

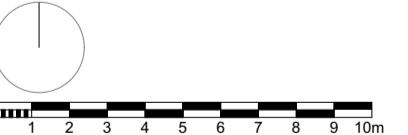


Existing trees/  
buildings to be  
removed.

REV	DATE	DESCRIPTION
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- GENERAL NOTES
1. Measurements are based on metric system.
  2. All work is to be done in accordance with the relevant Building Regulations (BR) unless otherwise stated.
  3. All work is to be done in accordance with the relevant BS standards.
  4. All work is to be done in accordance with the relevant BS standards.
  5. All work is to be done in accordance with the relevant BS standards.
  6. All work is to be done in accordance with the relevant BS standards.
  7. All work is to be done in accordance with the relevant BS standards.
  8. All work is to be done in accordance with the relevant BS standards.

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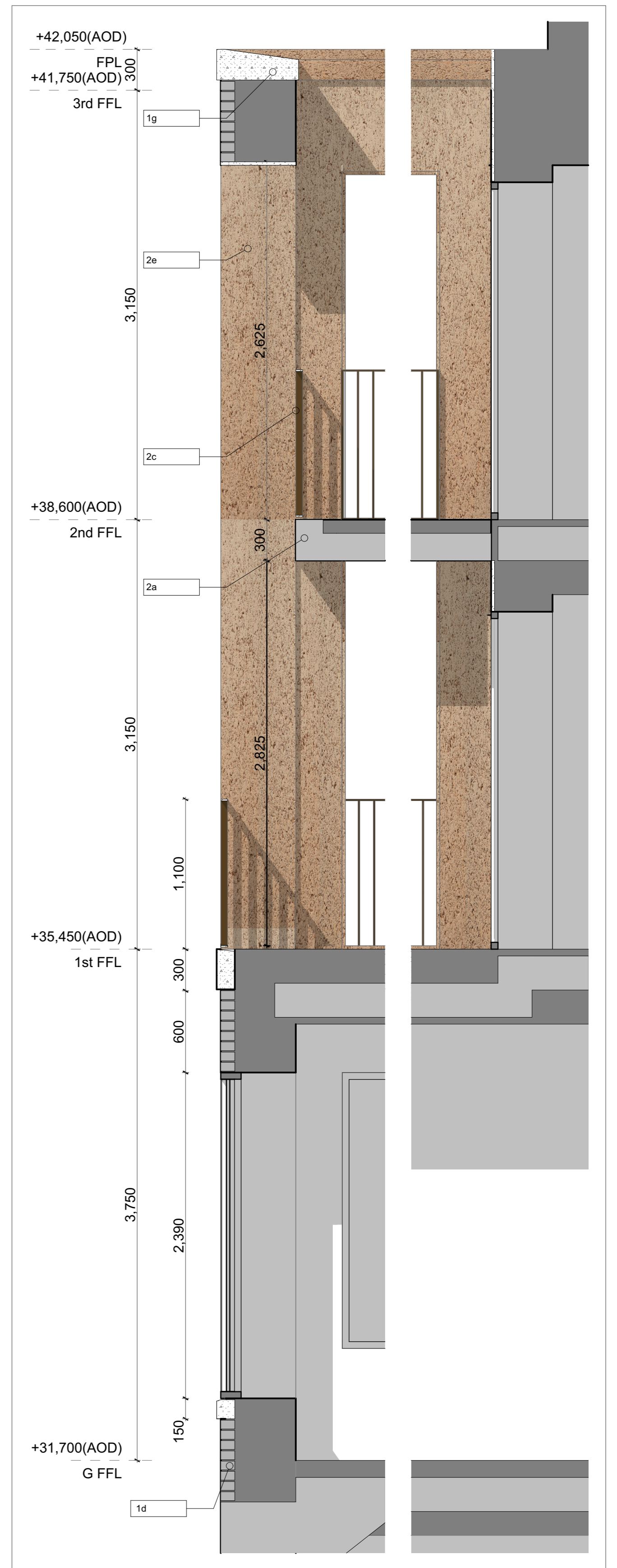


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 1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mae-llp.co.uk  
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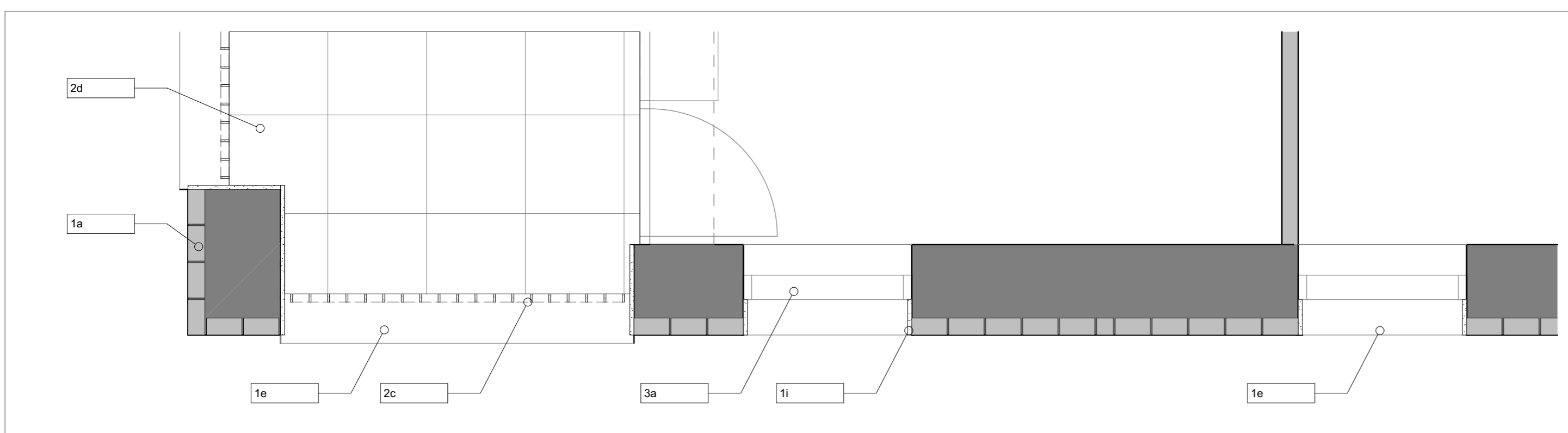
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Existing Site Plan	
STATUS Planning	SCALE 1:200@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-001	REV -



