

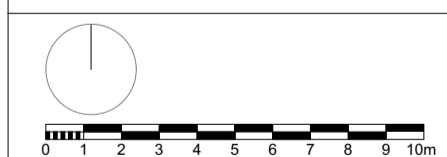


Key:
 Proposed removal of trees

REV	DATE	DESCRIPTION
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- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (OS) unless otherwise stated.
 - Site is to be developed in accordance with the Local Plan.
 - Figure dimensions are to be followed.
 - Site is to be developed in accordance with the Local Plan.
 - Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from design prior to commencement of work.

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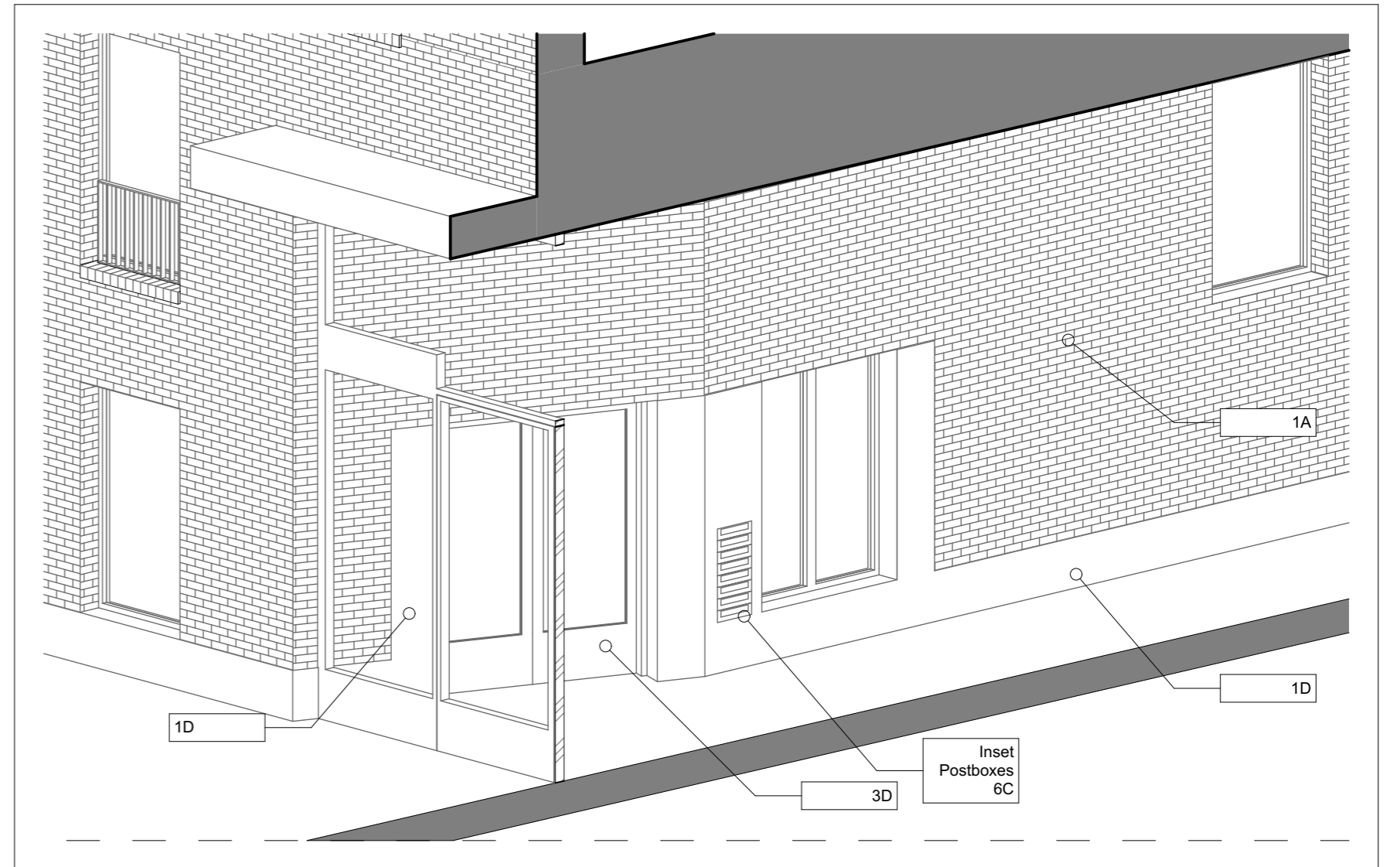
mae

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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Varndell Street Corner - Existing Site Plan	
STATUS Planning	SCALE 1:200 @ A1
DRAWN BY	DESIGNED BY
DATE 28/05/2015	DATE
DRAWING NO. 1328-P3-001	REV -



