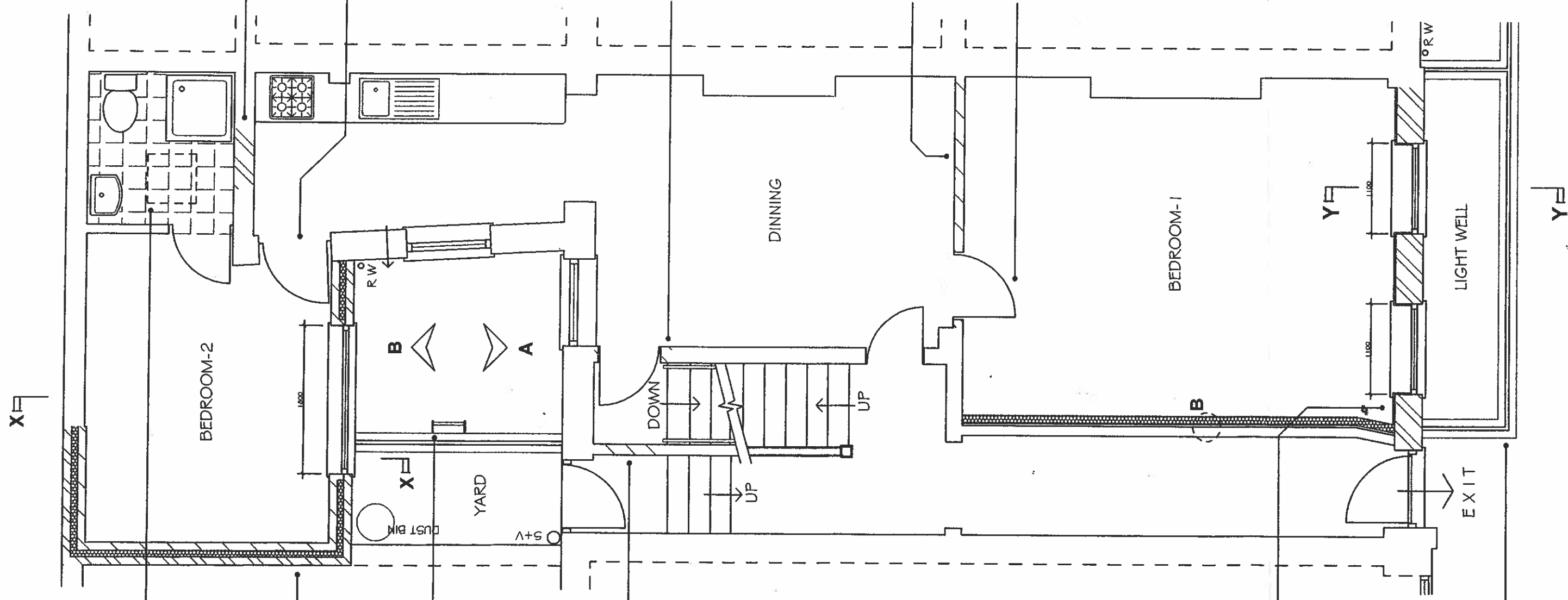
60 litre/second extract fan to kitchen.

WC-Shower room is mechanically vented. The vent system to give three air changes per hour and have duplicate motor to run on 20 minutes over run and operated by light switch. The system to have extract rate of 60 litre/second; to be discharged to external air above the roof level and fitted with half hour fire proofed duct work.

Form new door opening; provide new door & frame to match existing with prestressed concrete lintel to suit.

New 100mm full height timber stud partition on doubled-up floor joists. Partition is to be fully restrained with ceiling using 5x30mm galvanized straps at 1000mm centres; 100mm thick high density ROCKWOOL slab insulation to be inserted within the partitions.

New paneled door and frame to match with existing.



600mmX600mm COXDOME-2000 double glazed rooflight with minimum 150mm upstand, on doubled-up trimmers and roof joists.

Cavity wall comprises 100mm facing brickwork to match existing, 75mm Drytherm-32 insulated cavity and 100mm Thermalite Turbo blockwork internally.

Cavities to be closed at reveals using insulated cavity closures.

Galvanized metal Cat Ladder.

New dpc & dpm to be lapped onto new & existing dpc/dpm.

Remove existing staircase door and frame and brickup opening to original configurations. New brickwork to be tooth bonded at alternative courses.

New staircase to be fitted with 900mm high handrails to both sides.

Each rooms to have high efficiency light fittings.

An access has been agreed with adjoining neighbours for proposed extension/alteration.

Remove existing door and windows and replace with full height 335mm solid brick wall to match existing with 30mm GYPROC superboard lining internally. Wall to be restrained with beam above using heavy duty galvanized straps at 1000mm centres.

1200mm high steel handrails to match adjoining handrails.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Ground Floor Plan.

Dec 2004 Scale: 1:50.