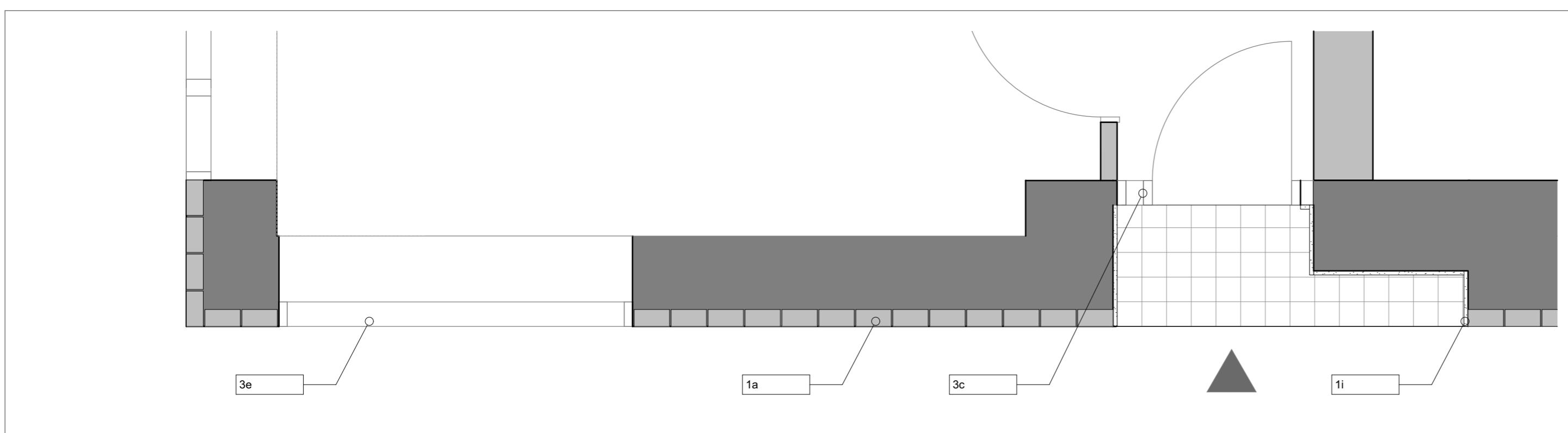
S5-402\_01 Typical Bay Elevation 1:25



S5-402\_02 Typical Bay Section 1:25



S5-402\_03 Typical Balconey 1:25



S5-402\_04 Typical Bay Plan 1:25

**Specification Key**

- 1. External Walls:**
  - 1a. Red Buff textured clay brickwork.
  - 1b. Warm-Grey mortar to brickwork and blockwork, flush pointed.
  - 1c. Precast reconstituted stone profiled banding and balcony projections, as Blackhill Natural by cornish concrete or similar to smooth finish.
  - 1d. Staffordshire blue brickwork base brick.
  - 1e. Precast reconstituted stone window and balcony sills to match 1c banding.
  - 1f. Prefabricated brick lintels to 1st-4th floor to match 1a brickwork.
  - 1g. Precast reconstituted stone coping to match 1c Banding (once weathered).
  - 1h. Bespoke PPC metalwork MVHR extract grilles to each unit, concealed within lintel recess.
- 2. Recessed Balconies**
  - 2a. Fair faced precast concrete to balcony slab to match 1c Banding.
  - 2b. Soffit in continuous board/ender finish to match 1c.
  - 2c. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.
  - 2d. Concrete pavers to floor to match precast concrete.
  - 2e. 25mm render reveals and render finish to all balcony walls, colour to match Concrete 1c.
- 3. Windows & Doors:**
  - 3a. Composite timber & aluminum windows, PPC Grey beige RAL1019 max frame size 54mm.
  - 3b. Balcony doors/windows to be PPC Grey beige RAL 1019.
  - 3c. Domestic front panel doors to be PPC Grey beige (RAL 1019) coloured leaf with glazed fanlight above and rest of frame as Sepia brown RAL 8014.
  - 3d. Communal opening doors to match balustrading (as 2c) RAL 8014 Sepia brown and the fixed frames as PPC RAL 8014 Sepia brown.
  - 3e. Window balustrading to match balcony balustrading (as 2d) RAL 8014 Sepia brown.
  - 3f. Gates and railings within landscape to colour match building balustrading (RAL 8014), refer to landscape architect drawings for more details.
  - 3g. All ground floor windows to be flush and match 3a.
- 4. Roofs:**
  - 4a. Green/brown roof.
  - 4b. Roof access hatch.
- 5. Rain Water:**
  - 5a. Internal DP's within core.
  - 5b. External DP's to rear elevation to be metal PPC RAL 8014 Sepia brown.
  - 5c. Hopper head PPC to match 5b.
  - 5d. PPC Sepia brown RAL 8014.