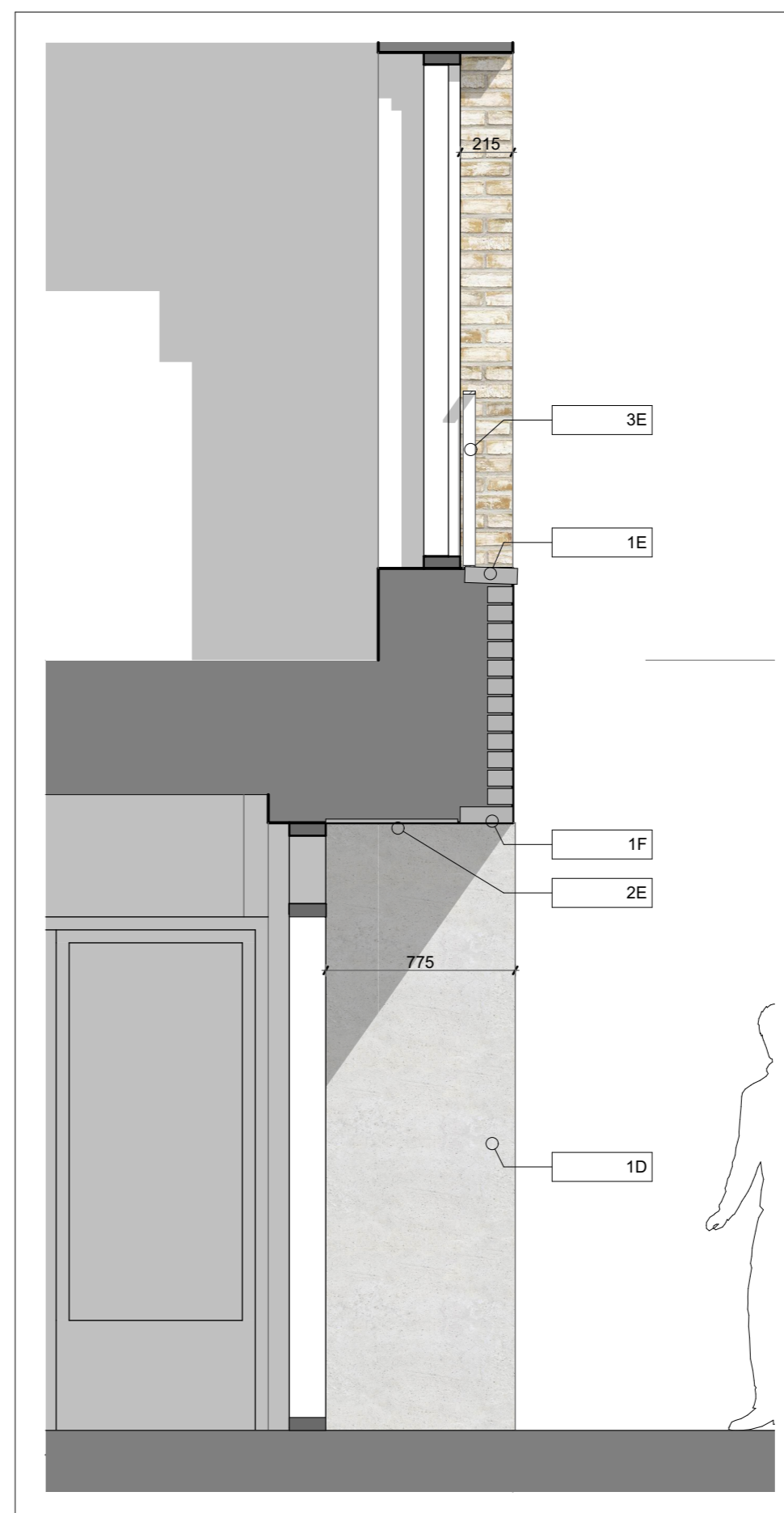
A-S3-402-01 Communal Entrance Gate Elevation 1:25



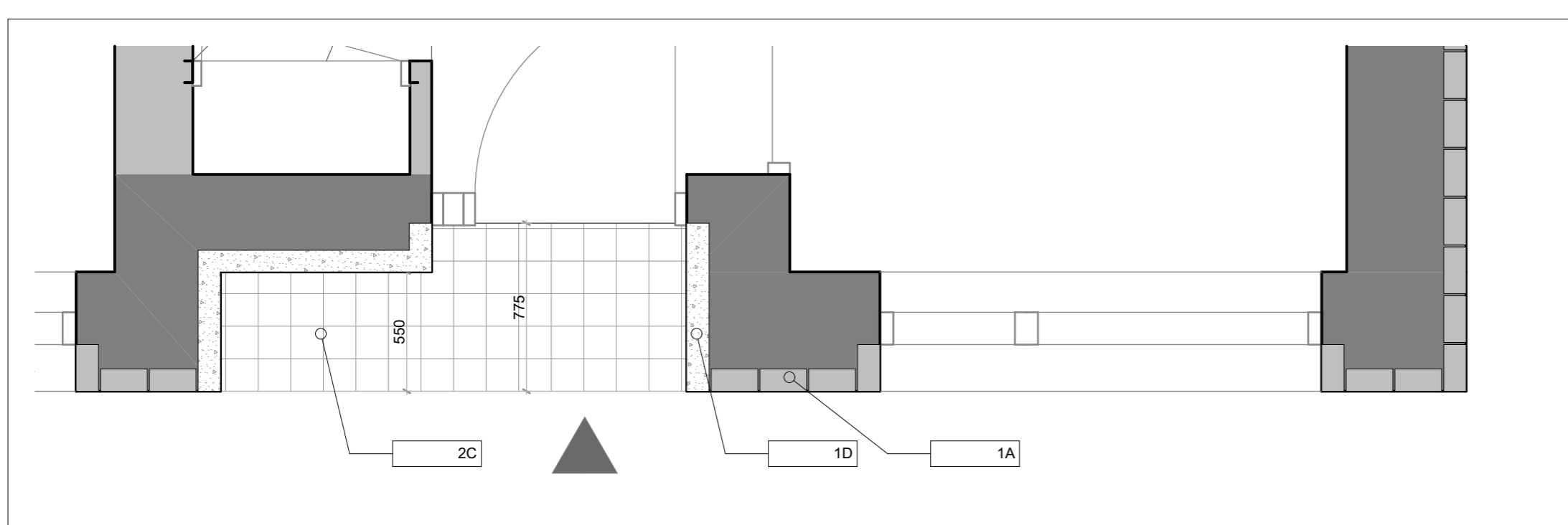
A-S3-402-02 Communal entrance undercroft axonometric



A-S3-402-03 Typical dwelling entrance elevation 1:25



A-S3-402-04 Typ. dwelling entrance section 1:25



A-S3-402-05 Typical dwelling entrance plan 1:25

Specification Key

1. External Walls:
 1a. Light Buff coloured clay brickwork, as Mystique by Traditional Brick and Stone, or similar
 1b. Grey-White mortar, flush pointed
 1c. Pre-cast reconstituted stone banding as Portland by Forticrete or similar, smooth finish
 1d. Pre-cast reconstituted stone upstand/lining as Portland by Forticrete. To match 1c.
 1e. Pre-cast brick sills, with metal drip detail
 1f. Pre-fabricated Full brick lintels
 1g. Pre-cast reconstituted stone coping to match 1c Banding
 1h. Bespoke PPC (RAL 7032) metalwork MVHR extract grilles to each unit, concealed within lintel recess.
 1i. Pre-cast signage to domestic and communal doorways, to match 1c Banding
 1j. 215mm deep brick reveal to all windows reveals
 1k. Pre-cast reconstituted stone canopy to match 1c banding

2. Recessed Balconies:
 2a. Fair faced precast concrete, to match 1c Banding, soffit in cementitious board/ render to match
 2b. Bespoke PPC metalwork balustrading with flat bar uprights
 2c. Concrete pavers to floor to match precast concrete
 2d. Balustrading to be vertical flat bars, with horizontal flat bar at top, finished in MIO, Light Grey Finish as Leigh's paints R8051 or similar
 2e. 215 Brick return Soffit with remainder in Cementitious board/Render to match Concrete 1c.
 2f. Pre-cast Reconstituted stone balcony with concrete soffit to match 1c.

