

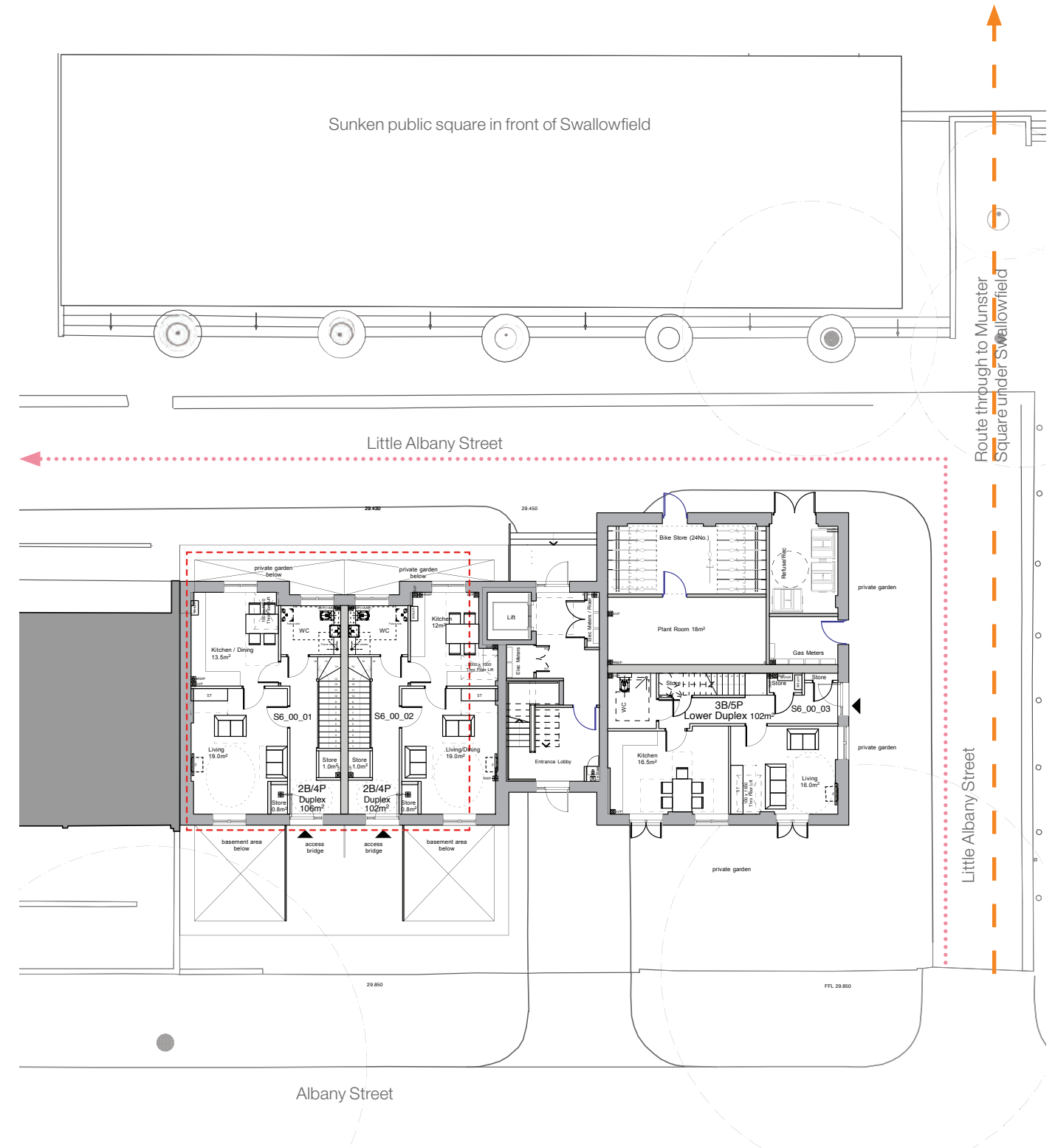
Building proposal

The Cape of Good Hope proposal is for the creation of a fully residential block. It is L-shaped with the main residential entrance central and straight off Albany Street. Ground floor maisonettes have their own front doors on Albany Street and Little Albany street activating the two elevations at street level. To maintain privacy, the Albany street units have a basement with lightwell to provide separation from the street.

The building has been designed as a 6 storey building, providing 15 homes. As a peninsular block all three elevations to the L-wing are treated as a principal elevations, whereas the adjoining section connecting to Troutbeck has a more modest elevation facing the estate (east elevation) signifying it's semi-private nature.



Albany Street elevation (not to scale)



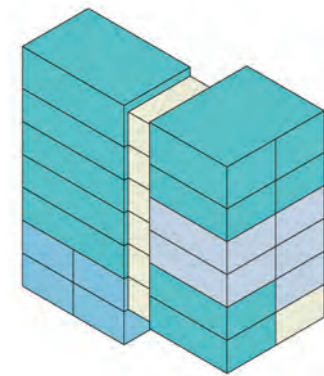
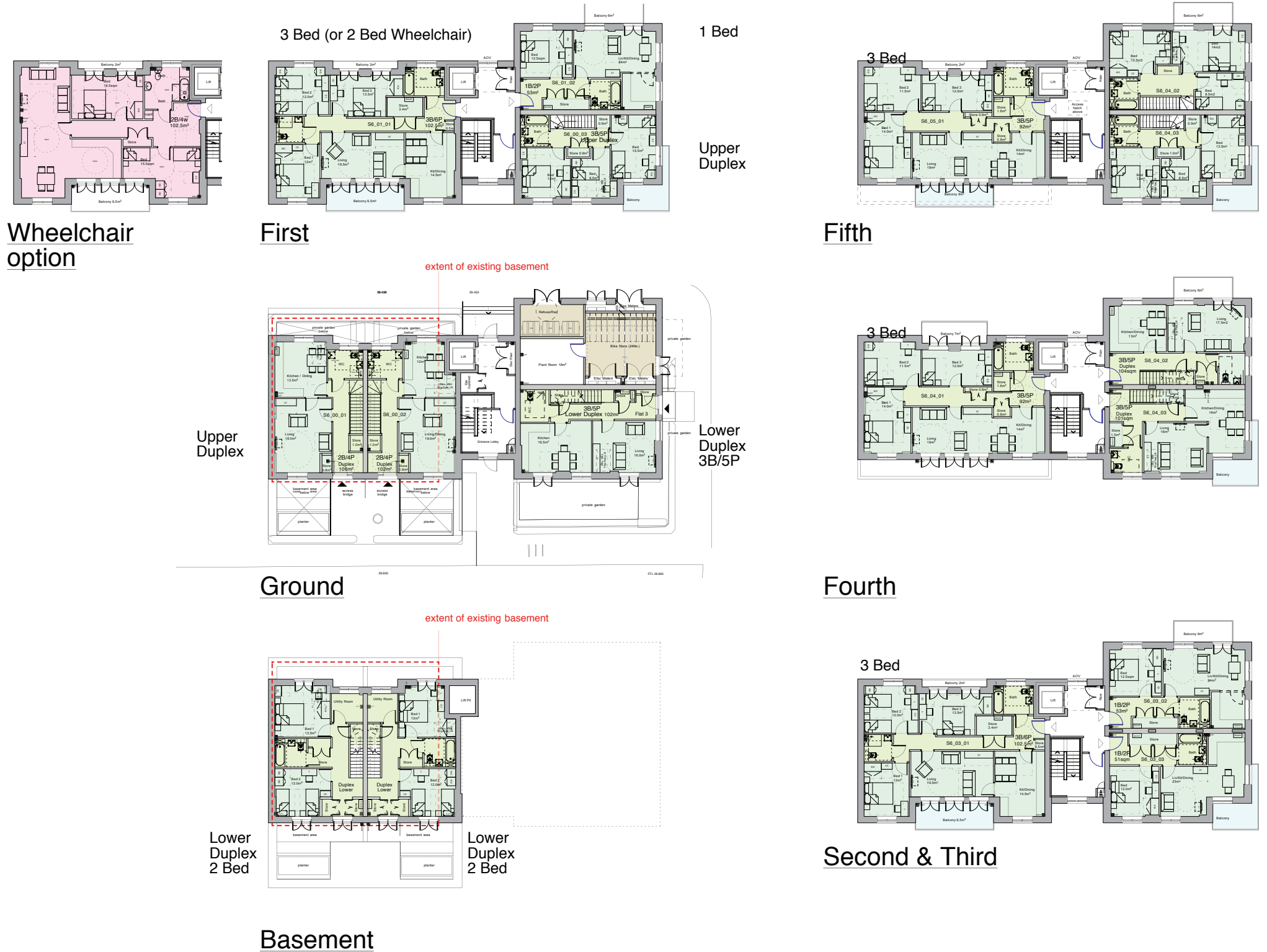
Ground floor & site layout (not to scale)



The layout for the block is a simple L shape with 3 flats off a single core. On the basement & ground; ground & first and 4th&5th floors, maisonettes provide larger family units. The remaining flats are on single levels.