REV.	DATE	DESCRIPTION

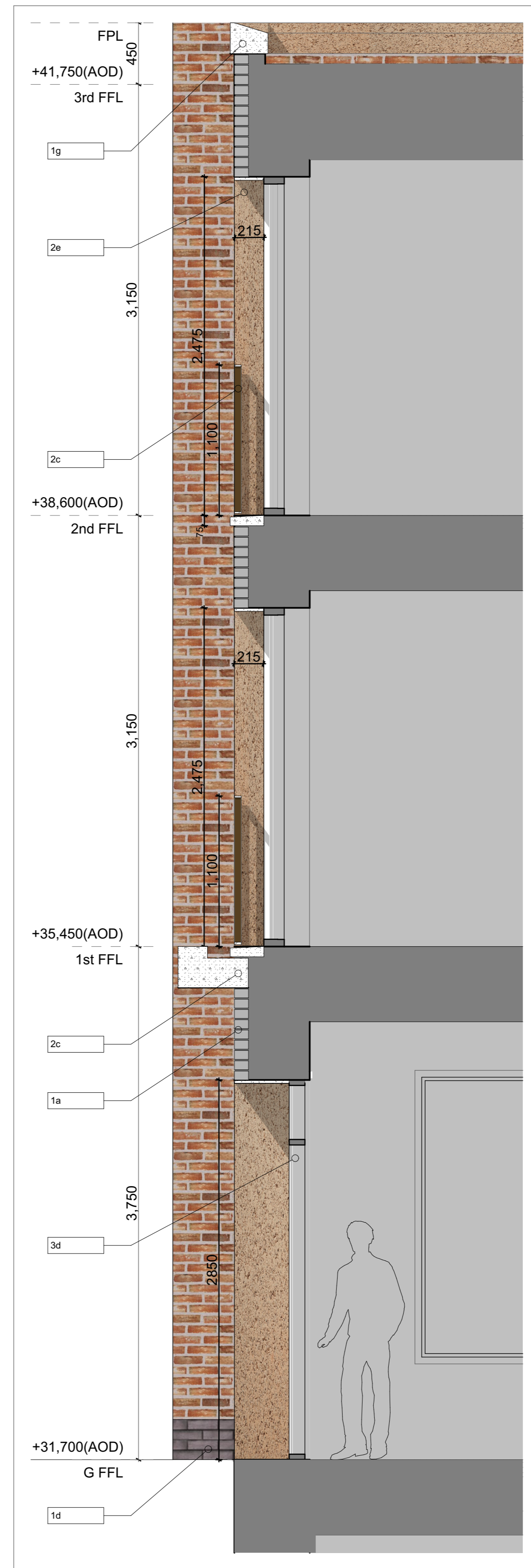


1 Nazroji Street London WC1X 0GB  
 t +44 (0)20 7704 6960  
 e office@mae-llp.co.uk  
 mae-llp.co.uk

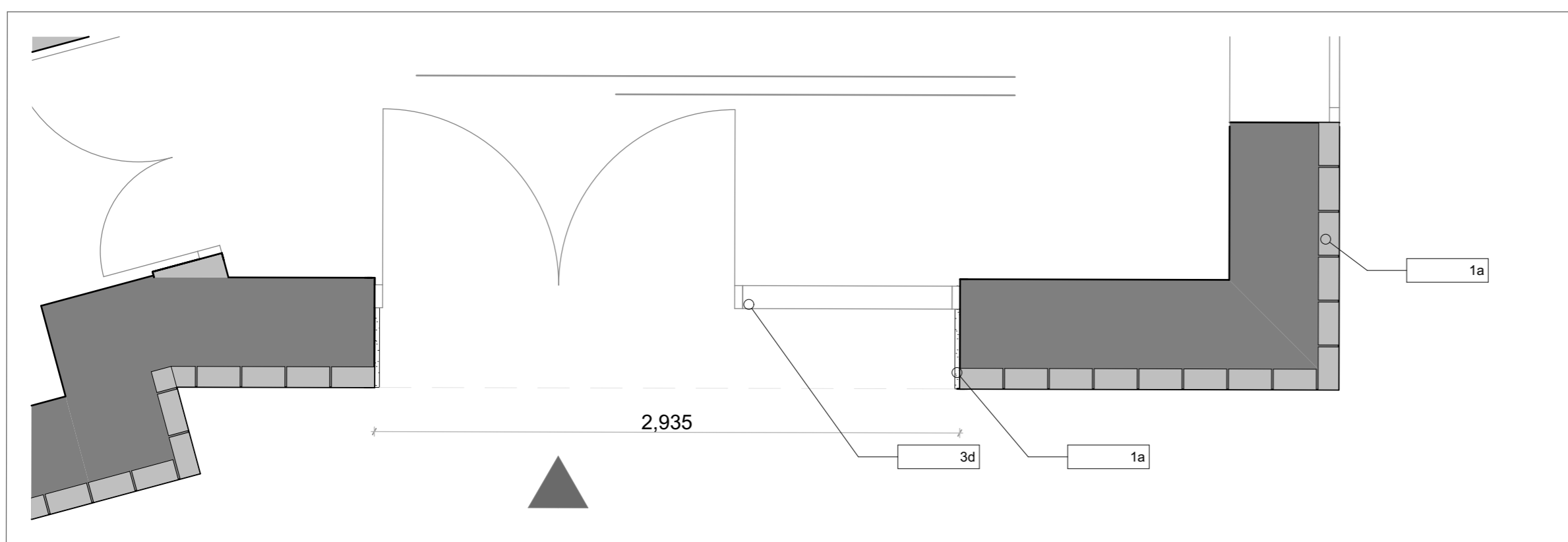
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Bay Elevations 2	SCALE 1:25 @ A1
STATUS Planning	DATE 28/05/2015
DRAWN BY	CHECKED BY
DRAWING NO. 1328-P5-402	REV. -