3. Windows & Doors:
 3a. Composite timber & aluminium windows, PPC Pebble Grey (RAL 7032) finish generally, max frame size 54mm
 3b. PPC RAL 7032 Terrace Doors w/ Golden Yellow (RAL 1004) opening door leaf to balcony
 3c. PPC Golden Yellow (RAL 1004) coloured panel front doors leaf with glazed fanlight above (rest of frame as PPC Pebble Grey (RAL 7032))
 3d. PPC Pebble Grey (RAL 7032) to Communal doors
 3e. MIO, Light Grey Finish Balustrading to match 2d
 3f. MIO, Light Grey Finish Steel Communal Gates to match 2d
 3g. Horizontal Rigid stainless steel Mesh as GKD-PC Tigris or similar
 3h. Punched Metal signage built into gate frame. Helvetica Neue Typeface

4. Roofs & Amenity Spaces:
 4a. Green Down roof
 4b. Roof access hatch

5. Access Terrace
 5a. Concrete pavers on pedestal system
 5b. Lightweight metal access platform over lightwell

6. Rain Water/Metalwork
 6a. Internal DP's within core
 6b. External DP's to front and rear elevation to be metal PPC RAL 7032 Pebble Grey
 6c. PPC Pebble Grey (RAL 7032) Metalwork finish

REV. DATE. DESCRIPTION.

REV.	DATE	DESCRIPTION



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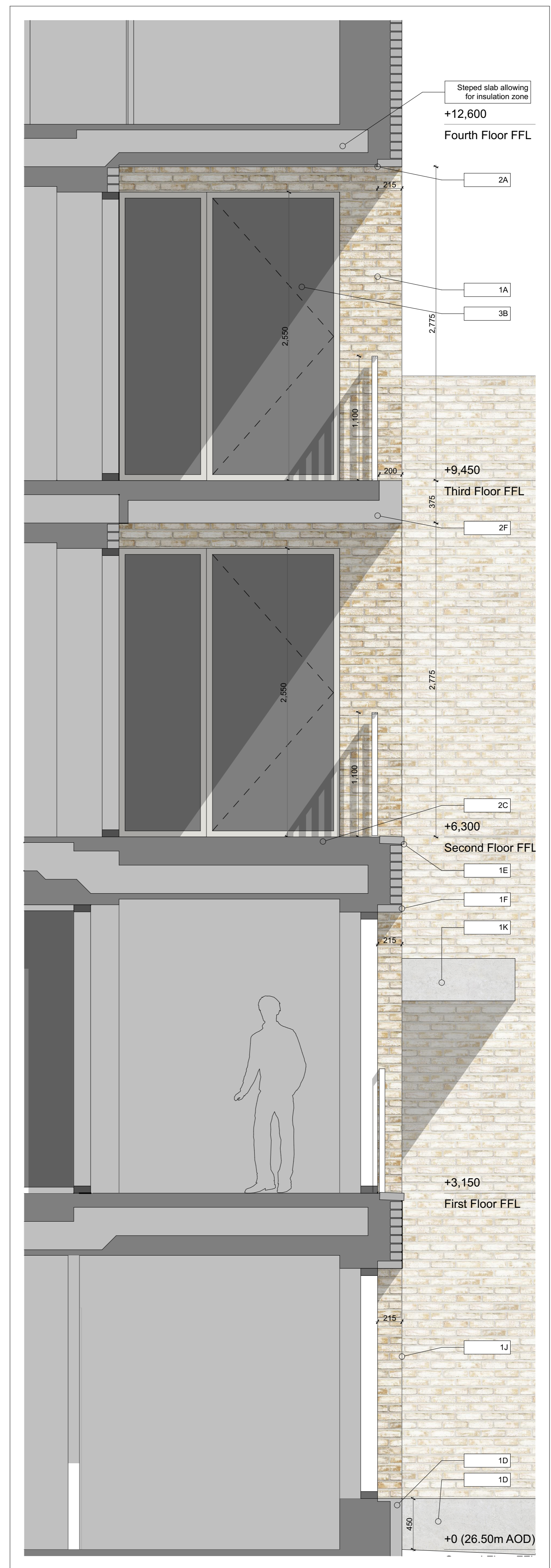
CLIENT London Borough of Camden	PROJECT NO. 1328
PROJECT NAME Regent's Park Estate Infill	SCALE 1:25, 1:50
DRAWING NAME Varndell Street Corner - Bay Elevation 2	DATE 28/05/2015
STATUS Planning	REV. -
DRAWN BY 1328-P3-402	