We have demonstrated how the first floor 3 bed/5p unit could be converted to provide a home for a wheelchair user.

(Note plans are not to scale: refer to planning drawings).



Plot 6: Cape of Good Hope. Unit Schedule

1B2P	5
2B4P	2
3B5P	5
3B6P	3
Total	10

The parapet of the adjoining element of the new building lines through with its neighbour, Troutbeck. The set back parapet and corner block are more in line with the height of the central part of Colosseum terrace, creating balance in the street and signifying the transition between the scale and typology of Albany Street and the south eastern part of Regents Park Estate. This higher corner also creates a gateway into the estate.

Colosseum Terrace opposite the site has a clear hierarchy (see drawing on this page). Horizontally metal filigree window boxes work together with the Stucco to ground floor elevations to clearly mark ground floor and entrances. At the centre piece of the historic terrace, the scale climbs towards an additional storey and is signified by a vertical strip of 3 bay windows, resembling a triptych. This composition frames the gateway to the mews beyond. The effect is a layering between the formal, public frontage and the semi-private parts of the building.

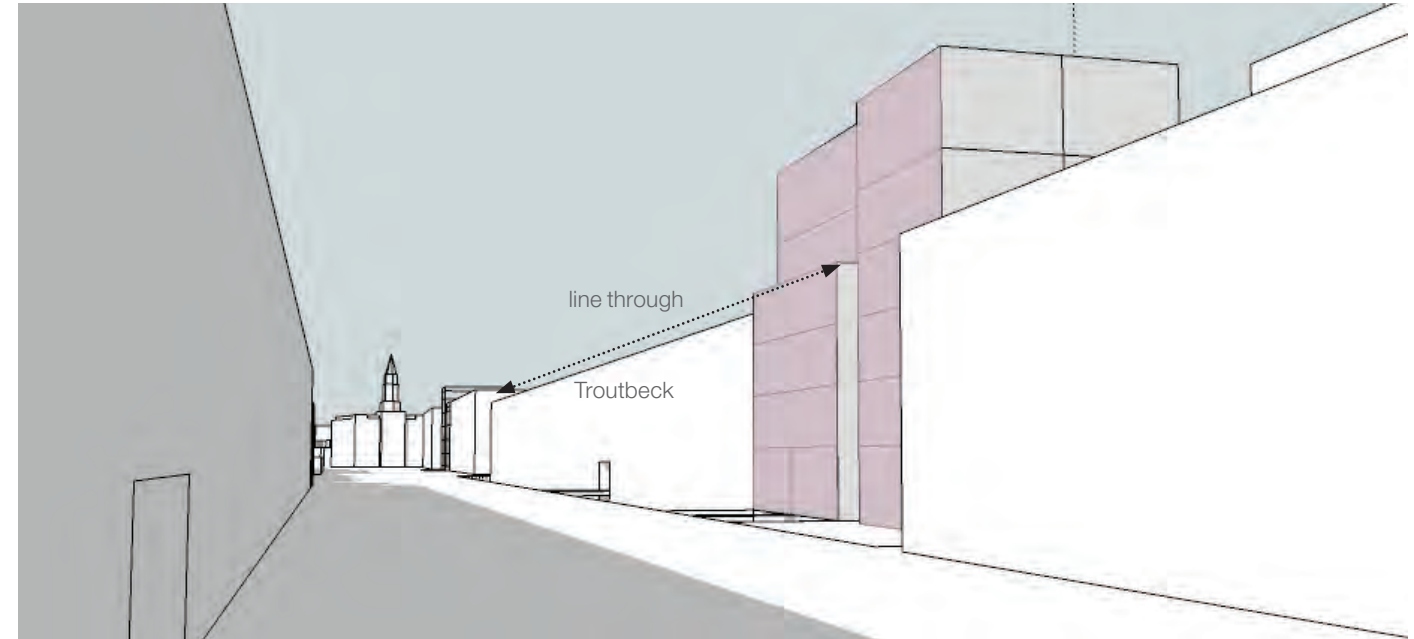
The design of the new block at the Cape of Good Hope site references this layering.

As with the Victory Pub, this site is subject to traffic noise which will require mitigation for the benefit of occupants.

The proposals have therefore been developed to include inset balconies to the Albany Street facade which will be lined with solid screens. For balcony screen proposals please refer to the Materials section for each site.



Colosseum Terrace: its elevations have a distinct hierarchy and are decorated with stucco, brick and stone details and metal filigree.



Axonometric showing the proposals along Albany Street. The parapet of the adjoining element of the new building lines through with the existing Troutbeck block. The corner is more in line with the central part of Colosseum Terrace. A noise assessment demonstrated that the elevations shaded pink will require mitigation from traffic noise.

screening for acoustic purposes



Colosseum Terrace: the centre piece of the historic terrace is signified by a 3 bay window composition which resembles a triptych, framing the gateway to the mews beyond



Cape of Good Hope: Albany Street facade. A study of proportions and hierarchy, drawing on Colosseum Terrace to create a modern building that responds to and is respectful of its historic context



The ground floor is emphasised through a continuous soldier stack bond detail to create a distinct plinth and generous window openings to generate a vertical hierarchy. The Albany Street elevation is arranged with a primary and secondary facade. The primary elevation has punched openings to provide inset balconies. The windows to these recessed balconies reference the central 3 bay windows on Colosseum terrace opposite. A two storey set back adjacent to Troutbeck, as well as wrapping recessed balconies as the building turns into Little Albany Street to create a dynamic corner, provide further modelling and interest to the Albany Street façades.

The secondary facade lines through with the main block entrance and is expressed in a paler white brick which is reminiscent of the Stucco and stonework on the historic terrace opposite.

Semi-perforate and embossed patterned metal screens are proposed for balconies on Albany Street, drawing reference from the metal filigree of the historic terraces opposite. The south and east elevations will have punched metal in a pattern to match the embossing on the west elevation. A noise assessment demonstrated that the elevations will require mitigation from traffic noise, and these metalwork details also act to mitigate this environmental constraint.



Proposed Little Albany Street elevation



View of the Cape of Good Hope site looking North (Colosseum Terrace is in the Foreground)

AREA 3: ALBANY STREET | CAPE OF GOOD HOPE

Elevations are laid out in a simple symmetrical order which references the historic terraced properties opposite. They will be enriched with full brick deep reveals to windows, brick cills and metal details including punched metal screens and embossed panels. These will provide screening to the balconies whilst providing sufficient protection from the urban environment beyond.

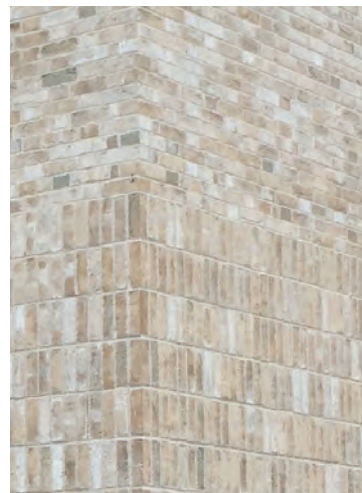
A restrained material palette responds to and balances the mixed palette of the estate and surroundings is proposed. We propose a pale multi brick which is delicately toned to compliment the multi-coloured palette of the buildings in the area together with a white engobe or similar to match the stone and Stucco on the building opposite.



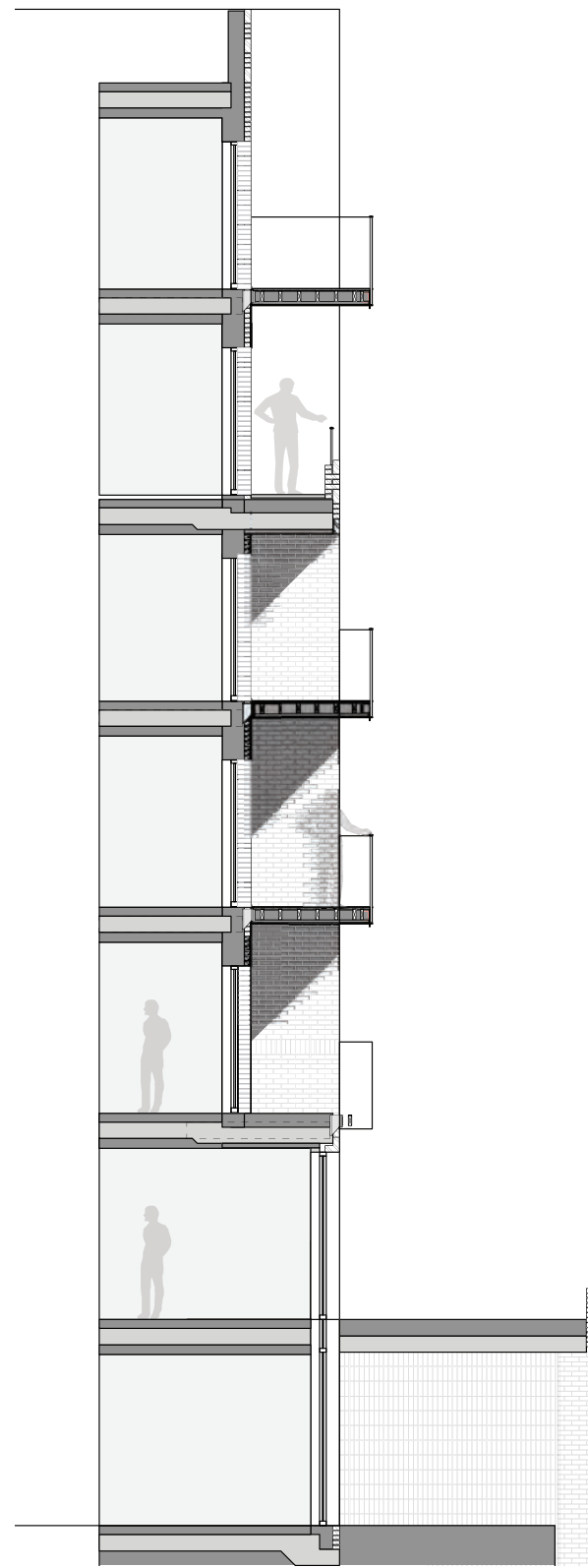
1 Stucco to mark the base of the building, metalwork and stone details on Colosseum Terrace