S5-401\_01 Communal Entrance Elevation 1:25



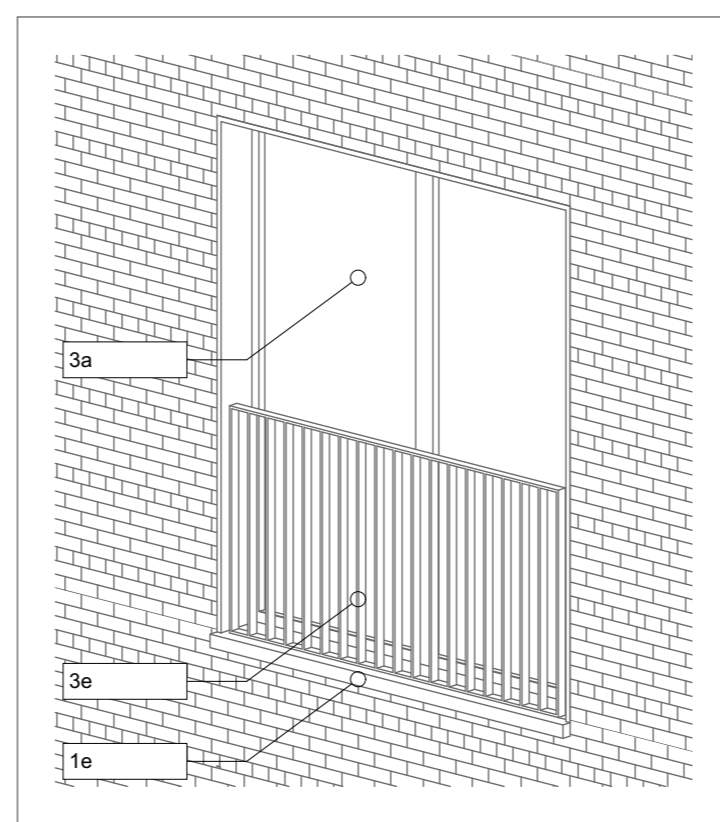
S5-401\_02 Communal Entrance Section 1:25



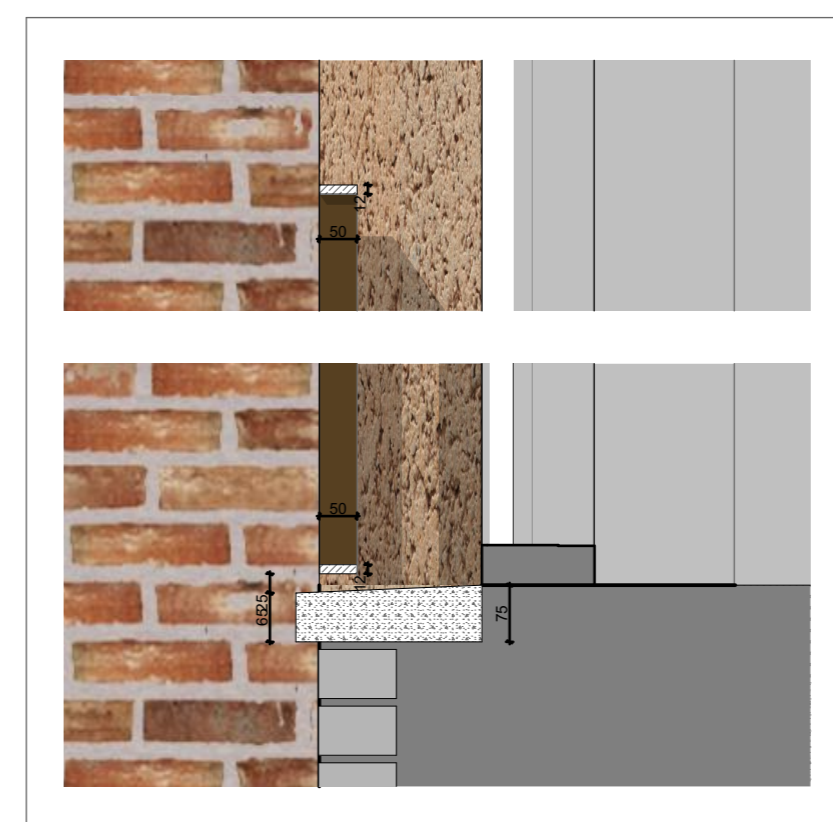
S5-401\_03 Communal Entrance Plan 1:25



S5-401\_04 Communal Entrance Axo



S5-401\_05 Typical Large Window Axo



S5-401\_06 Typical sill detail 1:10

**Specification Key**

**1. External Walls:**  
 1a. Red Buff textured clay brickwork.  
 1b. Warm-Grey mortar to brickwork and blockwork, flush pointed.  
 1c. Precast reconstituted stone coping to balcony projections, as Blackhill Natural by cornish concrete or similar to smooth finish.  
 1d. Staffordshire blue brickwork base brick.  
 1e. Precast reconstituted stone window and balcony sills to match 1c banding.  
 1f. Precast reconstituted stone coping to match 1c banding (once weathered).  
 1g. Bespoke PPC metalwork MVHR extract grilles to each unit, concealed within lintel recess.  
 1h. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.  
 1j. Precast signage to domestic and communal doorways to match 1c banding.  
 1k. Precast reconstituted stone canopy to match 1c banding.

**2. Recessed Balconies**  
 2a. Fair faced precast concrete to balcony slab to match 1c banding.  
 2b. Soffit in cementitious board/ender finish to match 1c.  
 2c. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.  
 2d. Concrete pavers to floor to match precast concrete.  
 2e. 25mm render reveals and render finish to all balcony walls, colour to match Concrete 1c.

**3. Windows & Doors:**  
 3a. Composite timber & aluminum windows, PPC Grey beige RAL1019 max frame size 54mm.  
 3b. Balcony doors/windows to be PPC Grey beige RAL 1019.  
 3c. Domestic front panel doors to be PPC Grey beige (RAL 1019) coloured leaf with glazed fanlight above and rest of frame as Sepia brown RAL 8014.  
 3d. Communal opening doors to match balustrading (as 2c) RAL 8014 Sepia brown and the fixed frames as PPC RAL 8014 Sepia brown.  
 3e. Window balustrading to match balcony balustrading (as 2c) RAL 8014 Sepia brown.  
 3g. Gates and railings within landscape to colour match building balustrading (RAL 8014), refer to landscape architect drawings for more details.  
 3e. All ground floor windows to be flush and match 3a.

**4. Roofs:**  
 4a. Green/brown roof.  
 4b. Roof access hatch.

**5. Rain Water:**  
 5a. Internal DP's within core.  
 5b. External DP's to rear elevation to be metal PPC RAL 8014 Sepia brown.  
 5c. Hopper head PPC to match 5b.  
 5d. PPC Sepia brown RAL 8014.