33BS01/04/03A

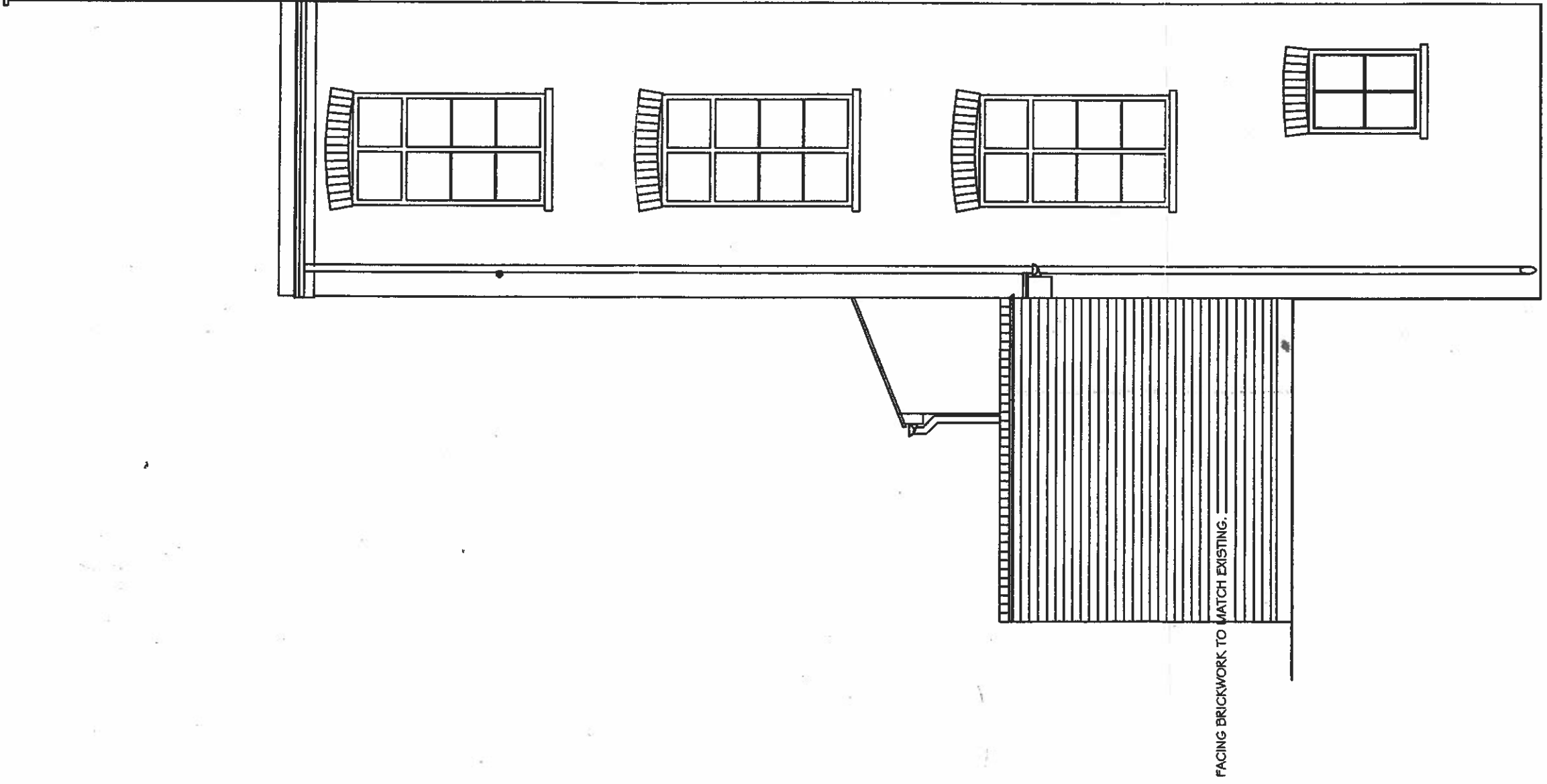
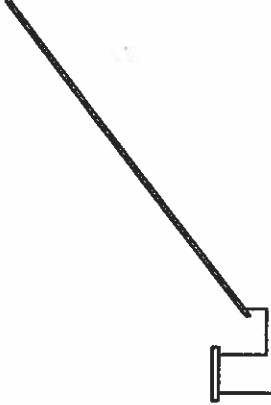
PROPOSED GROUND FLOOR PLAN

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This drawing to be read in conjunction with Drg. Nos. O1 to IO.



FACING BRICKWORK TO MATCH EXISTING.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Side Elevation.

Dec 2004 Scale: 1:50.

PROPOSED SIDE ELEVATION

33BS01/04/09

NOTES:

All dimensions must be checked on site and not scaled from this drawing.

All site conditions must be checked prior to commencing work.

These drawings have been prepared for Planning approval only.

This drawing to be read in conjunction with drawing no. 01 to 14.

New drainage and plumbing work to comply with BS 5572.

New waste pipes to be 38mm PVCu with 75mm seal traps; cleaning eyes to be provided at each bend.

New drains to be 100mm VC, laid to minimum 1:40 fall & at required depth to suit existing drain.

New drains outside the building to be bedded & surrounded in 150mm peashingle & inside in (1:3:6) concrete

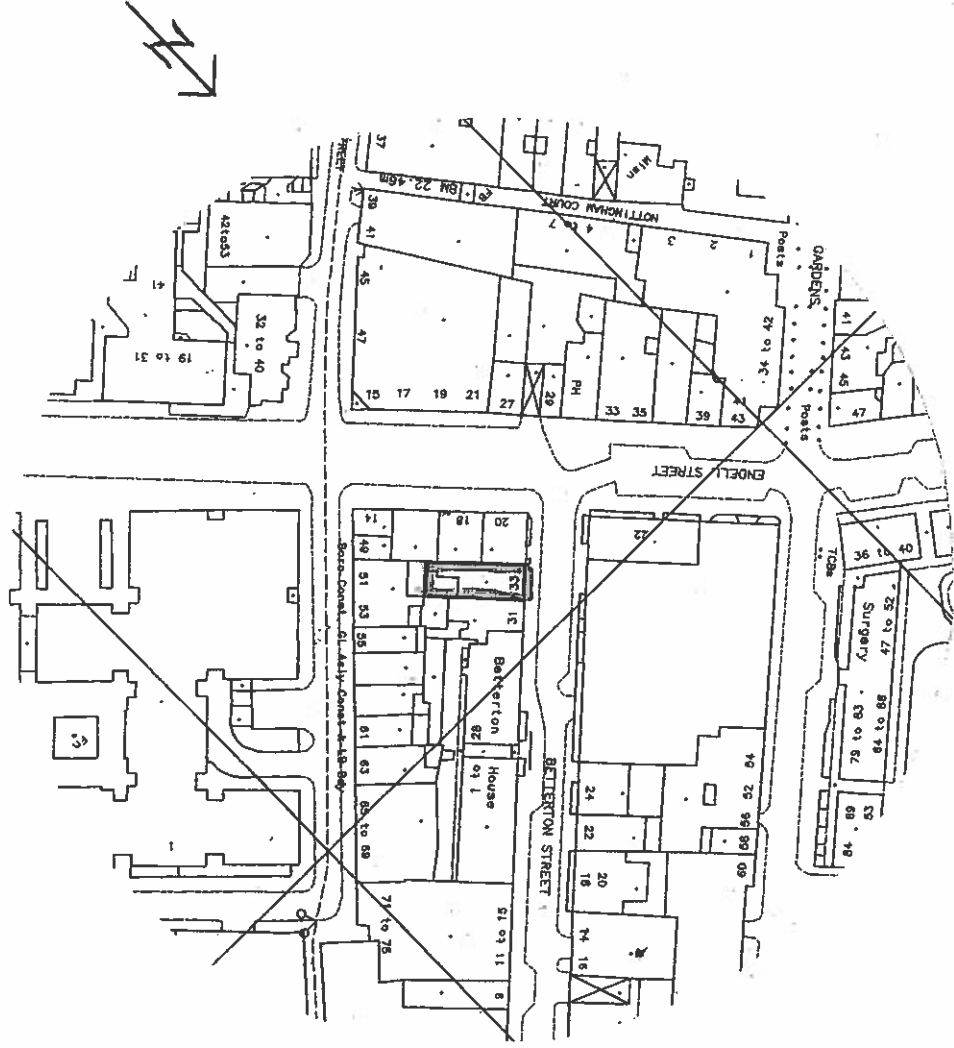
Minimum opening area of new windows to be 1/20th floor area.