A-S3-401-01

Typical Bay Elevation

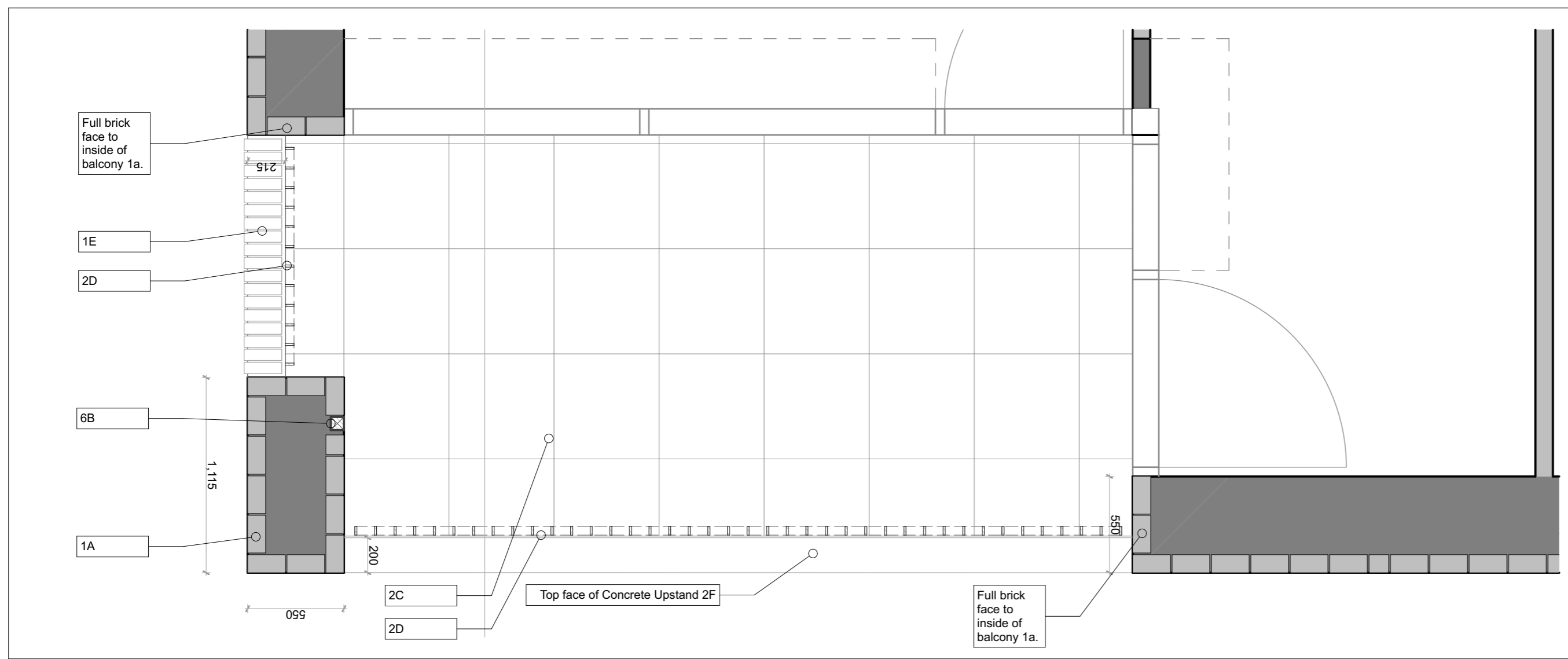
1:25



A-S3-401-02

Typical Bay Section

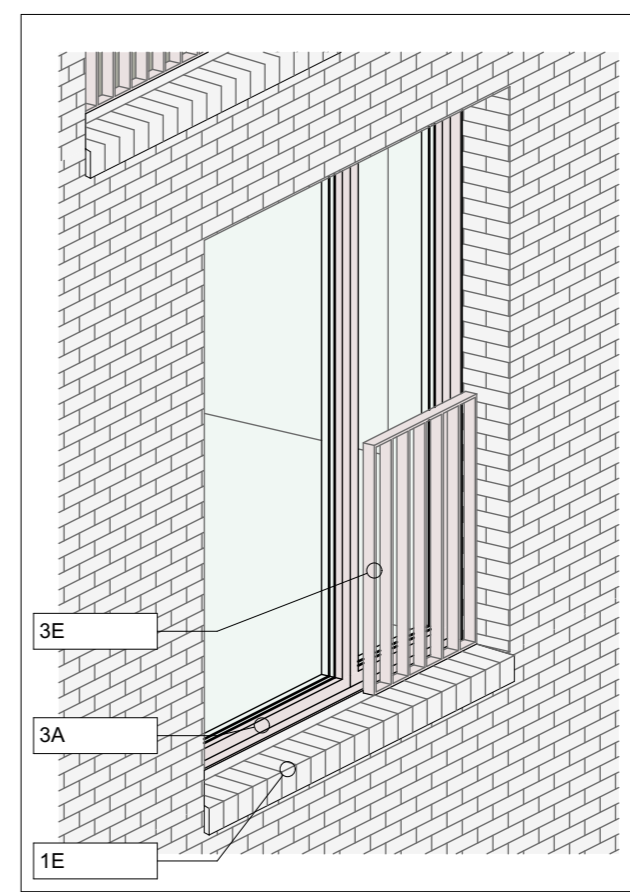
1:25



A-S3-401-03

Typ. Bay Plan

1:25



Typ. Window Axonometric

Specification Key

- External Walls:**
 - 1a. Light Buff coloured clay brickwork, as Mystique by Traditional Brick and Stone, or similar
 - 1b. Grey-White mortar, flush pointed
 - 1c. Pre-cast reconstituted stone banding as Portland by Forticrete or similar, smooth finish
 - 1d. Pre-cast reconstituted stone upstand/fining as Portland by Forticrete. To match 1c.
 - 1e. Pre-cast brick sills, with metal drip detail
 - 1f. Pre-fabricated Full brick lintels
 - 1g. Pre-cast reconstituted stone coping to match 1c Banding
 - 1h. Bespoke PPC (RAL 7032) metalwork MVHR extract grilles to each unit, concealed within lintel recess.
 - 1i. Pre-cast signage to domestic and communal doorways, to match 1c Banding
 - 1j. 215mm deep brick reveal to all windows reveals
 - 1k. Pre-cast reconstituted stone canopy to match 1c banding
- Recessed Balconies:**
 - 2a. Full faced precast concrete, to match 1c Banding, soffit in cementitious board/ render to match
 - 2b. Bespoke PPC metalwork balustrading with flat bar uprights
 - 2c. Concrete pavers to floor to match precast concrete
 - 2d. Balustrading to be vertical flat bars, with horizontal flat bar at top, finished in MIO, Light Grey Finish as Leigh's paints R8051 or similar
 - 2e. 215 Brick return Soffit with remainder in Cementitious board/Render to match Concrete 1c.
 - 2f. Pre-cast Reconstituted stone balcony with concrete soffit to match 1c.
- Windows & Doors:**
 - 3a. Composite timber & aluminium windows, PPC Pebble Grey (RAL 7032) finish generally, max frame size 54mm
 - 3b. PPC RAL 7032 Terrace Doors w/ Golden Yellow (RAL 1004) opening door leaf to balcony
 - 3c. PPC Golden Yellow (RAL 1004) coloured panel front doors leaf with glazed fanlight above (rest of frame as PPC Pebble Grey (RAL 7032))
 - 3d. PPC Pebble Grey (RAL 7032) to Communal doors
 - 3e. MIO, Light Grey Finish Balustrading to match 2d
 - 3f. MIO, Light Grey Finish Steel Communal Gates to match 2d
 - 3g. Horizontal Rigid stainless steel Mesh as GKD PC Tigris or similar
- Roofs & Amenity Spaces:**
 - 4a. Green/brown roof
 - 4b. Roof access hatch
- Access Terrace**
 - 5a. Concrete pavers on pedestal system
 - 5b. Lightweight metal access platform over lightwell
- Rain Water/Metalwork**
 - 6a. Internal DP's within core
 - 6b. External DP's to front and rear elevation to be metal PPC RAL 7032 Pebble Grey
 - 6c. PPC Pebble Grey (RAL 7032) Metalwork finish

REV. NOTES

1. All drawings are based on the latest approved design. Any changes to the design must be made in accordance with the approved design. The client is responsible for ensuring that the design is suitable for the intended use and that all necessary permissions are obtained.