**GENERAL NOTES**

1. Measurements are based on metric system.
2. All work is to be carried out in accordance with the Building Regulations (BR) unless otherwise stated.
3. Do not use of drawings and CAD file.
4. All dimensions are to be finished.
5. Contractors must verify all materials, sizes and quantities on site and notify contract administrator of any variations from drawings before construction begins.

REV.	DATE	DESCRIPTION



CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Bay Elevations 1	
STATUS Planning	SCALE 1:25, 1:10@ A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	REV -
DRAWING NO. 1328-P5-401	

1 Nazroji Street London WC1X 0GB  
 +44 (0)20 7704 6360  
 office@mae-llp.co.uk  
 mae-llp.co.uk

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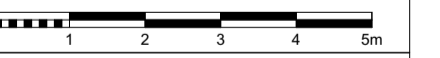


REV	DATE	DESCRIPTION
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GENERAL NOTES

1. Measurements are based on metric system.
2. All levels are relative to Ordnance Datum unless otherwise stated.
3. All levels are given to 3 decimal places.
4. Floor levels are given to 3 decimal places.
5. All levels are given to 3 decimal places.
6. Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work.

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 +44 (0)20 7704 6060  
 office@mae-ftp.co.uk  
 mae-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - West Elevation	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-304	REV -

For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



Proposed Public Realm      Existing Rothay      Communal Garden      **New Build Block**      Redhill Street (East)      Windsor House

REV	DATE	DESCRIPTION

- GENERAL NOTES**
- Measurements are based on walls system.
  - 20 levels are marked in Drawing Sheet Number (CSN) unless otherwise noted.
  - 20 levels are marked in Drawing Sheet Number (CSN) unless otherwise noted.
  - Figure dimensions are in millimeters.
  - 20 levels are marked in Drawing Sheet Number (CSN) unless otherwise noted.
  - Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work.

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 t +44 (0)20 7704 6060  
 e office@mae-llp.co.uk  
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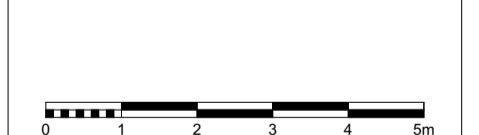
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - South Elevation	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-303	REV -



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		20 levels are shown in this drawing unless otherwise stated
3		20 levels are shown in this drawing unless otherwise stated
4		20 levels are shown in this drawing unless otherwise stated
5		20 levels are shown in this drawing unless otherwise stated
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17		20 levels are shown in this drawing unless otherwise stated
18		20 levels are shown in this drawing unless otherwise stated
19		20 levels are shown in this drawing unless otherwise stated
20		20 levels are shown in this drawing unless otherwise stated

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 1 Naoroji Street London WC1X 0GS  
 t +44 (0)20 7704 6060  
 e office@mæ-llp.co.uk  
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CLIENT	
London Borough of Camden	
PROJECT NAME	PROJECT NO.
Regents Park Estate Infill	1328
DRAWING NAME	
Dick Collins Hall - North Elevation	
STATUS	SCALE
Planning	1:100@ A1
DRAWN BY	DATE
	28/05/2015
DRAWING NO.	REV
1328-1328-PS-302	-

For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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**GENERAL NOTES**

- Measurements are based on metric system.
- All levels are relative to Ordnance Datum (AOD) unless otherwise stated.
- Cladding is to be installed in accordance with the manufacturer's instructions.
- Cladding should be installed in accordance with the manufacturer's instructions.
- Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from design prior to commencement of work.

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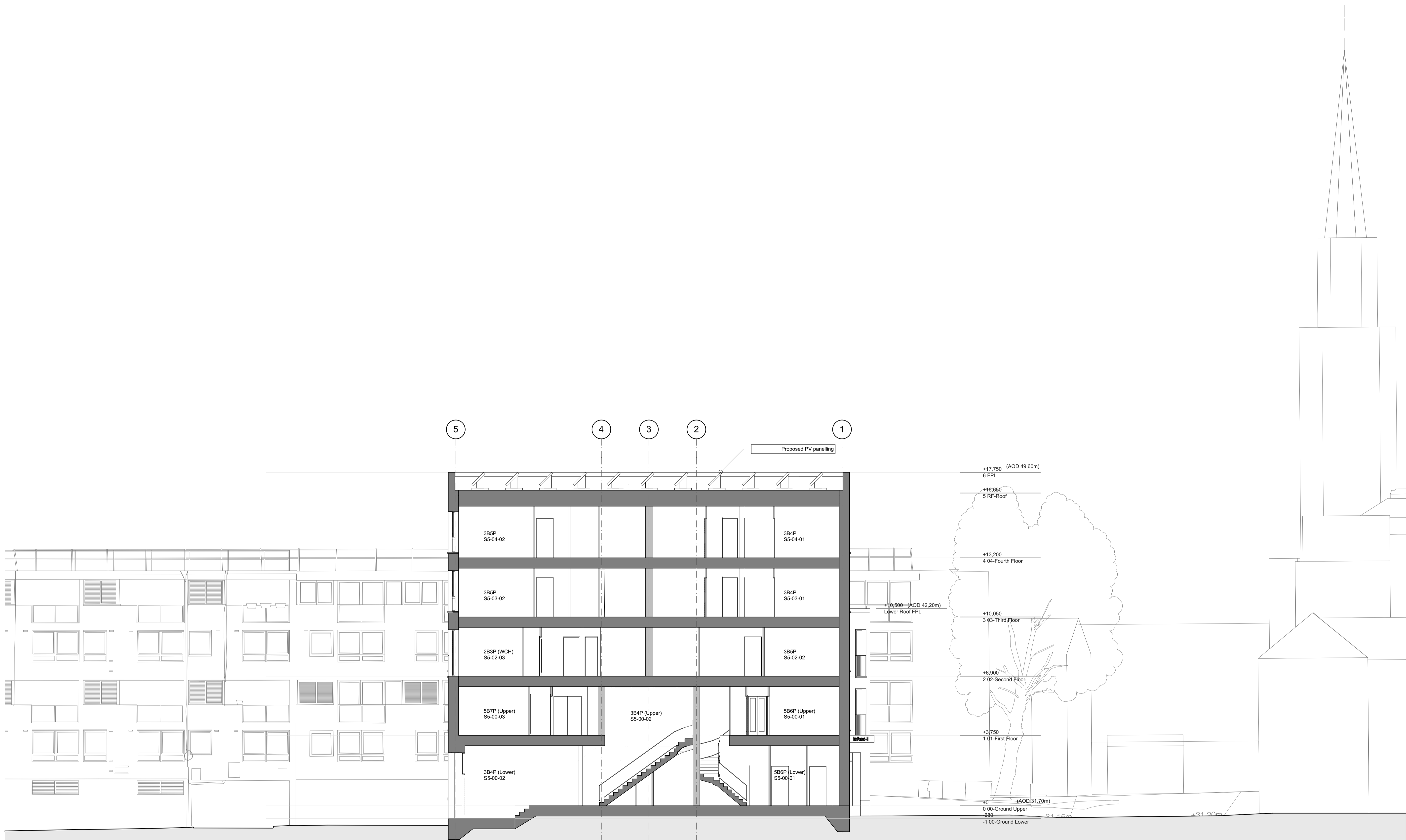
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1 Naoroji Street London WC1X 0GB  
 +44 (0)20 7704 6060  
 office@mæ-llp.co.uk  
 mæ-llp.co.uk