New external doors and windows to be double glazed and fitted with approved trickle vents with minimum area of 8000mm². New doors to be fitted with toughened glass.

New doors and windows to have timber frames to match existing and sealed glazed units with 16mm air gap and low e-glass.

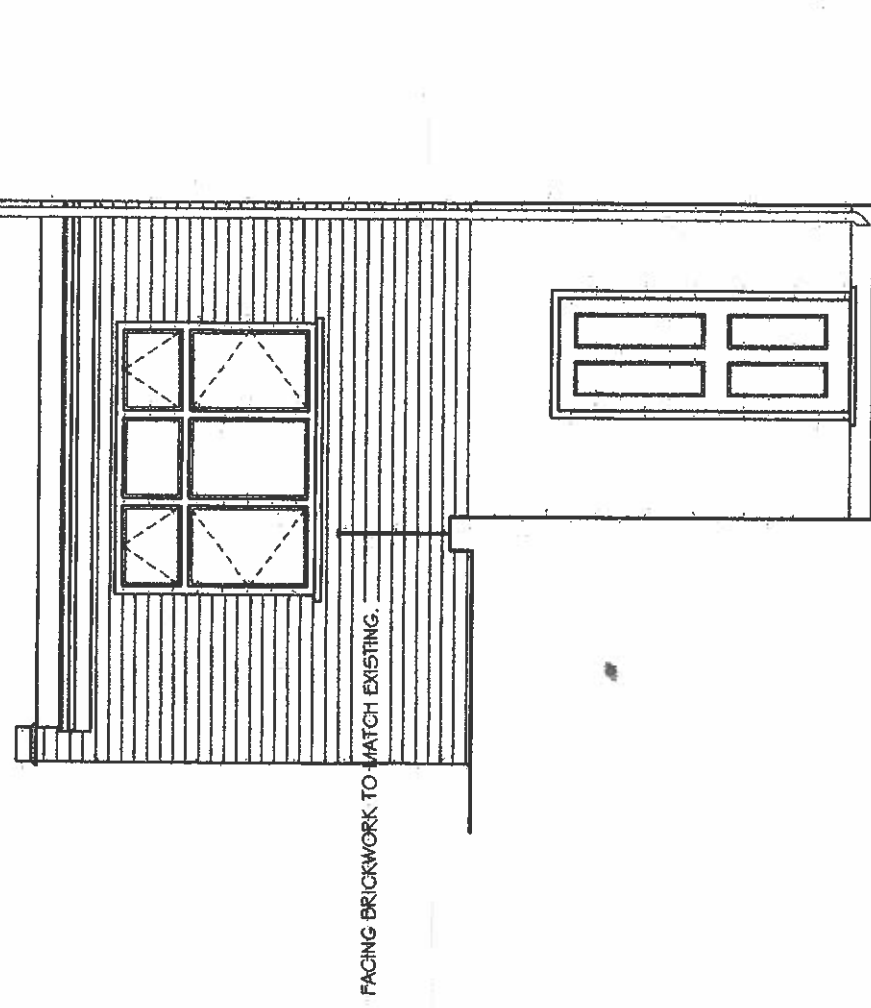
The glazing in critical areas to be toughened glass to comply BS 6206.

The contractor to maintain safety and stability of adjoining property at all time.



SITE LOCATION PLAN

(Scale 1:1,250)



**Conversion of Existing
Laundrette into Self-
Contained Flat.**

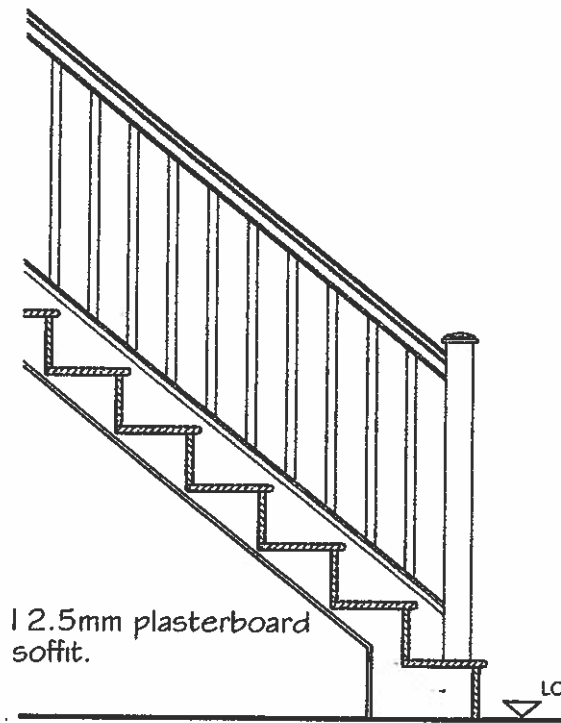
**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Rear Elevation-B.