REV.	DATE	DESCRIPTION



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CLIENT London Borough of Camden	PROJECT NO. 1328
PROJECT NAME Regent's Park Estate Infill	SCALE 1:25, 1:30
DRAWING NAME Vandell Street Corner - Bay Elevation 1	DATE 28/05/2015
STATUS Planning	REV. -
DRAWN BY 1328-P3-401	

For materials and details, please refer to 1328_400 series drawings and Design & Access statement Section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		20 levels are in accordance with BS 5600-1:1990 unless otherwise stated
3		20 levels are in accordance with BS 5600-1:1990 unless otherwise stated
4		Figures in brackets are in millimetres
5		20 levels are in accordance with BS 5600-1:1990 unless otherwise stated
6		Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work

The information on this drawing is the property of the client. It is not to be used for any other purpose without the written consent of the client. The client is not responsible for any errors or omissions on this drawing. The client is not responsible for any errors or omissions on this drawing.



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CLIENT	
London Borough of Camden	
PROJECT NAME	PROJECT NO.
Regent's Park Estate Infill	1328
DRAWING NAME	
Varndell Street Corner - South Elevation	
STATUS	SCALE
Planning	1:100 @ A1
DRAWN BY	DATE
	28/05/2015
DRAWING NO.	REV
1328-P3-304	-

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (OSD) unless otherwise stated.
 - Cladding is to be finished in situ.
 - Cladding materials are to be specified.
 - Cladding materials are to be specified.
 - Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all information from drawings before commencing work.

The information on this drawing is the property of the client. It is to be used for the purposes stated and not for any other purpose. The client is responsible for the accuracy of the information provided.



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CLIENT	
London Borough of Camden	
PROJECT NAME	PROJECT NO.
Regent's Park Estate Infill	1328
DRAWING NAME	
Vardell Street Corner - North Elevation	
STATUS	SCALE
Planning	1:100 @ A1
DRAWN BY	DATE
	28/05/2015
DRAWING NO.	REV
1328-P3-303	-

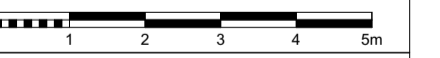
For materials and details, please refer to 1328_400 series drawings and Design & Access statement Section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (AOD) unless otherwise stated.
 - Cladding and finishes are to be confirmed.
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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - West Elevation	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	DATE
DRAWING NO. 1328-P3-302	REV -

Mackworth

Communal garden

Proposed Vandell St. Block

Existing Low rise terrace houses

Vandell Street

Ennerdale

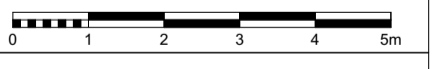
Hawkshead

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		All levels are relative to Ordnance Datum unless otherwise stated
3		Dimensions are to finished face unless otherwise stated
4		Dimensions are to finished face unless otherwise stated
5		Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from design prior to construction

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Ennerdale | Vardell Street | Proposed Vardell St. Block | Communal garden | Mackworth

Cumberland Mrkt. Peabody housing

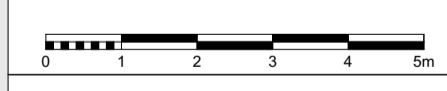
CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vardell Street Corner - East Elevation	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-301	REV -

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		20 levels are shown in this drawing unless otherwise stated
3		20 levels are shown in this drawing unless otherwise stated
4		20 levels are shown in this drawing unless otherwise stated
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10		20 levels are shown in this drawing unless otherwise stated

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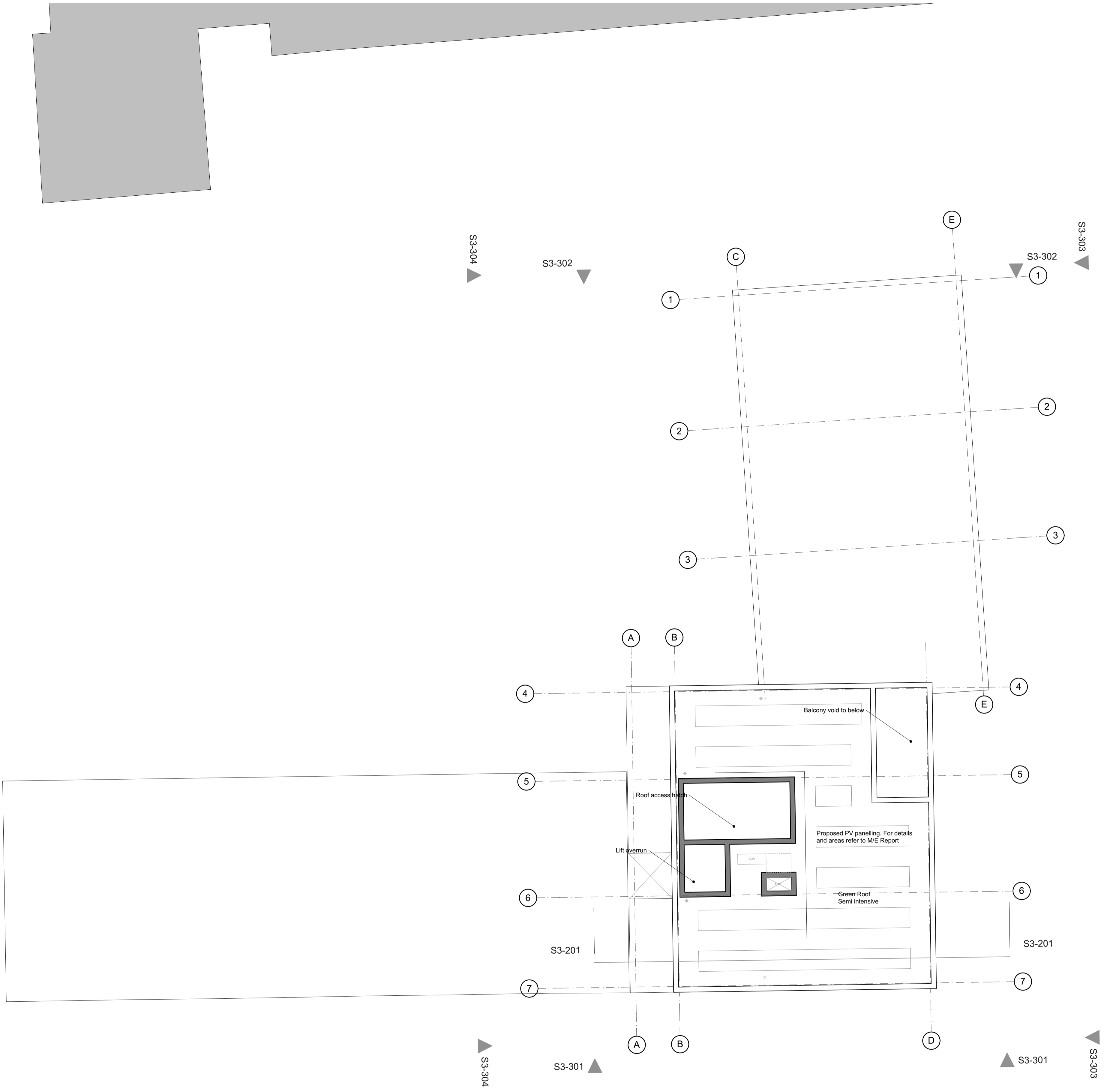


