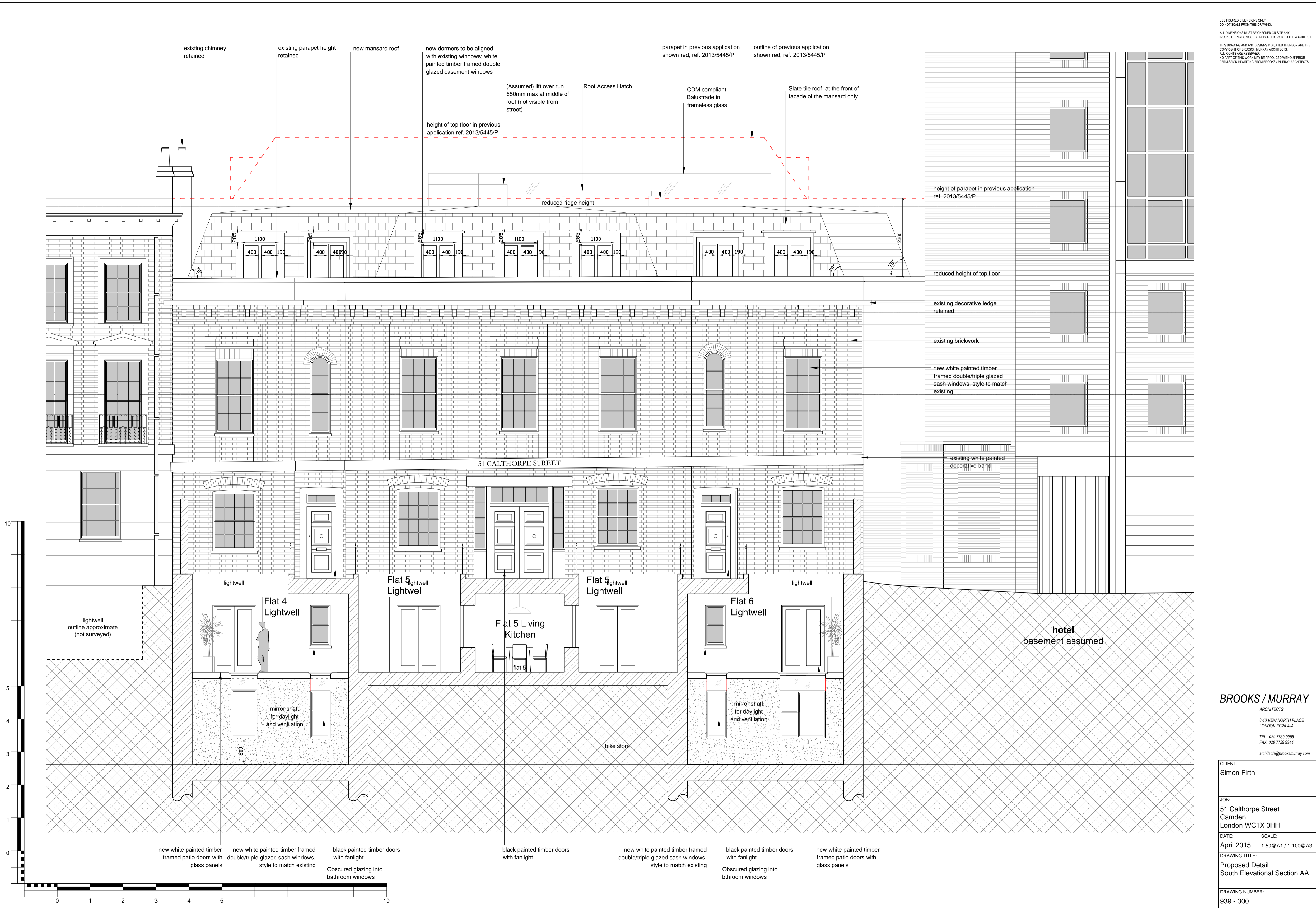


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existing chimney retained
existing parapet height retained
new mansard roof
new dormers to be aligned with existing windows, white painted timber framed double glazed casement windows
parapet in previous application shown red, ref. 2013/5445/P
outline of previous application shown red, ref. 2013/5445/P

(Assumed) lift over run 650mm max at middle of roof (not visible from street)
Roof Access Hatch
CDM compliant Balustrade in frameless glass
Slate tile roof at the front of facade of the mansard only

height of top floor in previous application ref. 2013/5445/P
reduced ridge height

height of parapet in previous application ref. 2013/5445/P

reduced height of top floor

existing decorative ledge retained

existing brickwork

new white painted timber framed double/triple glazed sash windows, style to match existing

existing white painted decorative band

51 CALTHORPE STREET

hotel basement assumed

lightwell
Flat 4 Lightwell
Flat 5 Lightwell
Flat 5 Living Kitchen
Flat 6 Lightwell

lightwell outline approximate (not surveyed)
mirror shaft for daylight and ventilation
bike store
mirror shaft for daylight and ventilation

new white painted timber framed patio doors with glass panels
new white painted timber framed double/triple glazed sash windows, style to match existing
black painted timber doors with fanlight
Obscured glazing into bathroom windows
black painted timber doors with fanlight
new white painted timber framed double/triple glazed sash windows, style to match existing
black painted timber doors with fanlight
Obscured glazing into bathroom windows
new white painted timber framed patio doors with glass panels

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DATE: April 2015
SCALE: 1:50 @ A1 / 1:100 @ A3

DRAWING TITLE:
Proposed Detail
South Elevational Section AA

DRAWING NUMBER:
939 - 300