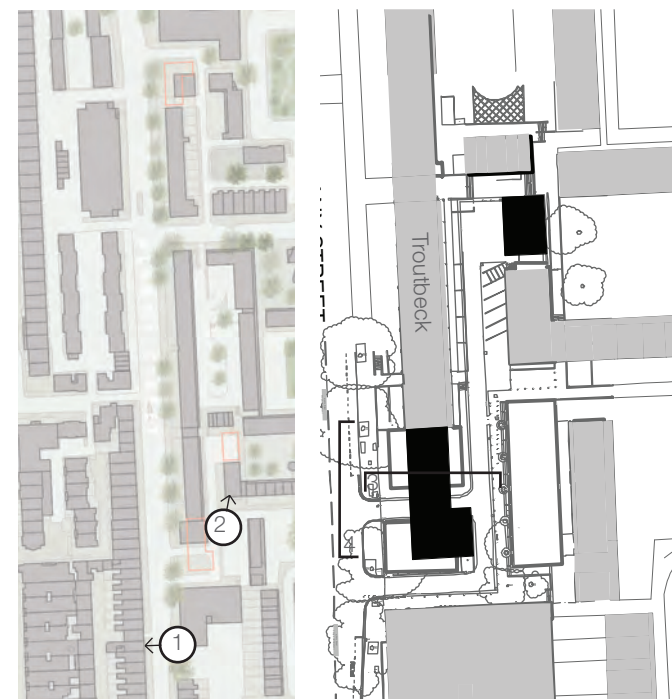
2 herringbone pattern as a frieze on St Bede's Mews



Precedent image: TBS Mystique laid in soldier stack bond at base level: Frampton Park Church by Matthew Lloyd Architects

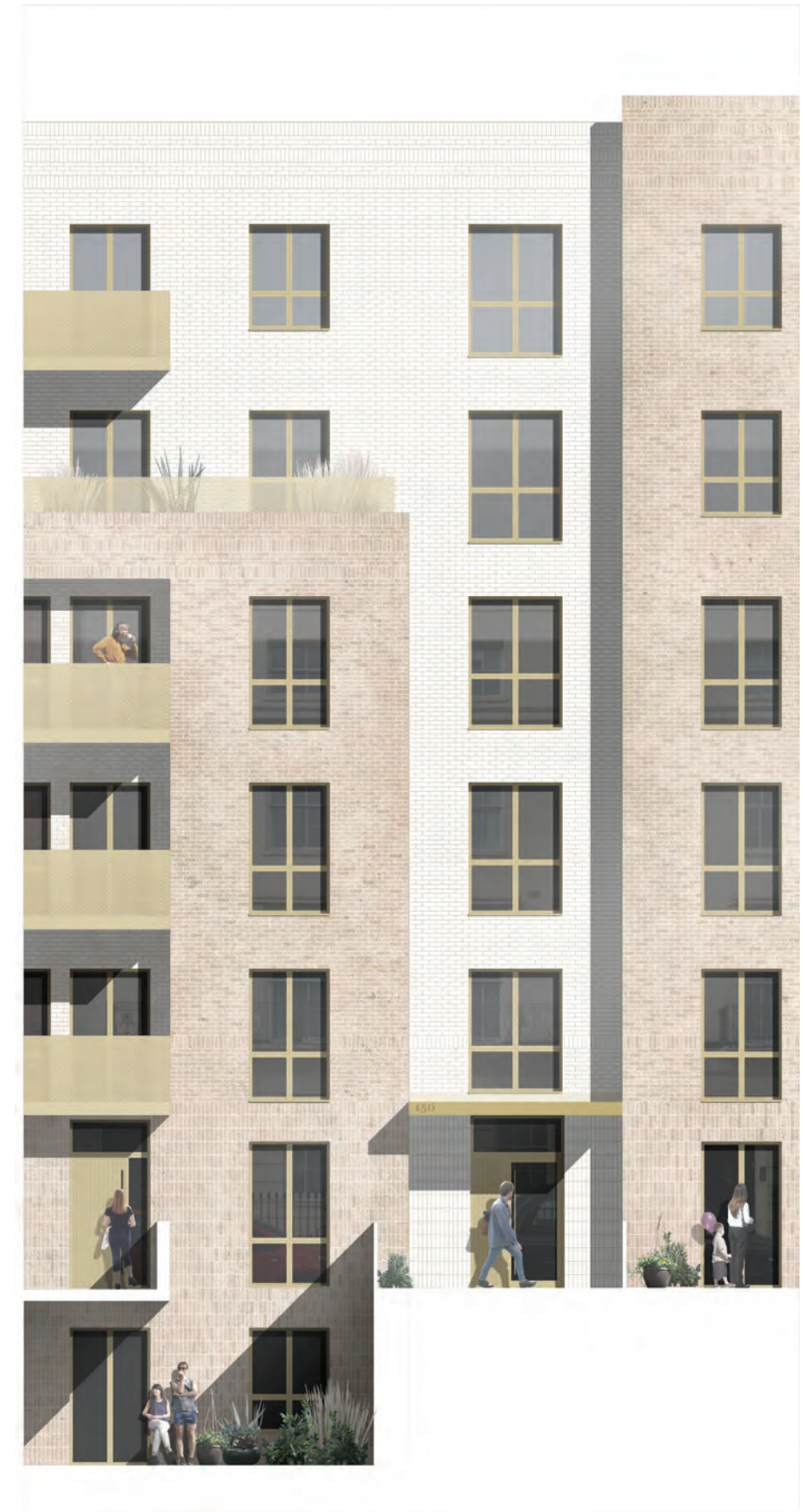


3 Section through front elevation (not to scale)



Estate plan

key plan



4 Detailed elevation facing Albany Street (not to scale).

The intention is to develop a delicate, neutral and subtle material palette that responds and balances the mixed palette of the estate, with gold coloured metal work adding a dramatic richness.

The character of the elevations will be enhanced with metal details and punched and embossed screens to balconies.

Brickwork

At the Cape of Good Hope Site, we would propose a light but muted palette of pale buff tones with a soft and textured face and large variation of white, cream and buff in each brick and between each brick. The secondary facade (staircore, recessed balconies) on Albany Street will be an off white, matt brick.

Balustrading

Balcony screening to be bespoke, flat steel frame with embossed and perforated metal panel with free opening area as per Acoustic report. All elements to be Polyester Powder Coated (PPC) as per schedule to the right.



Proposed Material Palette for the Cape of Good Hope



Cape of Good Hope Specification Key

- 1. External Walls:**
 - Pale buff clay brickwork (refer to description to left) with natural-White mortar, flush pointing.
 - Pre-cast brick sills, with metal drip detail
 - Pre-fabricated Full brick lintels
 - Brick on edge coping. For full parapet details including coursing and bond, refer to planning drawings.
 - Bespoke PPC (RAL 8000) (a) metalwork MVHR extract grilles to each unit, as shown on elevations.
 - 215mm deep brick reveal to all windows reveals
 - Aluminium clad canopy to match windows below.
- 2. Balconies**
 - Horizontal balustrade flat bar at top of balustrade. Balustrade screen to be (2a) embossed pattern to Albany Street elevations and punched pattern to match on other elevations (2b) as described to the left. PPC Pearl Gold (RAL1036) (b)
- 3. Windows & Doors:**
 - Front external doors to individual properties and common parts: Iroko timber composite door to PAS24.
 - Composite timber & aluminium windows, PPC Green Brown (RAL 8000) finish generally (a), max frame size 54mm
 - PPC RAL 8000 Terrace Doors
- 4. Roofs & Amenity Spaces:**
 - Green/brown roof
 - Roof access hatch

Landscape approach

The mix of reclaimed and standard paving materials to the estate environs of the former Cape of Good Hope Pub create a rich varied texture specific to this part of the estate. This palette of materials [reclaimed granite paving and kerbs, granite cobble drainage channels and estate road of cast in-situ concrete] is proposed for the new hard landscape to tie the new block into the existing estate fabric.