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Cumberland Market Existing Low rise terrace houses Proposed Vardell St. Block Proposed Public space Stanhope Street Hawkshead

Mackworth

CLIENT	London Borough of Camden
PROJECT NAME	Regent's Park Estate Infill
PROJECT NO.	1328
SECTION NAME	Vardell Street Corner - Section AA
STATUS	Planning
SCALE	1:100 @ A1
DRAWN BY	DESIGNED BY
DATE	28/05/2015
DRAWING NO.	1328-P3-201
REV	-

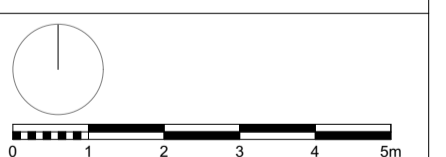


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 mm gap to be provided to adjacent structure.
 - 20 mm gap to be provided to adjacent structure.
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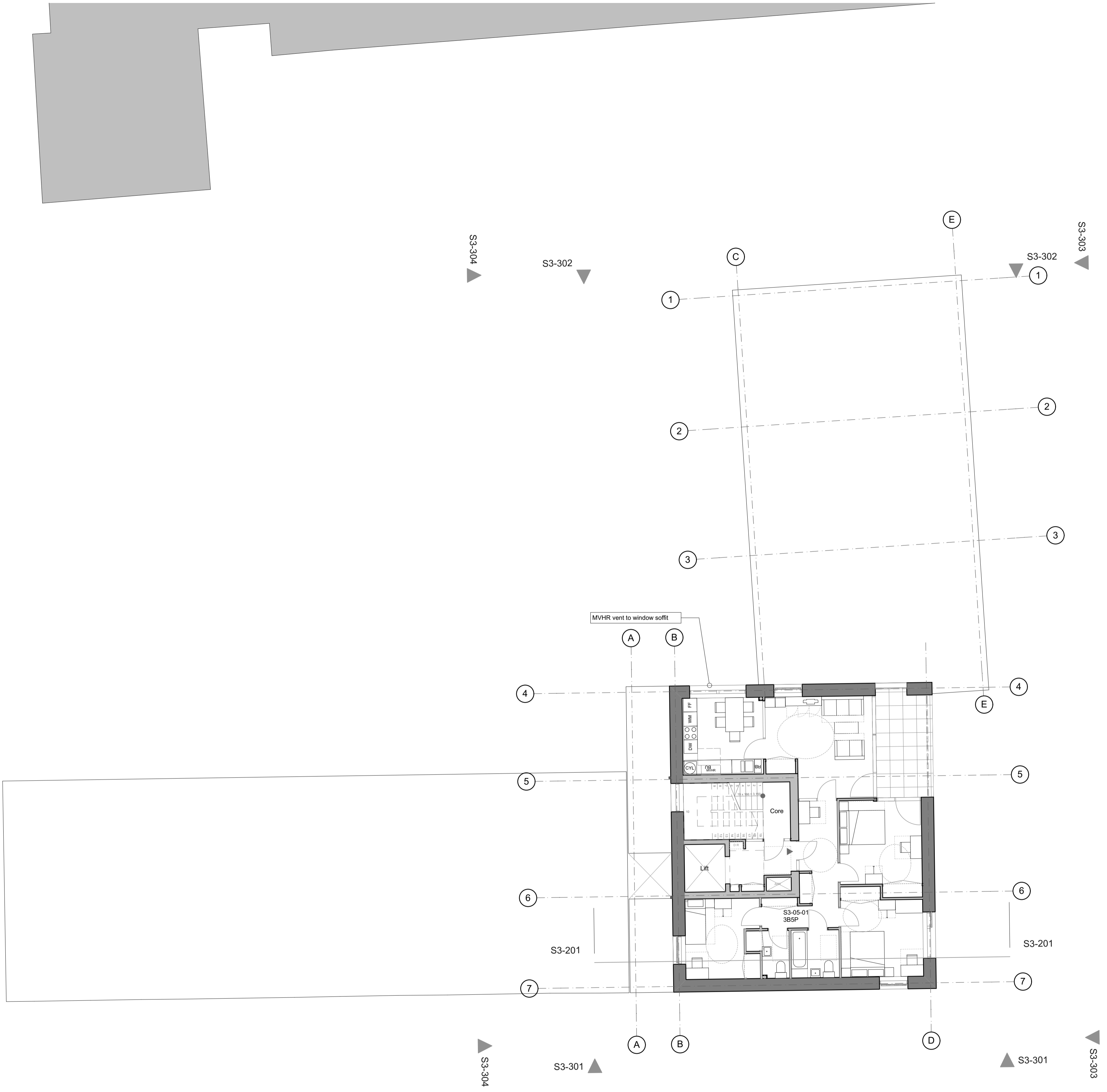
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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Roof Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-107	REV -