Dec 2004 Scale: 1:50.

33BS01/04/10

PROPOSED REAR ELEVATION - B

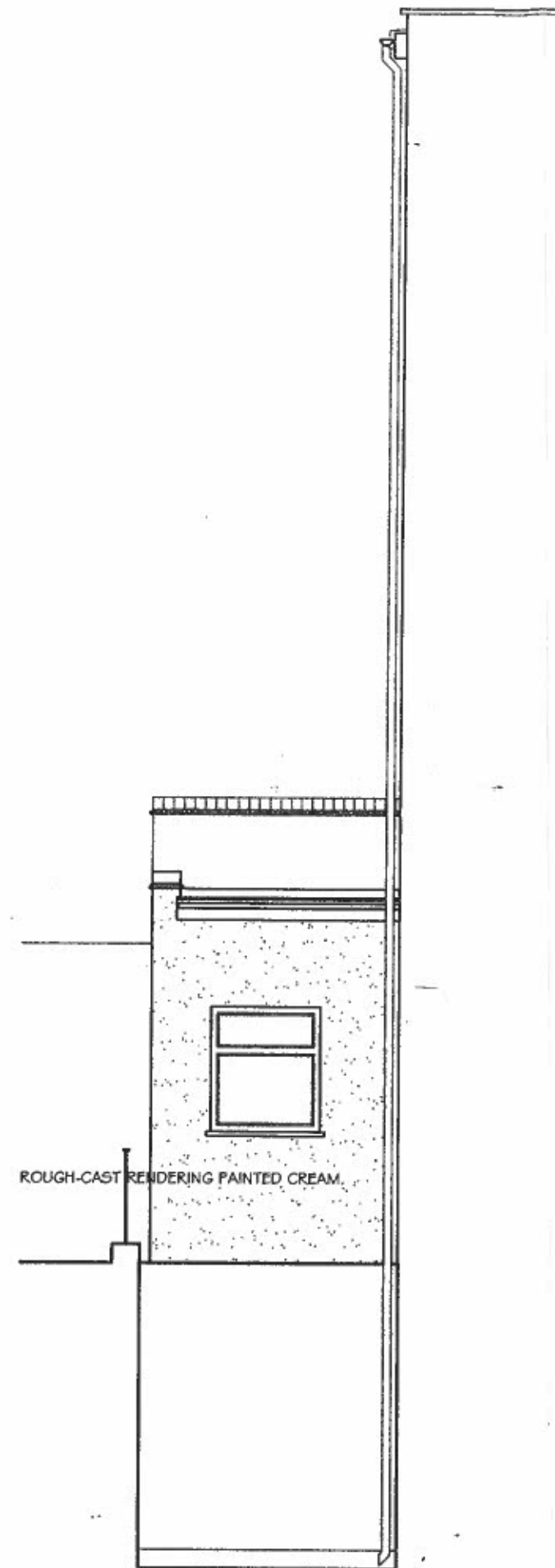


New staircase to be minimum 800mm wide timber construction with 35mm S W strings, minimum 260mm going & 190mm risers. Handrails be 900mm high with balustrade to have maximum 100mm spacing. Handrails to be provided on both sides. Newel post to be 90mmx90mm as shown.

12.5mm plasterboard soffit.

LOWER GR. FLOOR.

PROPOSED STAIRCASE DETAILS



EXISTING REAR ELEVATION - B

NOTES:

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21/05 Staircase Added. A

**Conversion of Existing
Lauderette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

EXISTING REAR ELEVATION and
PROPOSED STAIRCASE DETAILS.

MAR 2007 SCALE: 1:25, 50.