The landscape proposals are a mix of sunken basement gardens and linear planting edges to the perimeter of the new housing block to provide privacy and deter illegal parking on the access roadway.

Climbing plants bring visual delight and a splash of seasonal colour to the corner of the building.

Vehicular access to St Bede's Mews is maintained with an extended turning head provided for service vehicles. The ground around the new block is an extended shared surface for with pedestrian priority in the extents of granite sett paving.

Access to a key east-west visual and physical link from Albany Street through the existing Swallofield block is improved by providing a new ramp. Reclaimed granite kerbs are set within concrete to define this entrance into the estate.



Existing paving textures to continue around new building



Climbers to south facing wall



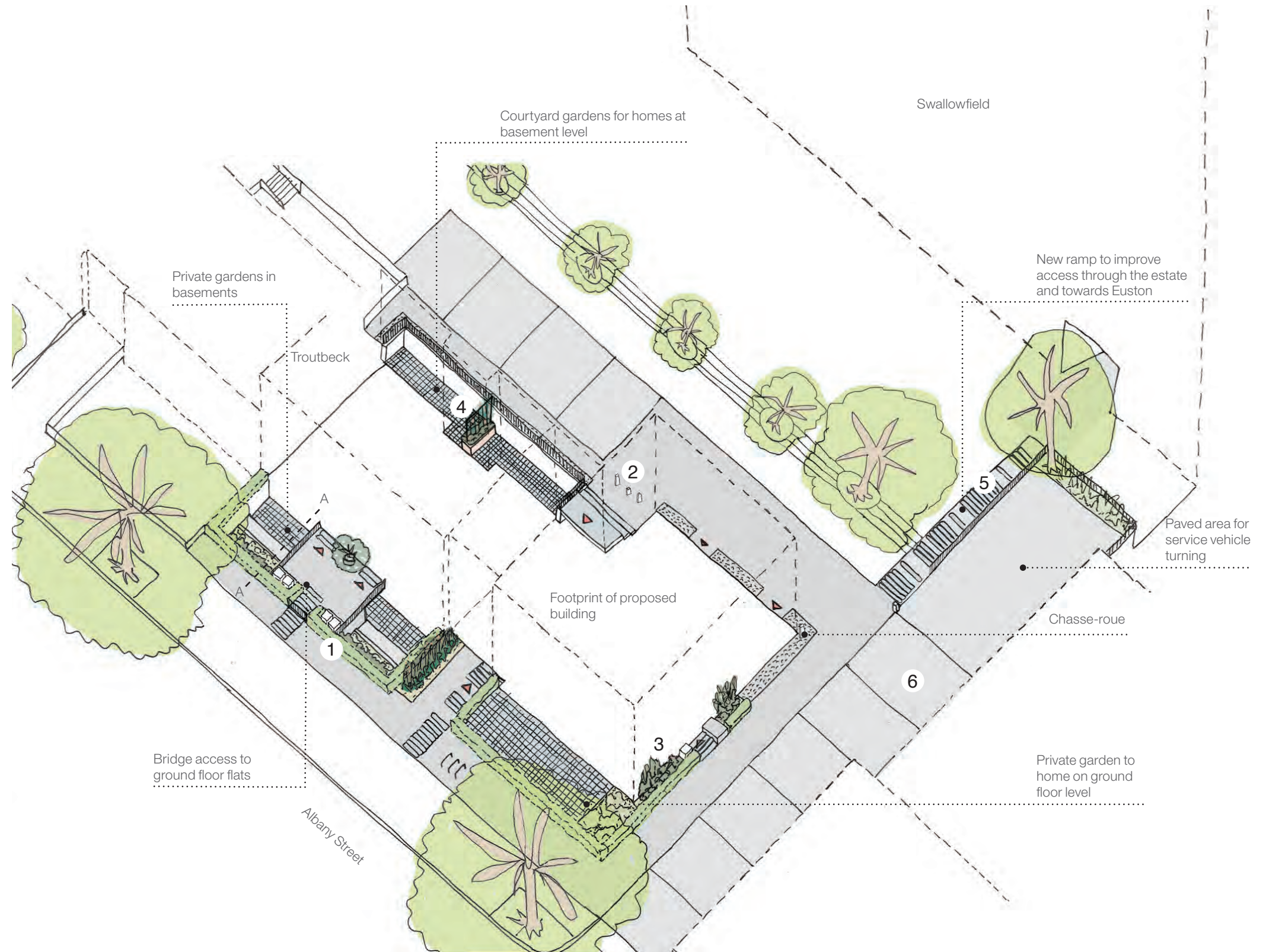
Landscape and public realm plan



At this site the landscape needs to fulfil two key roles – providing a ramped pedestrian link to Swallowfield from the West, while maintaining the estate road access to St Bede’s Hall as well as providing private amenity spaces.

Large extents of reclaimed granite cobbles from the existing car park are proposed to be reused to a new extent around the new block and vehicle turning head, providing a lively textured surface.

The amenity spaces are sunken at the northern end to the building, and a stepped section helps to provide planting beds as well as good lighting levels in the flats.



Planting and materials

Reclaimed granite cobbles and Staffordshire blue clay pavers are used in the private spaces. In addition to a privet hedge providing privacy a variety of planting, including climbers such as chocolate vines and passionflowers and shrubs such as witch hazel and magnolias are proposed to increase biodiversity.



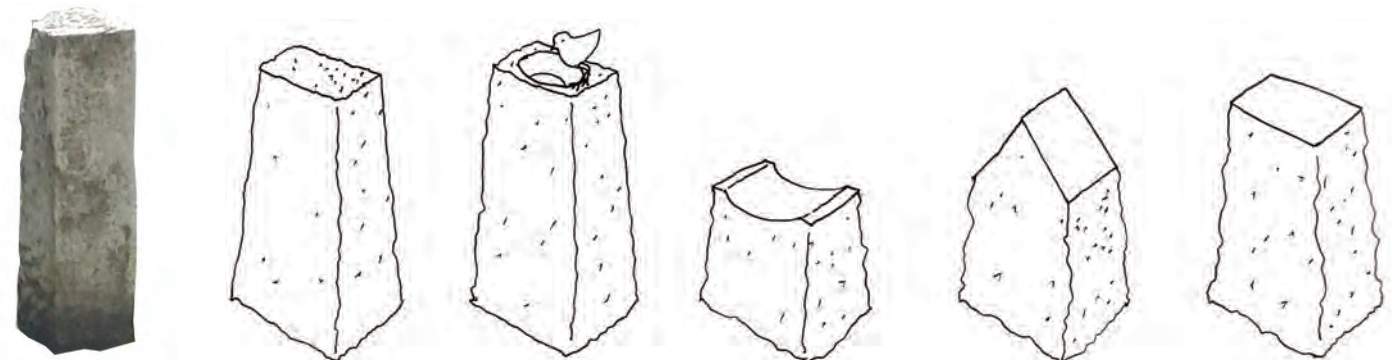
3. Climbers: 'Akebia quinata'



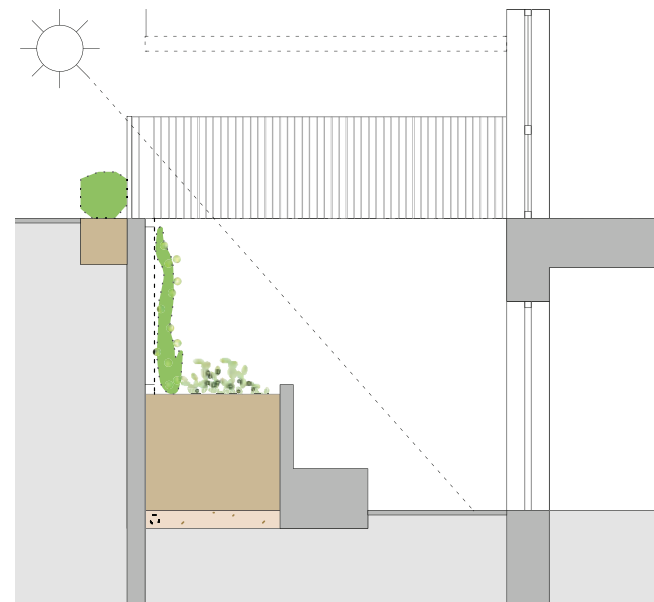
1. Hedges



4. Climbers: 'Parthenocissus quinquefolia'



2. Family of stones, chasse-roue and seat (reused granite bollards)



Section AA on basement private gardens



5. Existing granite cobbles



6. In situ aggregate concrete

Waste provision

Refuse & Recycling Stores are located on the ground floor, within 10m of refuse vehicle collection points and 30m of residential flats.