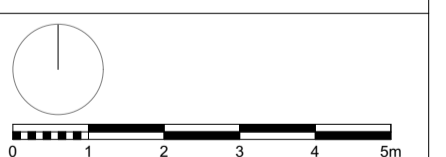


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 levels are shown in Column Grid Tables (CCT) unless otherwise noted.
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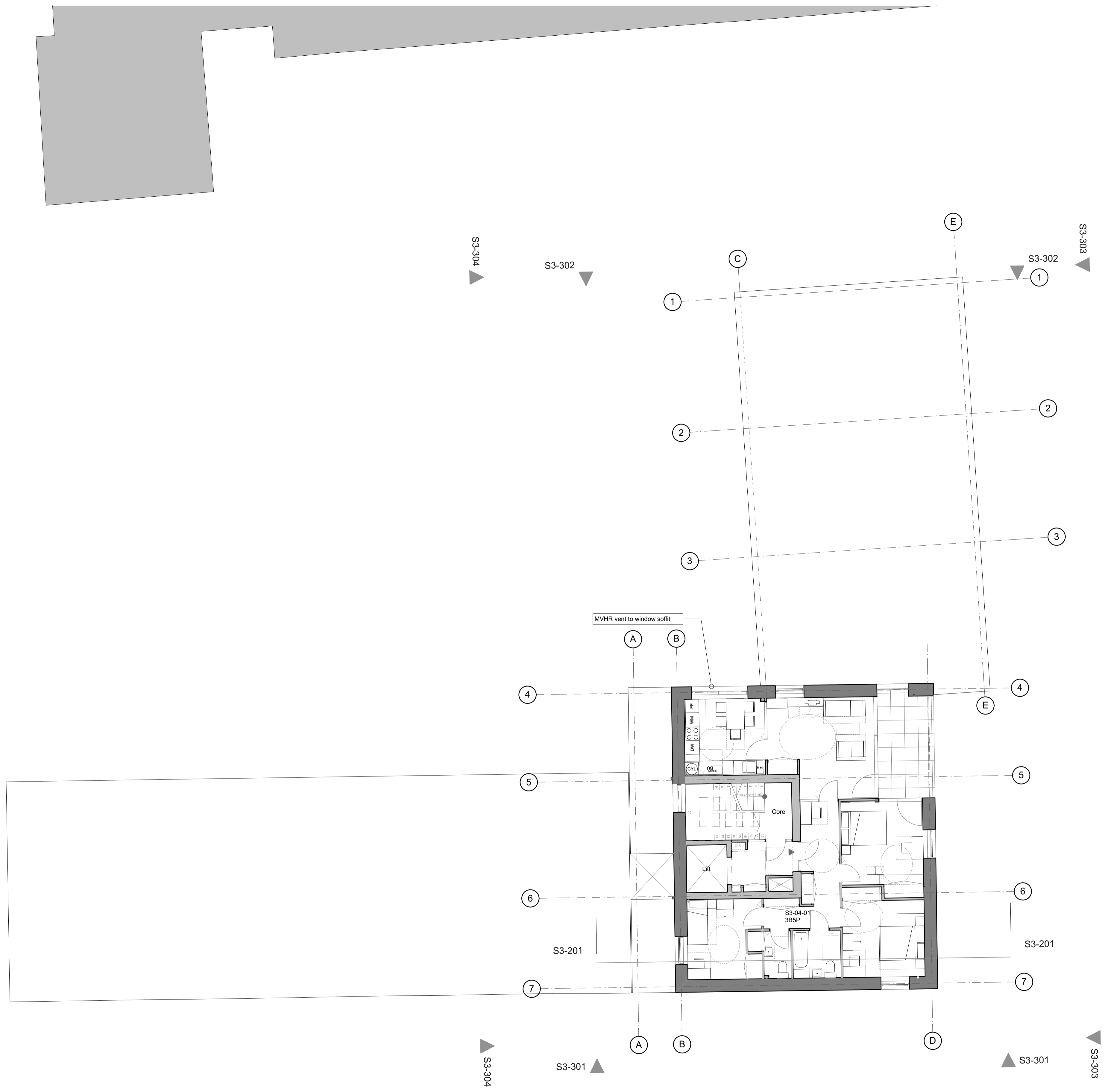
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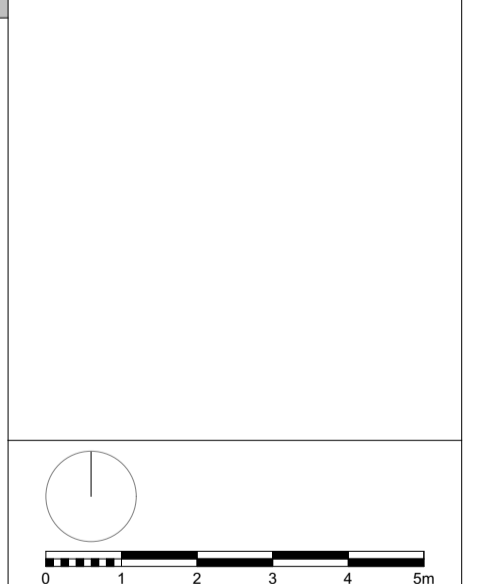
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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Fifth Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-106	REV -