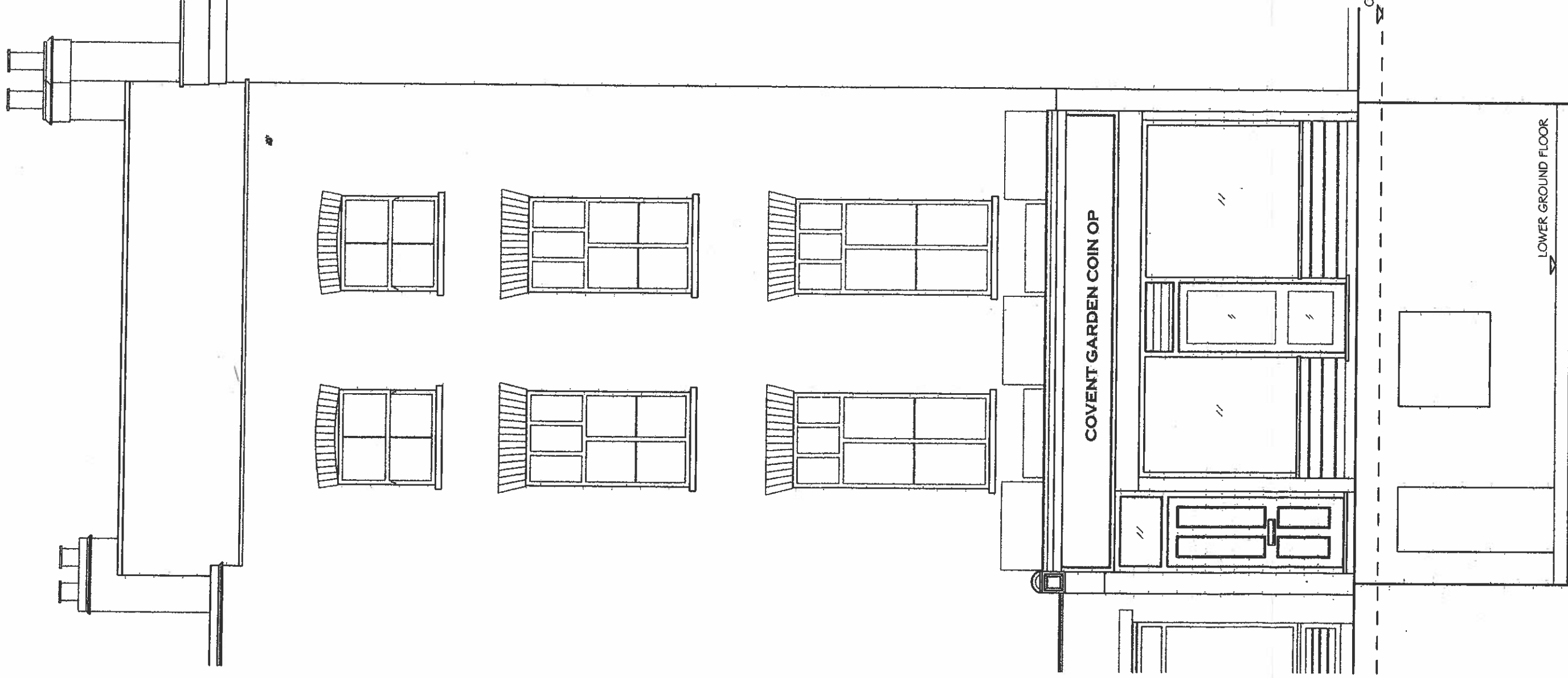
33BS01/04/11A

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**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing front Elevation.

May 2007 Scale: 1:50.

33BS01/04/12

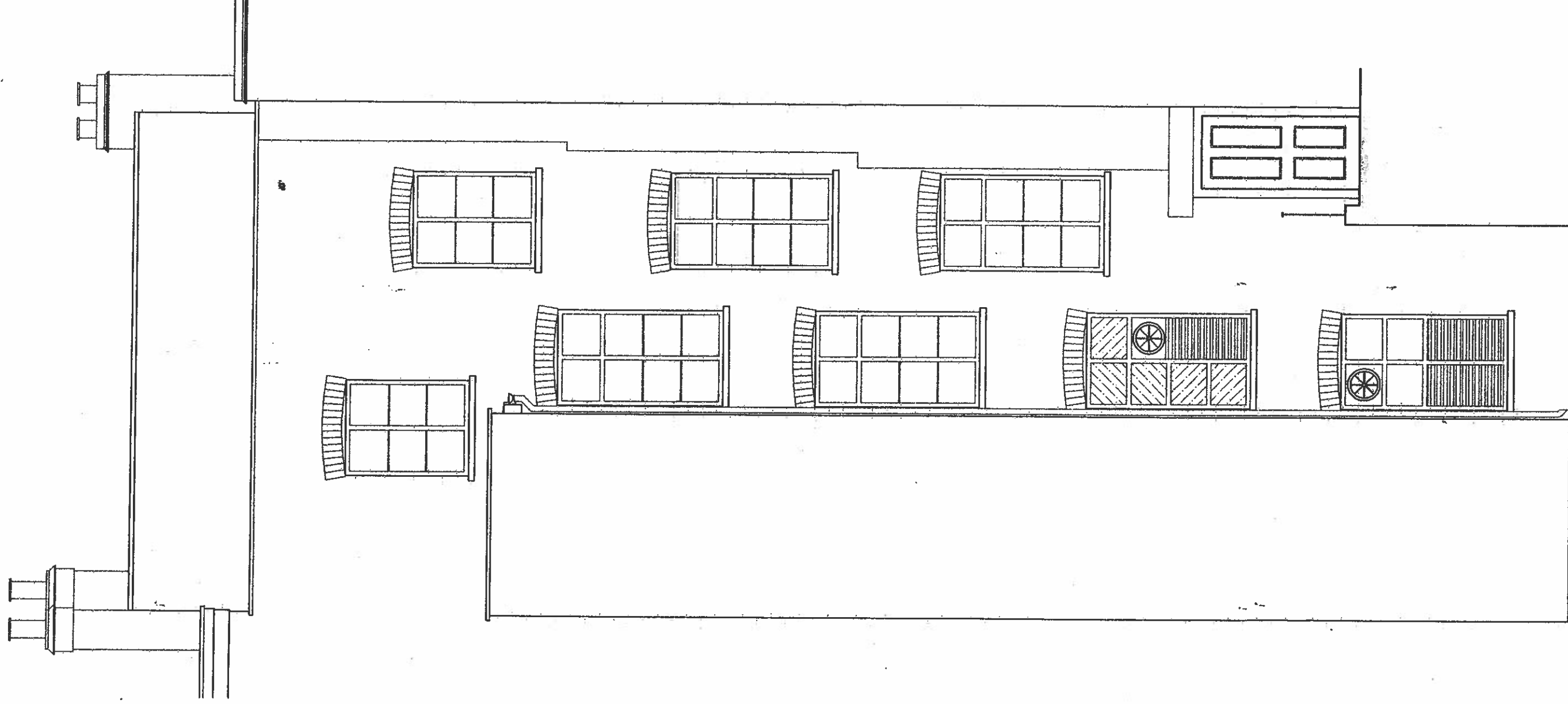
EXISTING FRONT ELEVATION

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EXISTING REAR ELEVATION - A

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing Rear Elevation-A.

May 2007 Scale: 1:50.