The total capacity of the bins located within the stores have been calculated to comply with LB Camden's Planning guidance. The requirements for Code for Sustainable Homes have also been achieved and/or exceeded using the above calculation.

The proposed general and recycling provision per site is proposed as per the table below.

Cape of Good Hope					
Unit Type	No. of Units	o/a Camden requirement		Total	
		waste (litres)	bikes (min)	Waste (Litres)	bikes (min)
1 Bed	5	200	1	1000	5
2 Bed	2	250	1	500	2
3 Bed	8	350	2	2800	16
4 Bed	0	400	2	0	0
Totals	15			4300	23
Total No of 1280L General Waste bins required				2.4	
Total No of 1280L Recycling Waste bins required				1.0	
Plus 2No. 2Bed G. Floor Duplex Unit = 1no. 240L Gen Waste & rec store each					

Secured by Design

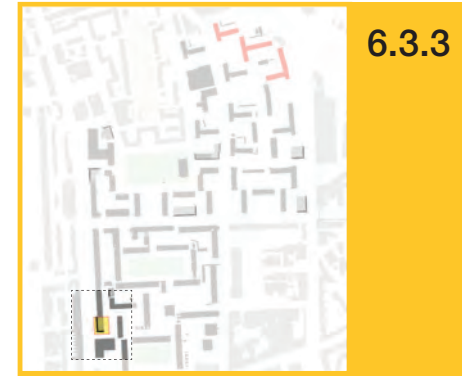
Following advice from Camden's Architectural Liaison Officer, the following has been incorporated into the proposals:

- defined perimeter, clear visual links to assist surveillance.
- Access control to block.
- through-the-wall post and externally accessed meters.
- Further attention will be required to specifying ground floor windows and doors, particularly basement windows.

London Housing Design Guide

All the new homes are designed to meet LHDG standards. These are some of the key standards relevant to this project:

- All internal areas meet LHDG standards.
- Homes with 3 or more bedrooms have either two living spaces or the ability to divide living rooms.
- Natural Light is provided to the core via windows at upper levels.
- An 8 person fire fighting lift is provided for upper levels.
- Cycle storage is communal and accessible at ground floor.
- There is a communal bin store.
- There is a post lobby within the flat entrance.



Wheelchair Accessible Plans

The standards set out within Camden Wheelchair Housing Design Brief 2013 have been incorporated into the proposed layouts. See diagram 1 opposite, which indicates the main access zones and corridors widths.

Wheelchair housing has been provided across the replacement homes to meet the assessed housing need of the red blocks. A number of units have also been identified that have the flexibility to be converted to a wheelchair home. If housing need changes in order to deliver 10% of the units as wheelchair homes. Should a wheelchair unit be required in this block, the first floor 3B/5P unit can be converted to provide this.

Compliance has been achieved in circulation zones and general access criteria. Following a meeting with the Access Officers at Camden, an order of priority was agreed to achieving accessible layouts within the restrictions imposed by site footprints & surrounding context.

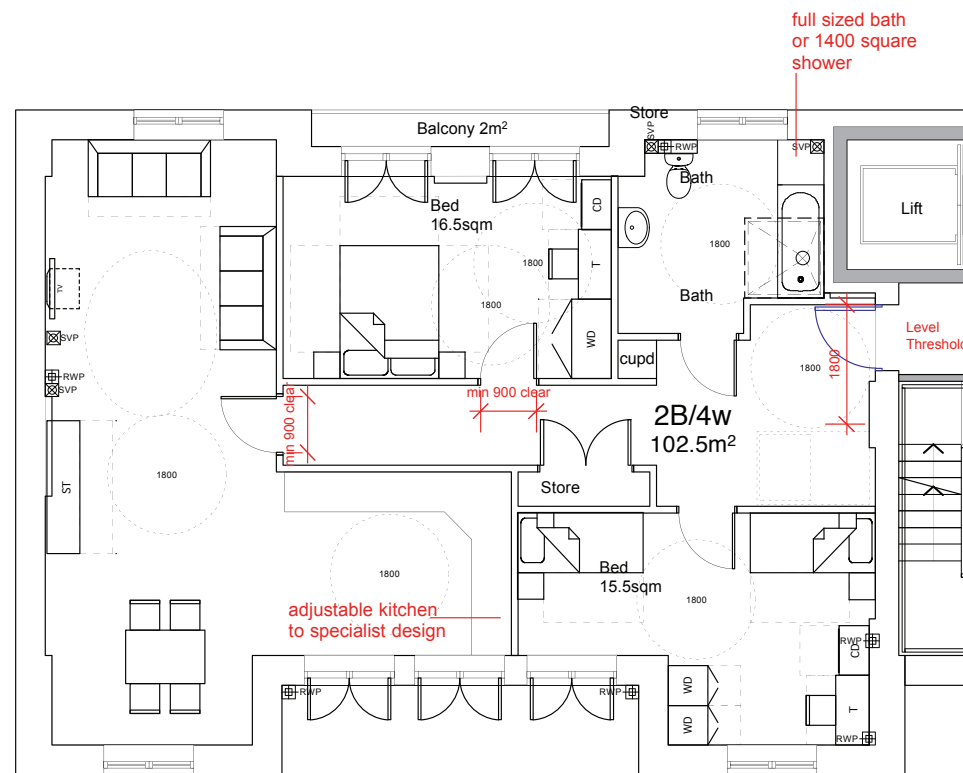
Officers also agreed that, lift access to upper floor units would be acceptable given this site cannot deliver suitable ground level residential accommodation.

Lifetime Homes

All flats have been designed to meet the 16 No. Lifetime Homes (LTH) design criteria.

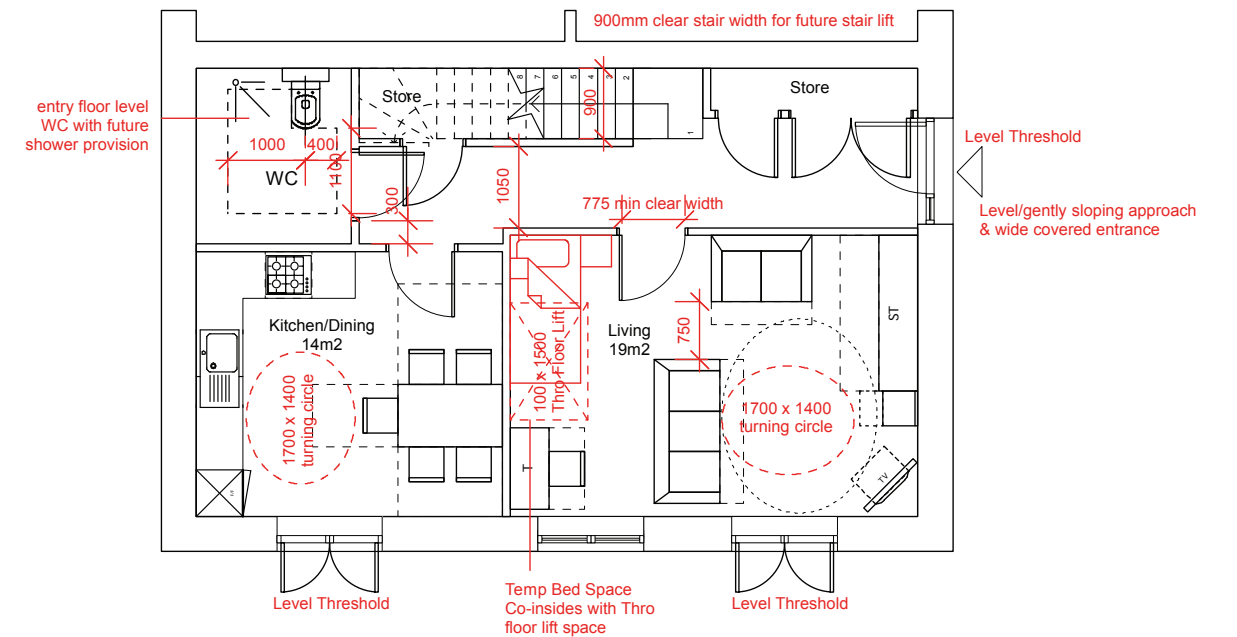
Diagram 2 opposite indicates a typical 2 Bed flat internal layout. This demonstrates main LTH access zones and corridor widths.

Level access is included from the street and lift (1100 x 1400mm) access is provided to all floors. Common circulation space includes 1500 turning circles to lift lobbies and 1200mm wide hallways, common stairs are also to LTH standards.