Existing Rothay      Communal Garden      **New Build Block**      Proposed Public Square      Redhill Street (North)      No. 1-3 Redhill Street

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - East Elevation	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-301	REV -

For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		2D levels are relative to Ordnance Datum (OSD) unless otherwise stated
3		2D floor levels are relative to OSD
4		2D floor levels are relative to OSD
5		2D floor levels are relative to OSD
6		2D floor levels are relative to OSD
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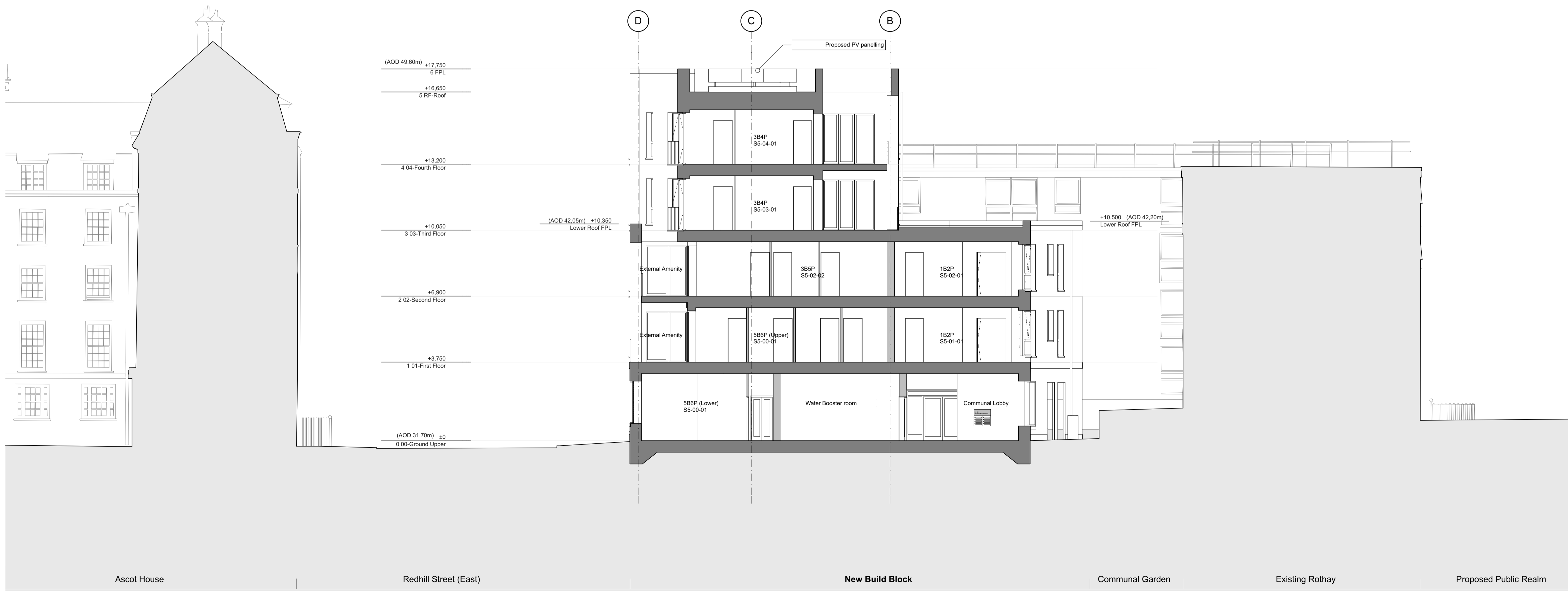
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 1 Naoroji Street London WC1X 0GB  
 +44 (0)20 7704 6060  
 office@mae-ftp.co.uk  
 mae-ftp.co.uk

CLIENT	London Borough of Camden
PROJECT NAME	Regents Park Estate Infill
PROJECT NO.	1328
DRAWING NAME	Dick Collins Hall - Section BB
STATUS	Planning
SCALE	1:100@ A1
DRAWN BY	DATE
28/05/2015	
DRAWING NO.	REV
1328-1328-PS-202	-



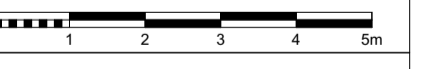
For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



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- GENERAL NOTES**
- Measurements are based on metric system.
  - All levels are relative to Ordnance Datum.
  - Dimensions are given in millimetres unless otherwise stated.
  - Dimensions are given in metres unless otherwise stated.
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1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mæ-llp.co.uk  
 mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Section AA	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-201	REV -

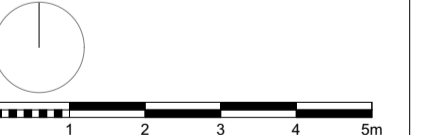
For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
  - All levels are relative to Ordnance Datum (OS) unless otherwise stated.
  - Do not cut through any existing services.
  - Check all dimensions are as shown.
  - Do not cut through any existing services.
  - Contractor should verify all conditions, levels and dimensions on site and verify correct administration of all services from all relevant parties responsible for their location.