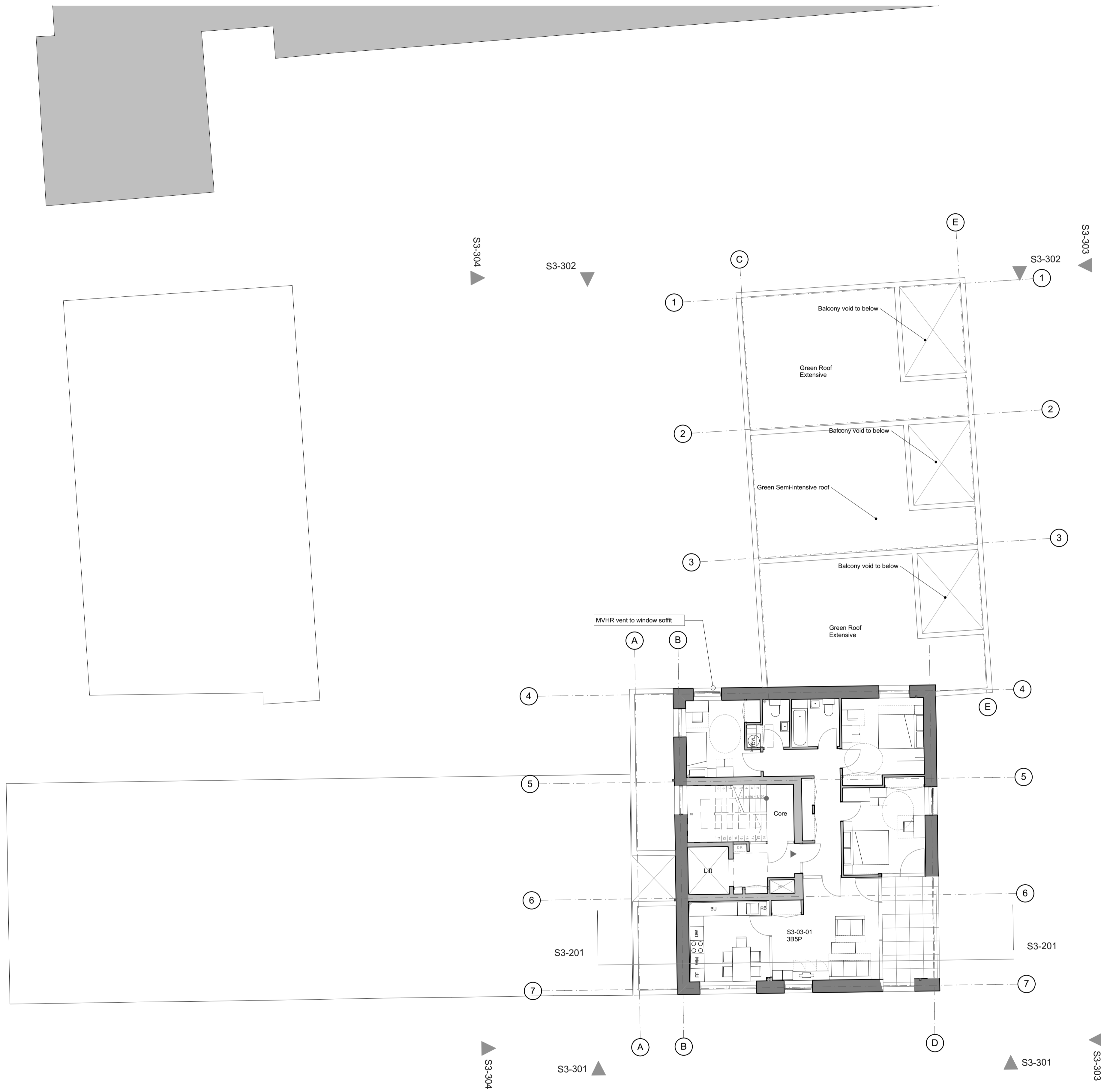
For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on walls system
2		20 levels are shown in Column Grid
3		20 levels are shown in Column Grid
4		20 levels are shown in Column Grid
5		20 levels are shown in Column Grid
6		20 levels are shown in Column Grid
7		20 levels are shown in Column Grid



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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Fourth Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-105	REV -

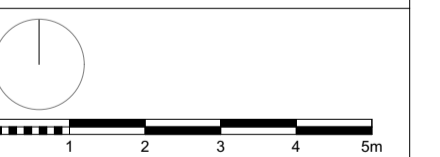


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES
1. Measurements are based on walls system.
 2. All work shall be in accordance with the Building Regulations (BR) unless otherwise stated.
 3. All work shall be in accordance with the Building Regulations (BR) unless otherwise stated.
 4. All work shall be in accordance with the Building Regulations (BR) unless otherwise stated.
 5. All work shall be in accordance with the Building Regulations (BR) unless otherwise stated.
 6. All work shall be in accordance with the Building Regulations (BR) unless otherwise stated.
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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Third Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-104	REV -

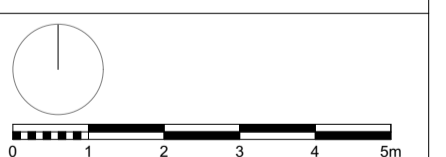


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 levels are shown in Column Grid Tables (CGT) unless otherwise noted.
 - 20 levels are shown in Column Grid Tables (CGT) unless otherwise noted.
 - Figure dimensions are to be followed.
 - Do not scale drawings unless necessary.
 - Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from design prior to construction.

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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Second Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-103	REV -

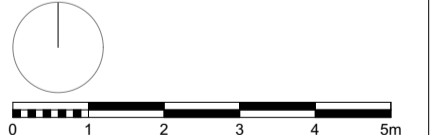


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 levels are shown in Column Grid Tables (CCT) unless otherwise noted.
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 - Figure dimensions are to be followed.
 - 20 levels are shown in Column Grid Tables (CCT) unless otherwise noted.
 - Contractor should verify all conditions, levels and dimensions on site and verify correct administration of all services from other disciplines before construction.

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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - First Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-102	REV -

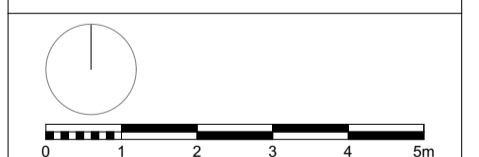


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION

- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 levels are shown in Orange Colour. Spaces (CSN) unless otherwise noted.
 - Level of ground level is shown in Green.
 - Figure dimensions are to be followed.
 - Do not scale drawings unless otherwise indicated.
 - Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all annotations from drawings before construction commences.

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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vardell Street Corner - Ground Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-101	REV -

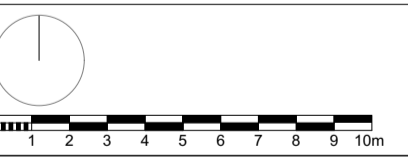


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (OSD) unless otherwise stated.
 - Site is to be developed in accordance with the above.
 - Client shall provide all necessary consents.
 - Contractor shall verify all conditions, levels and dimensions on site and verify correct interpretation of any variations from drawings before construction commences.

The site is bounded by the measured and proposed boundaries of the site. The plan is based on the measured and proposed boundaries and is not a guarantee of the accuracy of the information shown on the plan. All parties to the plan should verify the accuracy of the information shown on the plan.



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CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Varndell Street Corner - Proposed Site Plan	
STATUS Planning	SCALE 1:200 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-100	REV -