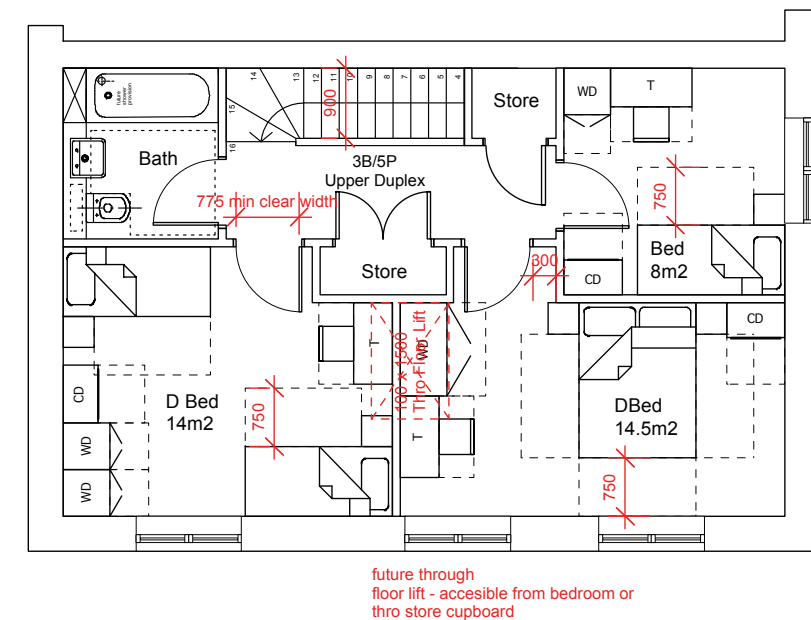


Cape of Good Hope: 2B/4P Wheelchair unit

Diagram 1: Wheelchair unit converted from 3 bed flat

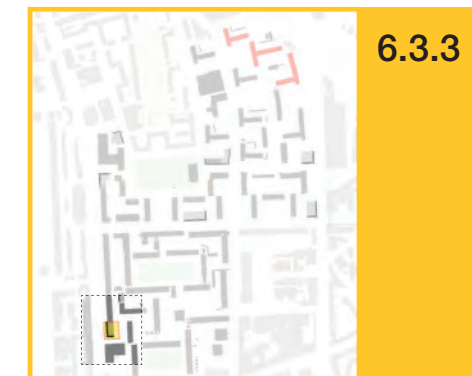


Cape of Good Hope 3B/5P Lower Ground Floor Duplex 104sqm



Cape of Good Hope 3B/5P Upper First Floor Duplex

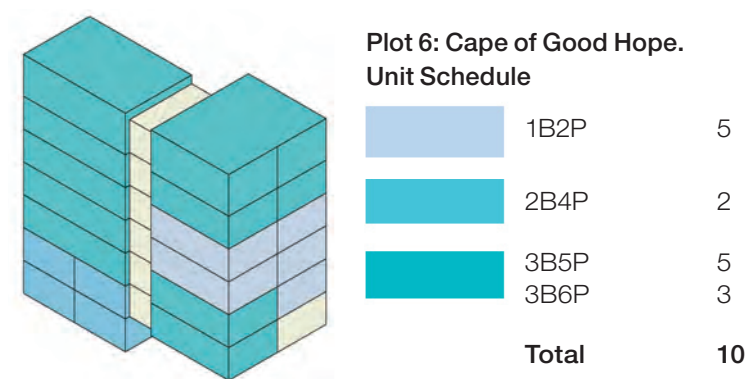
Diagram 2: example unit lifetime homes criteria: 3B / 5P

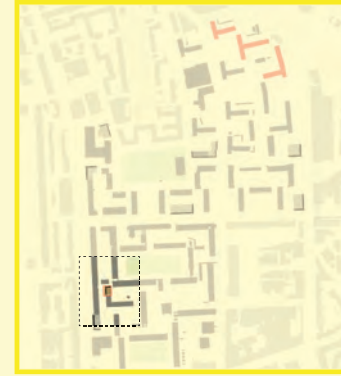


Cape of Good Hope site proposed areas and relevant data.

DWELLING REFERENCE	LHDG AREA	TOTAL RESIDENTIAL NIA-Flat	DWELLING TYPE	HABITABLE ROOMS
Plot-Level-Unit	sq.m	sq.m	xBxP	
BASEMENT				
S6-00-01	83	106	2B4P Duplex	3
S6-00-02	83	102	2B4P Duplex	3
GROUND FLOOR				
S6-00-01			2B4P Duplex	
S6-00-02			2B4P Duplex	
S6-00-03	102	105	3B5P Duplex	5
FIRST FLOOR				
S6-01-01	95	103	3B6P	5
S6-01-02	50	53	1B2P	2
SECOND FLOOR				
S6-02-01	95	103	3B6P	5
S6-02-02	50	53	1B2P	2
S6-02-03	50	51	1B2P	2
THIRD FLOOR				
S6-03-01	95	103	3B6P	5
S6-03-02	50	53	1B2P	2
S6-03-03	50	51	1B2P	2
FOURTH FLOOR				
S6-04-01	86	92	3B5P	5
S6-04-02	83	104	3B5P Duplex	5
S6-04-03	83	101	3B5P Duplex	5
FIFTH FLOOR				
S5-05-01	86	92	3B5P	5
S6-04-02			3B5P Duplex	
S6-04-03			3B5P Duplex	

UNIT SUMMARY	
1B2P WCH	
2B3P WCH	
2B4P WCH	
1B2P	5
2B3P	
2B4P	2
3B5P	5
3B6P	3
4B6P	
4B7P	
Total	15





6.3.4

ST BEDE'S MEWS PLOT

6.3.4

AREA 3: ALBANY STREET | ST BEDE'S MEWS

6.3.4 St Bede's Mews

Immediate context

As discussed previously, St Bede's Mission (grade II) once occupied a key position, on the corner of William Street and Little Albany Street. The building now sticks out as an oddity amid estate service routes and parking to the west and north.

Routes in this hinterland between Albany Street and Clarence Gardens are fractured with gateways and framed views between buildings opening onto service areas or parking.

The Troutbeck block has continuous decks facing St Bede's site furthering the isolation of the existing listed building from any legible street context.

Modern façades at Clarence gardens, Tilehurst block and Munster Square follow a similar design with brick horizontal terraced elevations broken down with vertically proportioned curtain walling and decorated with coloured spandrel panels to lower panes.

St Bede's is a Victorian Gothic red brick building with stone string courses dividing the elevation into horizontal bands and brickwork details creating a clear hierarchy: herringbone frieze to anchor central windows and dentils at eaves level.

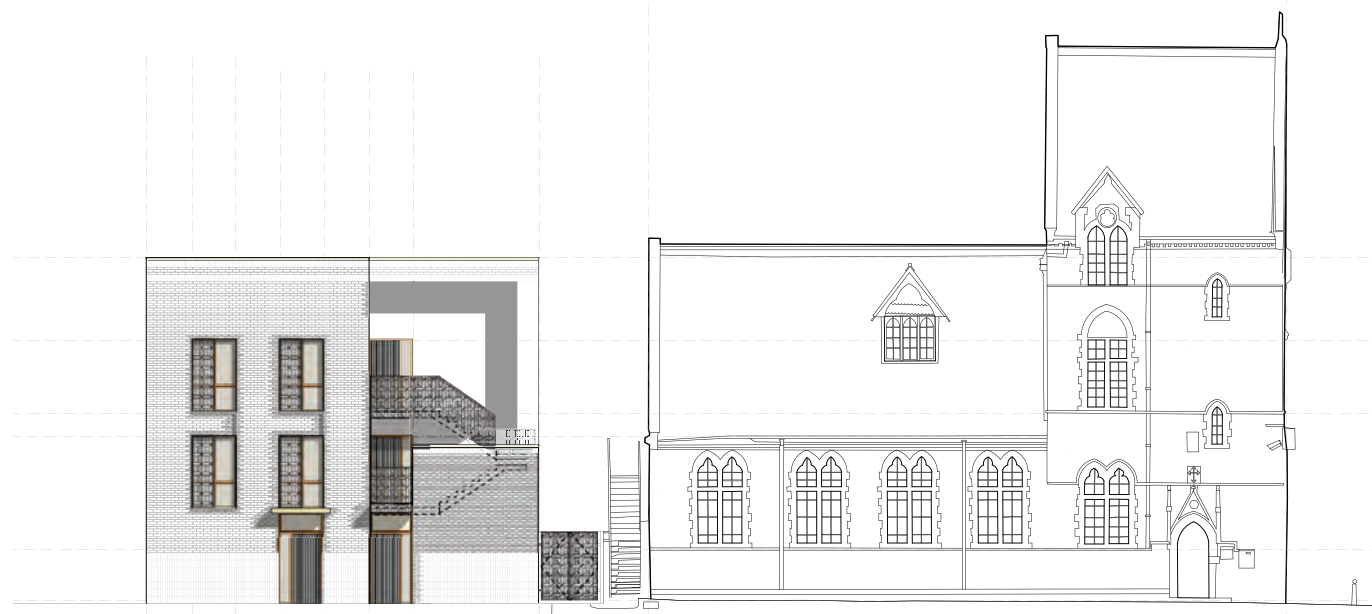
The newer buildings at Clarence gardens, Tilehurst, Munster Square have clear and open stair cores which break down the terrace into a series of smaller elements, creating a more human scale.