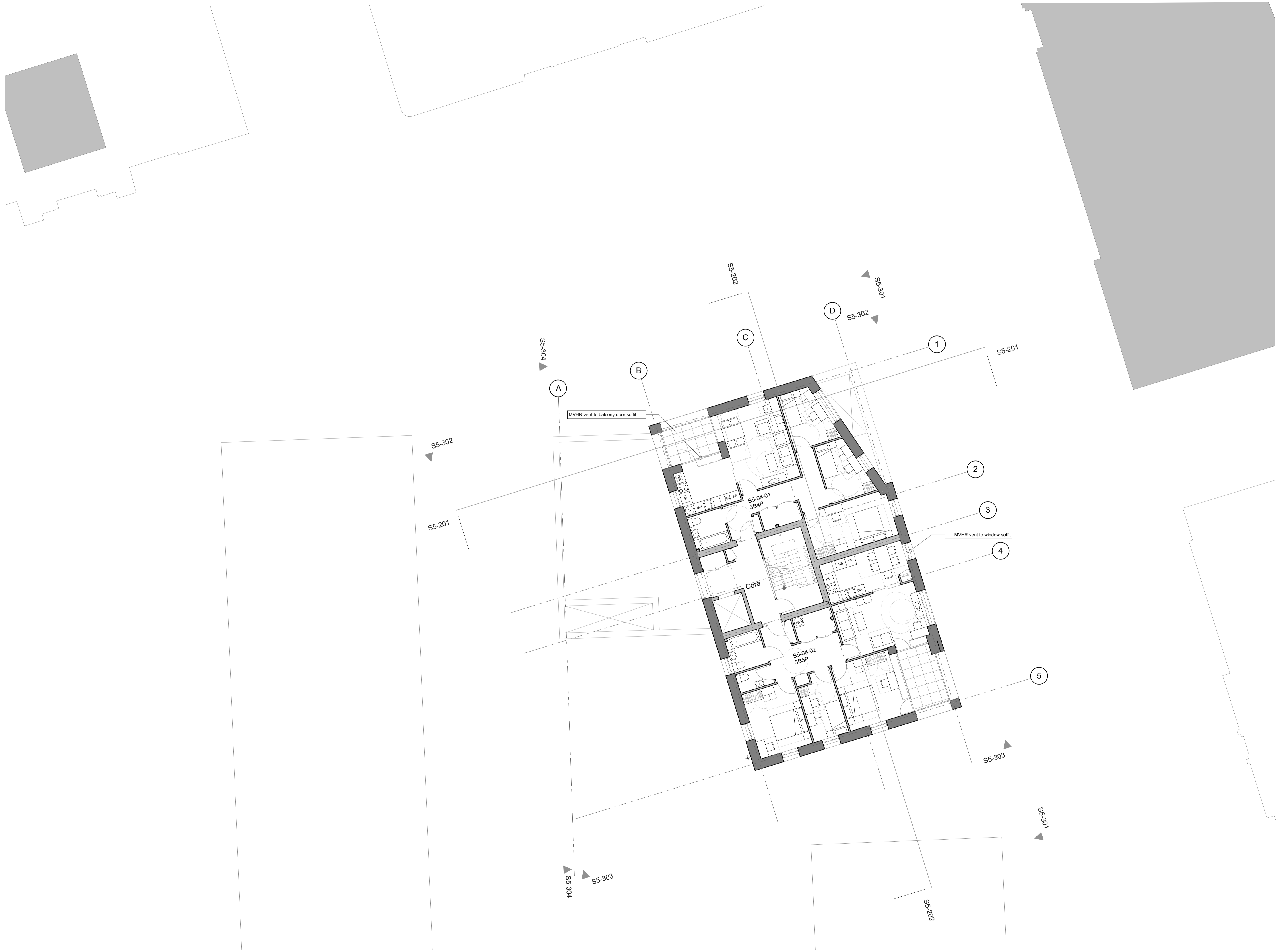
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 1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mae-ftp.co.uk  
 mae-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Roof Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-106	REV -

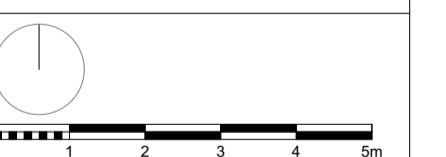
For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
  - 20 levels are shown in Column Grid.
  - Column Grids are shown in Column Grid.
  - Figure dimensions are in millimetres.
  - Do not scale drawings for construction purposes.
  - Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all information from drawings before construction commences.

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**mæ**  
 1 Naoroji Street London WC1X 0GS  
 t +44 (0)20 7704 6060  
 e office@mæ-ftp.co.uk  
 w mæ-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Fourth Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	DATE
DRAWING NO. 1328-1328-PS-105	REV -

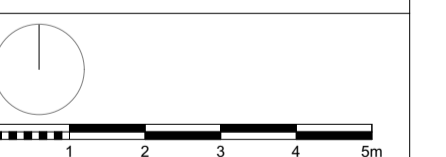
For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
  - 20 levels are shown in 200mm Green Room (GR) unless otherwise noted.
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 1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mae-ftp.co.uk  
 mae-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Third Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-104	REV -

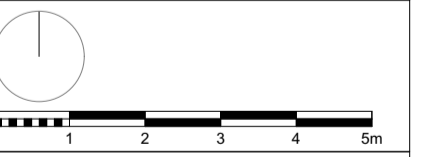
For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES**
1. Measurements are based on walls system.
  2. All work is to be done in accordance with the relevant BS standards.
  3. All work is to be done in accordance with the relevant BS standards.
  4. All work is to be done in accordance with the relevant BS standards.
  5. All work is to be done in accordance with the relevant BS standards.