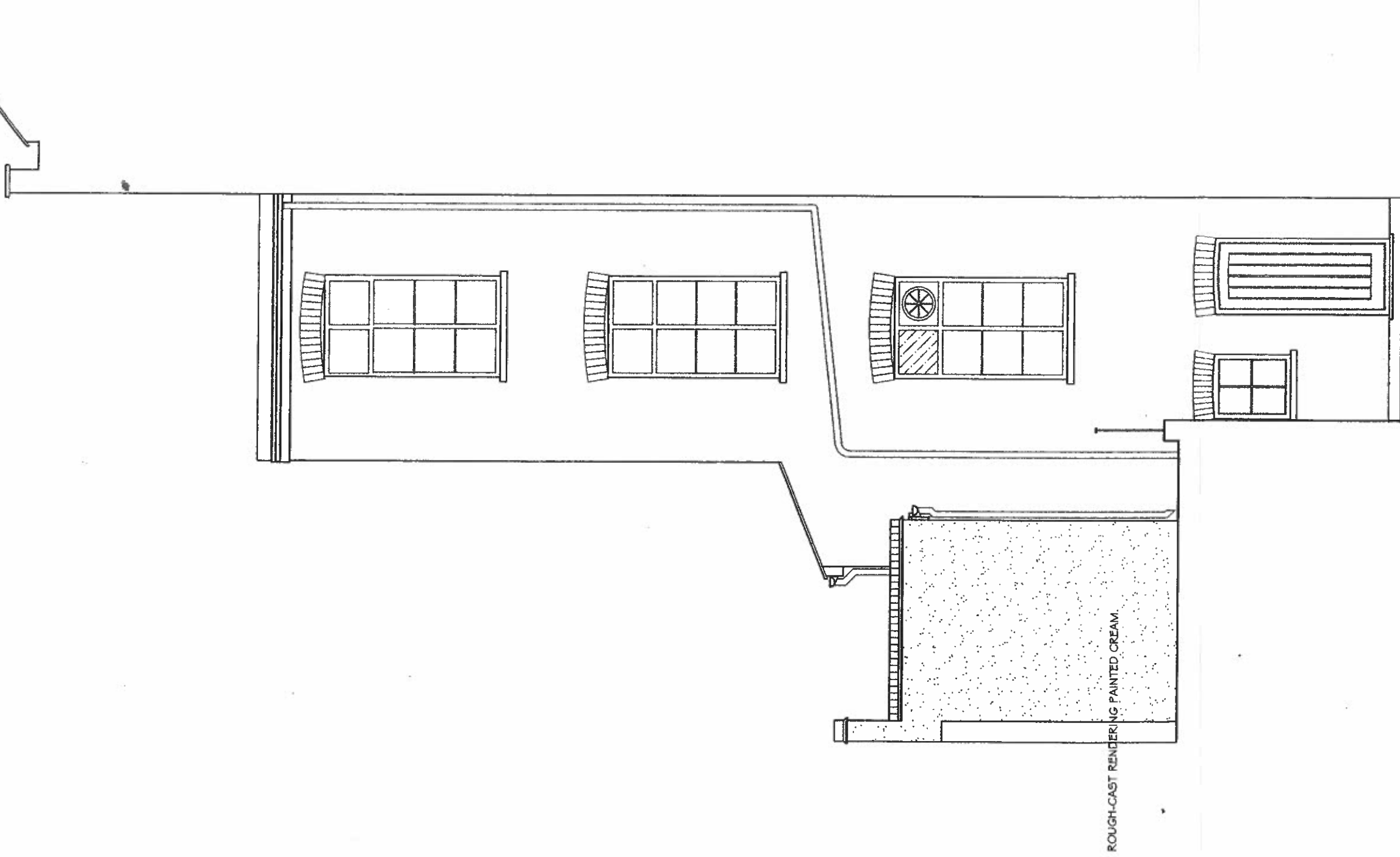
33BS01/04/13

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EXISTING SIDE ELEVATION

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing Side Elevation.

May 2007 Scale: 1:50.