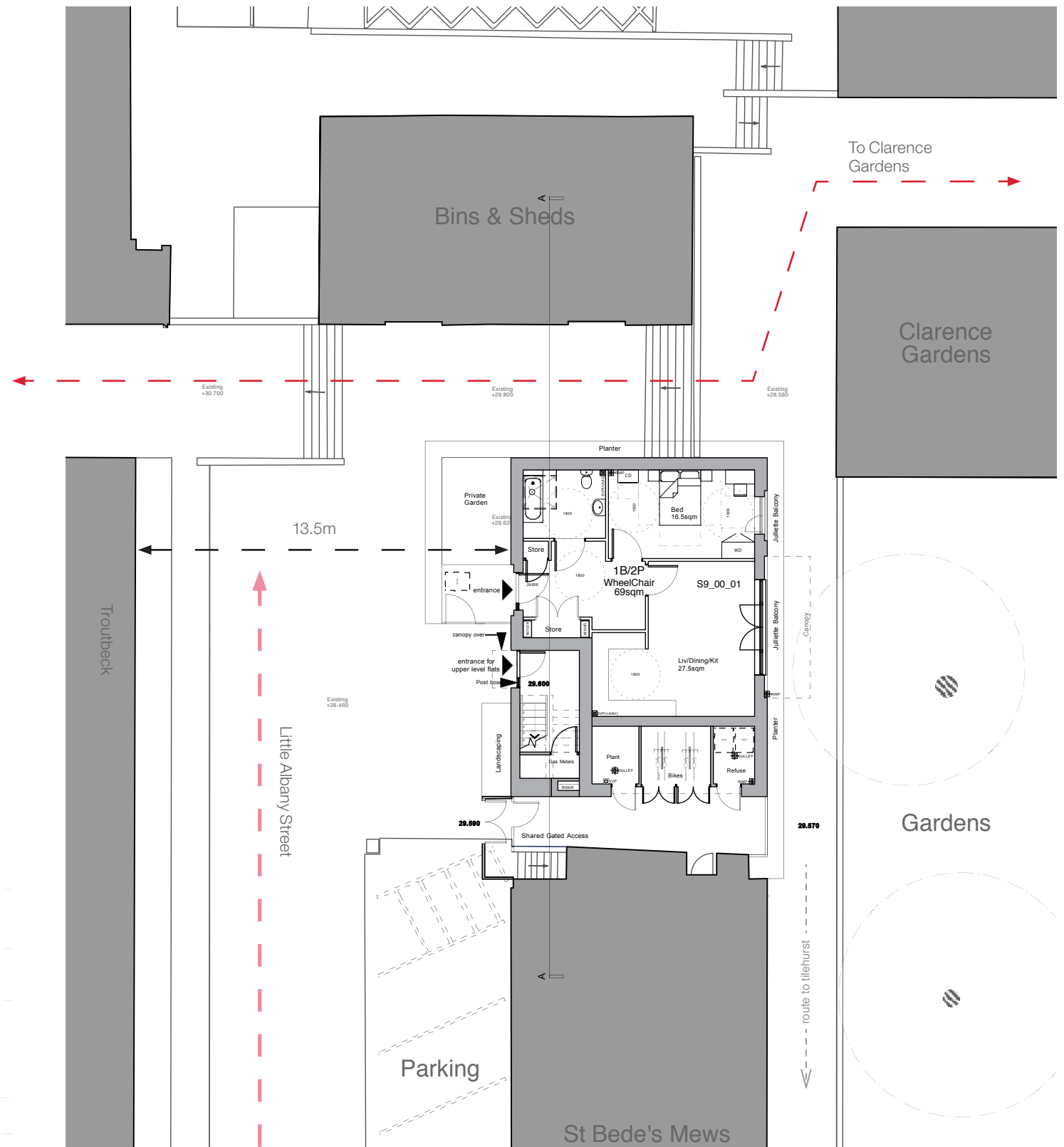
1 St Bede's Hall overlooking waste store building and gardens at Tilehurst. **2** St Bede's Hall from Cape of Good Hope. **3** St Bede's Hall from back route to Tilehurst. **4** St Bede's Hall brickwork detailing and stonework. **4** St Bede's Hall herringbone brickwork pattern. **4** Stonework around doorway to St Bede's Hall. **5** Tilehurst has clear and open stair cores which break down the terrace and mark the entry point. **6** Clarence Gardens brick horizontal terraced elevations with coloured spandrel panels at lower pane.

The proposal is for a fully residential block with 1 flat per floor over three floors. The ground floor contains a 1 bed wheelchair home with its own front door and small garden directly onto the mews.

St Bede's Mews is rectilinear in plan with the main residential entrance from Little Albany Street, off an external courtyard with an open, but covered staircase. This breaks down the mass of the building at its corner, creating a mirror of the eaves line with St Bede's Hall. The external circulation also creates a dynamism to this corner of the building and reflects the deck access along Troutbeck opposite.



Study into the proportions and alignment of the new St Bede's Mews and St Bede's Hall



Site plan

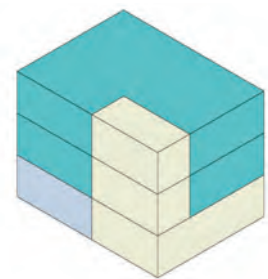
AREA 3: ALBANY STREET | ST BEDE'S MEWS

Floor Plans

The layout for the block is a simple rectilinear shape with 3 flats, each on its own floor.

1st and second floor flats are accessed from an external, covered staircase. The ground floor flat is a 1 B/2p wheelchair unit with access directly off Little Albany Street.

(Note plans are not to scale: refer to planning drawings).



Plot 9: St Bede's Mews Unit Schedule

	1B2P	1
	3B4P	2
Total		3



The ground floor is detailed with a continuous soldier stack bond detail which lines through with the string course on the adjacent St Bede's Hall. Window openings are deep and set within a recessed vertical panel with infill brickwork laid in a soldier stack bond. The vertical emphasis of the fenestration breaks down the terrace into a series of smaller elements, and continues the rhythm of the paired windows on the adjacent hall.

Brickwork patterning at the parapet terminates the building and follows the alignment of a brickwork dentil frieze at eaves level on the 3 storey element of St Bede's Hall and the timber fascia on Clarence gardens buildings.



St Bede's Mews, as viewed from the south, looking north.
St Bede's Hall is in the foreground



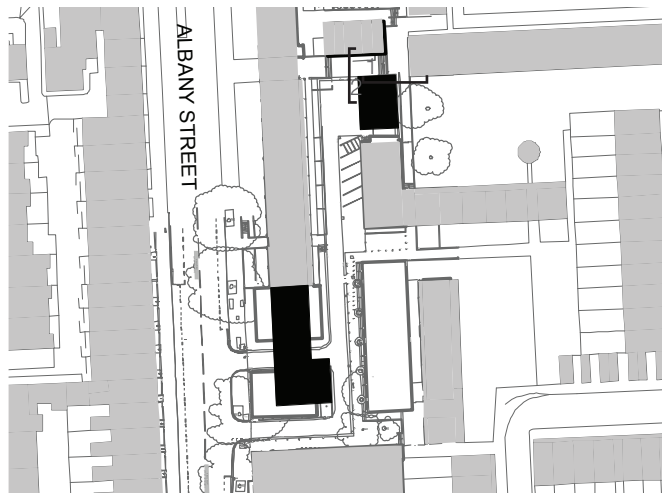
St Bede's Mews, as viewed from the first floor deck at Troutbeck, looking south

Elevations are laid out in a simple symmetrical order which follows the rhythm of St Bede's Hall. They will be enriched with full brick deep reveals, brick cills and metal details including punched metal screens that provide screening to balconies, windows, stair containment and the gate between the two buildings.