The client warrants that the information provided is true and correct. The client warrants that the information provided is true and correct. The client warrants that the information provided is true and correct.



**mæ**  
 1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mæ-llp.co.uk  
 mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Second Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-103	REV -

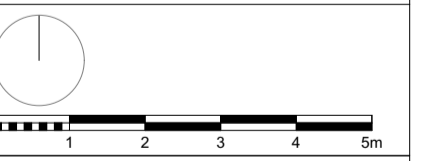
For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES
- Measurements are based on walls system.
  - 20 levels are shown in the Drawing unless otherwise stated.
  - Level of ground level is shown.
  - Level of finished floor is shown.
  - Level of roof level is shown.
  - Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all variations from drawings before construction commences.

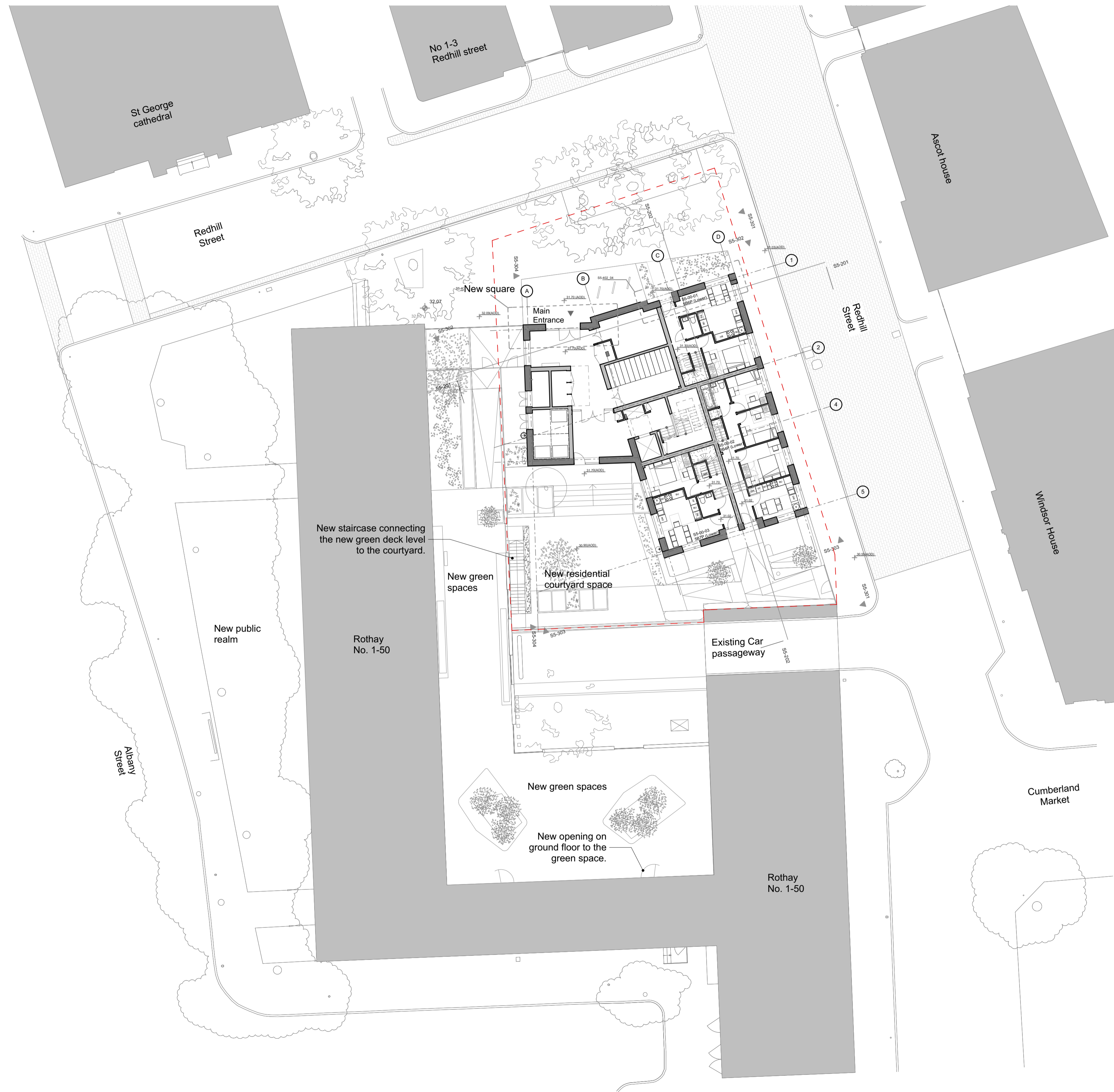
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 1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mæ-llp.co.uk  
 mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - First Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-102	REV -

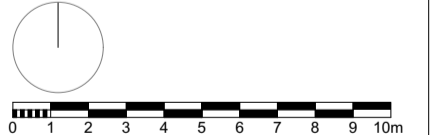




For materials and details, please refer to 1328\_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		All levels are in meters to Ordnance Datum (OSD) unless otherwise stated
3		Dimensions are to the centre of the wall unless otherwise stated
4		Dimensions are to the face of the wall unless otherwise stated
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The site plan and all the dimensions and coordinates shown on this plan are based on the Ordnance Survey map and are not to be used for any other purpose without the permission of the Ordnance Survey.



**mæ**

1 Naoroji Street London WC1X 0GS  
 +44 (0)20 7704 6060  
 office@mæ-llp.co.uk  
 mæ-llp.co.uk

CLIENT	London Borough of Camden	
PROJECT NAME	Regents Park Estate Infill	PROJECT NO.
1328		
DESIGN NAME	Dick Collins Hall - Site Plan	
STATUS	Planning	SCALE
1:200@A1		
DRAWN BY	DESIGNED BY	DATE
		28/05/2015
DRAWING NO.	REV	
1328-1328-PS-100	-	