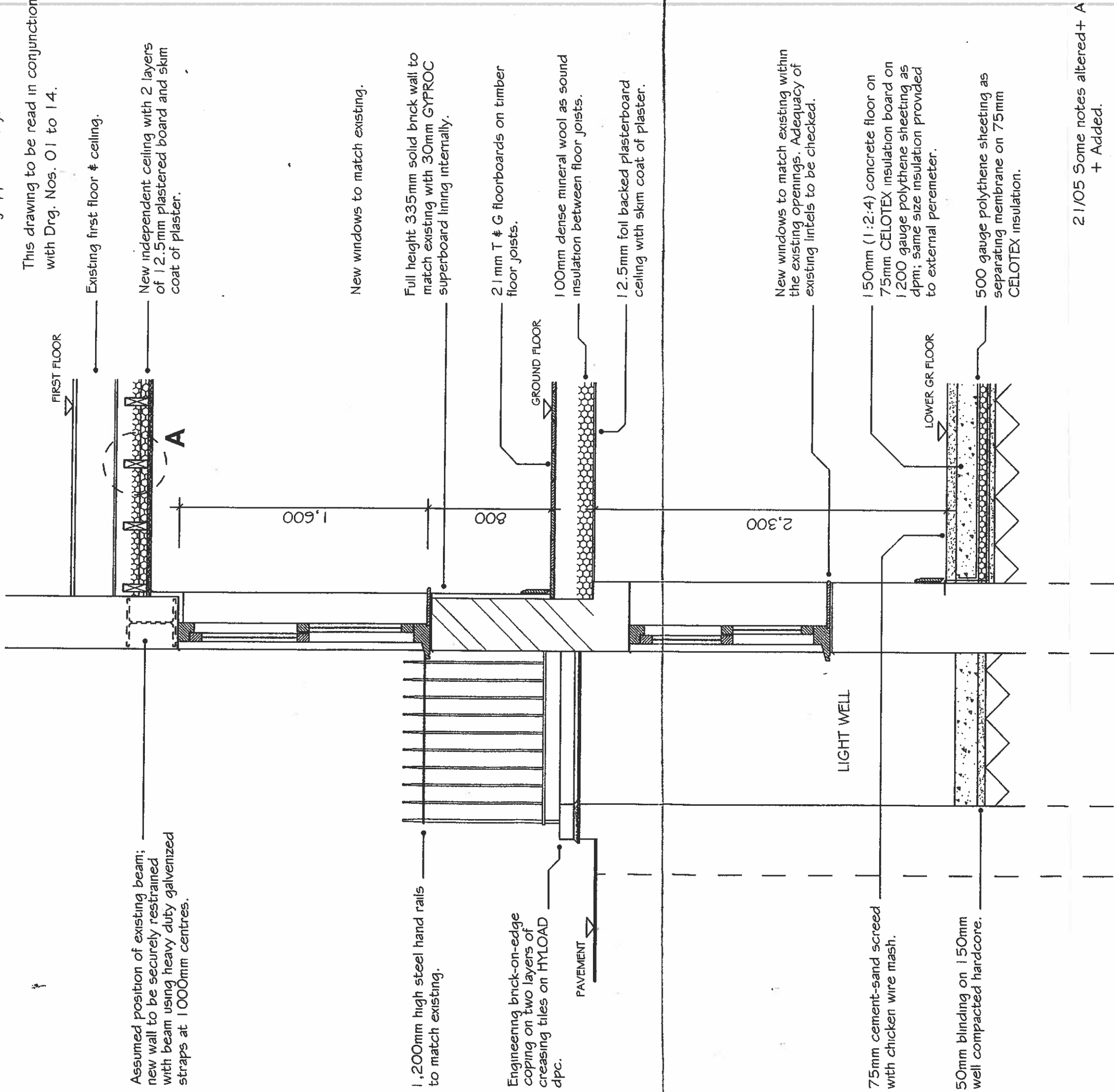
33BS01/04/14

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21/05 Some notes altered+ A
+ Added.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Front Construction Details.

Dec 2004 Scale: 1:25.

33BS01/04/05A

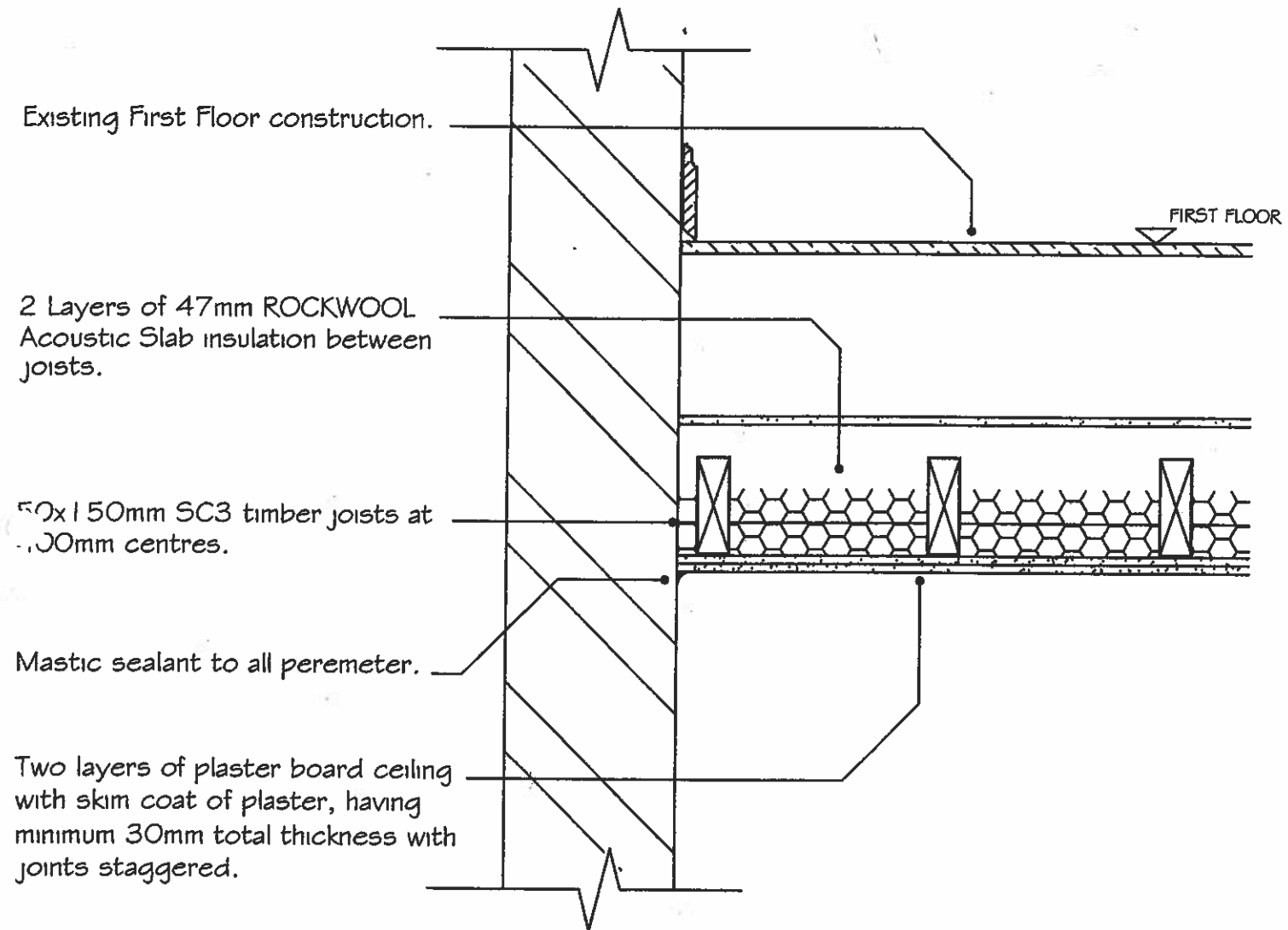
SECTION Y-Y

NOTES:

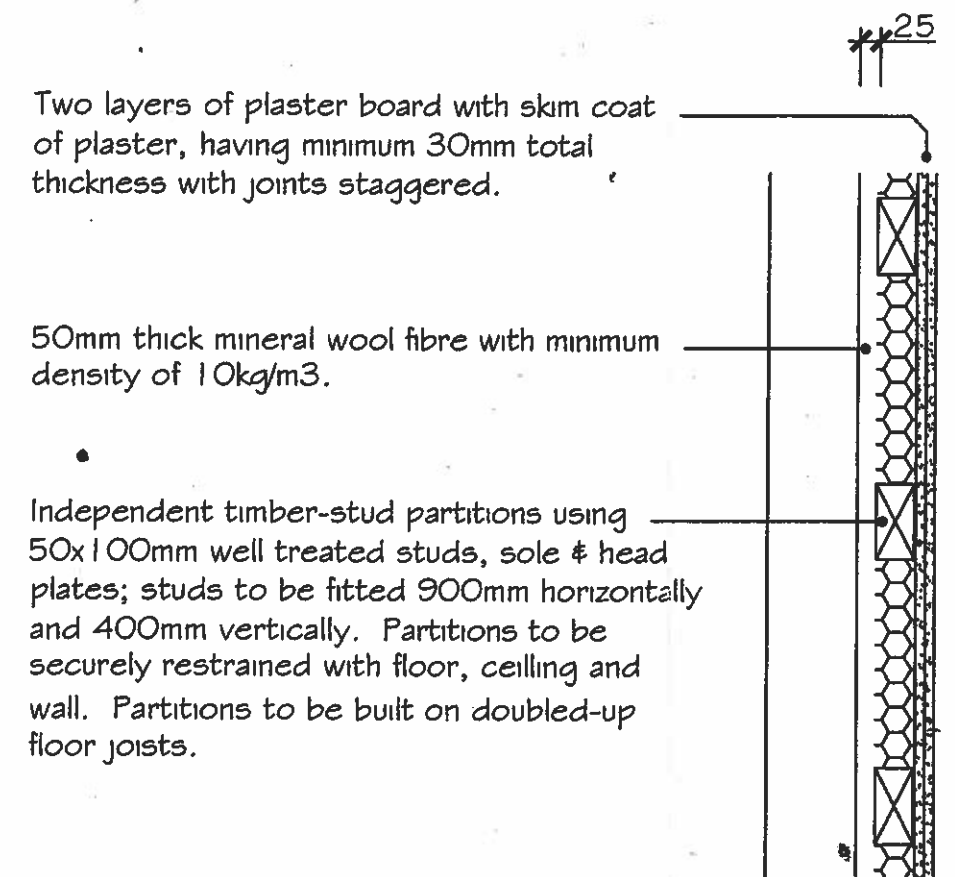
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INDEPENDENT CEILING DETAILS (DETAIL A)



LOBBY PARTITION DETAILS (DETAIL B)

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Sound Insulation Details.

Dec 2004 Scale: 1:10.

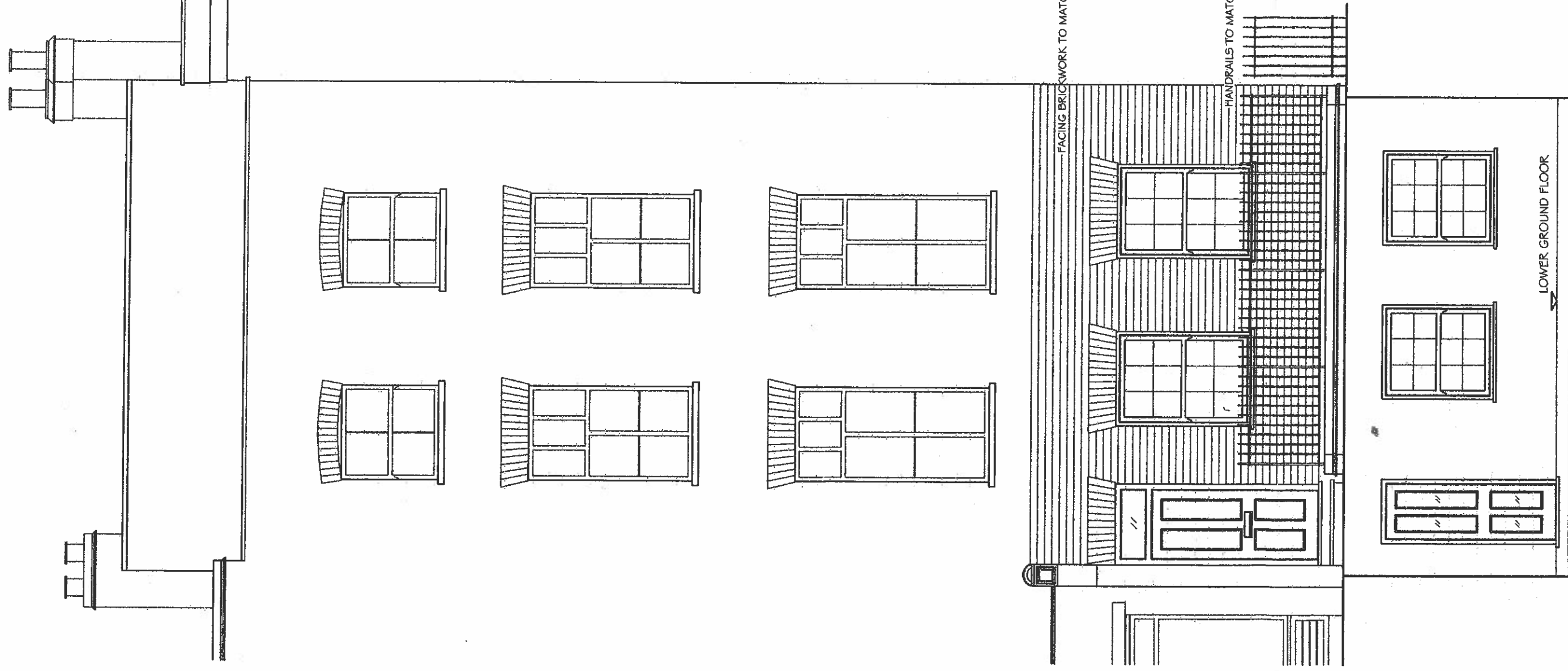
33BS01/04/06

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27/03 Lower Ground Floor A
Details Added.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Front Elevation.

Dec 2004 Scale: 1:50.

33BS01/04/07A

PROPOSED FRONT ELEVATION

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PROPOSED REAR ELEVATION - A

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Rear Elevation.

Dec 2004 Scale: 1:50.

33BS01/04/08