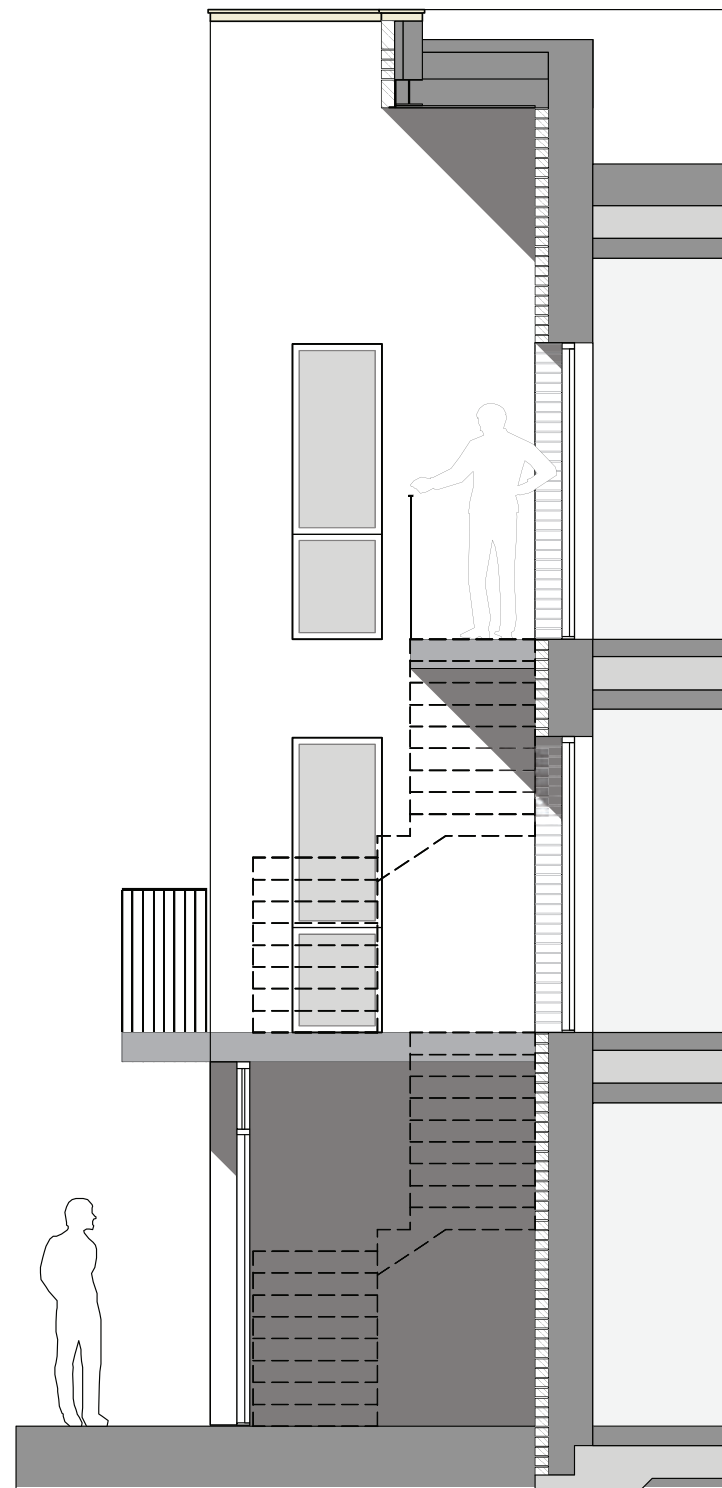
The material palette will respond to and balance the mixed colours of the immediate context. A red / brown waterstruck brick will tone with St Bede's Hall and compliment the colder pink brickwork on Tilehurst and Troutbeck.



Red brick and patterning used on St Bede's Hall



Key plan



Section through staircase and west elevation (not to scale)



Part elevation through flat entrances on Little Albany Street

At St Bede's Mews, we propose a rich palette to tie together the red brick of St Bede's Hall and the cooler pink bricks on Troutbeck and Clarence Gardens.

Brickwork

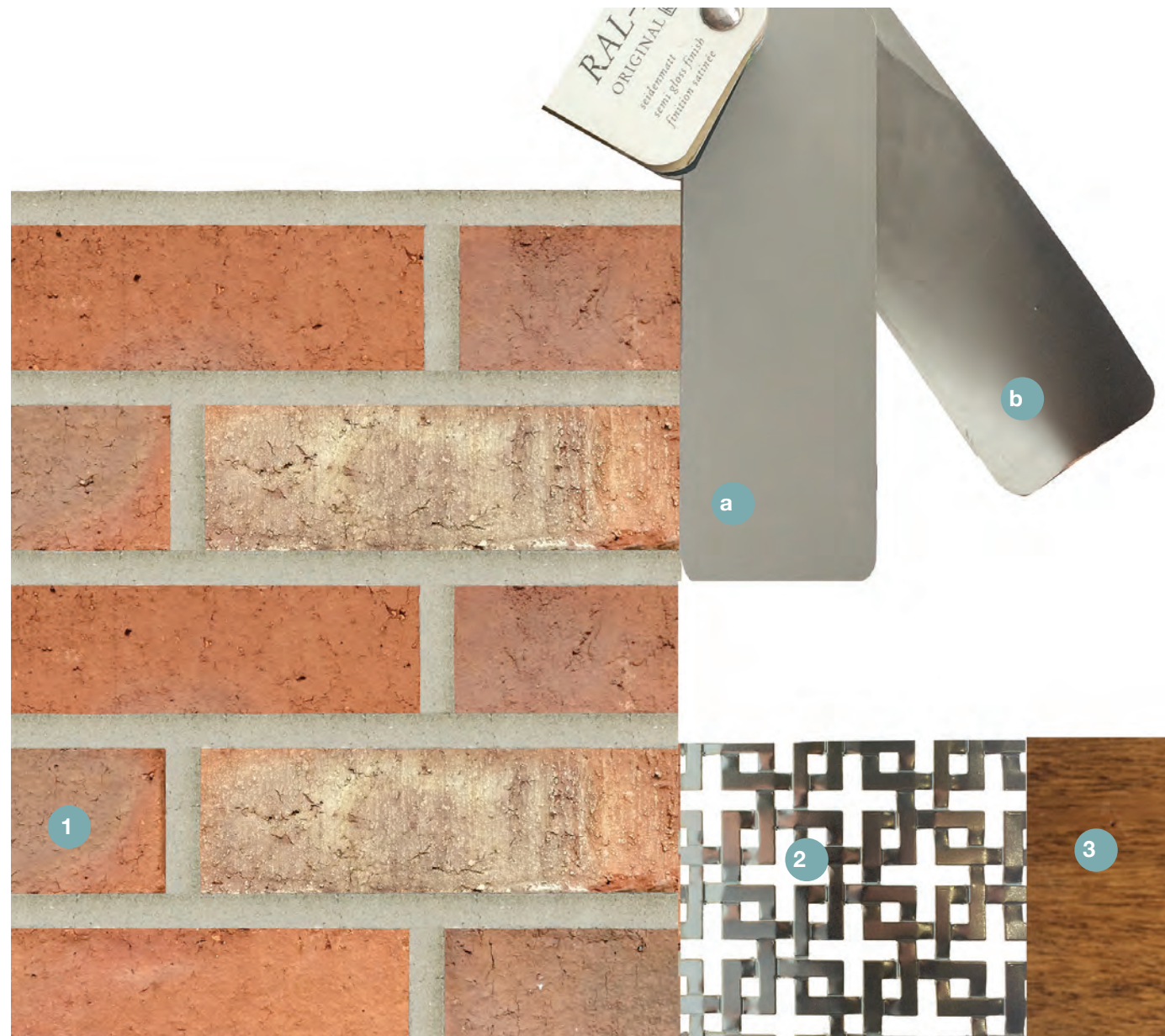
At St Bede's Mews, we propose a rich waterstruck clay brick with bown, pink and terracotta tones. There will be a variety of tone in each brick and between each brick.

Balustrades

Balcony screening to be bespoke, flat steel frame with woven metal panel. All elements to be Polyester Powder Coated (PPC) as per schedule to the right.

Gates

To the ground floor flat and between St Bede's Hall and the new block are to use a woven metal in pattern to match the balconies and screening all within a steel frame, all elements to be Polyester Powder Coated (PPC) as per schedule to the right.



Proposed Material Palette for St Bede's Mews



St Bede's Mews Specification Key

- 1. External Walls:**
 - Waterstruck clay brickwork (refer to description to left) with natural-White mortar, flush pointing.
 - Pre-cast brick sills, with metal drip detail
 - Pre-fabricated Full brick lintels
 - Brick on edge coping. For full parapet details including coursing and bond, refer to planning drawings
 - Bespoke PPC RAL 7030 (Stone Grey) (a) metalwork MVHR extract grilles to each unit, as shown on elevations
 - 215mm deep brick reveal to all windows reveals
 - Aluminium clad canopy to match windows below
- 2. Balconies**
 - Horizontal balustrade flat bar at top of balustrade. Balustrade screen, staircase containment, privacy screens and screening to windows to be (2) woven metal pattern as described to the left. PPC RAL 7048 (Pearl Mouse grey) (b)
- 3. Windows & Doors:**
 - Front external doors to individual properties and common parts: Iroko timber composite door to PAS24.
 - Composite timber & aluminium windows, PPC RAL 7030 (Stone Grey) (a) max frame size 54mm
 - PPC RAL 7030 Terrace Doors
- 4. Roofs & Amenity Spaces:**
 - Green/brown roof
 - Roof access hatch