

Compliance Plans

Secure By Design

A meeting was held with the SBD officer,

- He recommended that post should be as through-wall postboxes, and this has been included.
- He also recommended that the maisonettes should have a 1.8m height fence to the rear. We commented that this would replicate the condition at the rear of the existing maisonettes which has a very detrimental effect on the green space.
- He also commented that the communal entrance could be brought to the front of the building, however upon reviewing this we felt that this would reduce the activation of the route through to the garden, which is a central to the design of this block.

Building Regulations

A meeting was held with Camden Building Control,

- Fire escape route would be via the core, and that this would have an AOV at each level, plus mechanical extract to the roof.
- The stair is divided from the lift lobby via a fire rated glazed door, and has a dry riser.
- The maisonettes will have fire doors and smoke alarms, plus part B compliant escape windows at first floor.

London Housing Design Guide

The scheme complies with the London Housing Design Guide. The following methods of compliance are noted in particular:

- Natural light is provided to the core via windows at upper levels (3.2.3)
- A single, 8 person lift is provided to serve the apartments on the upper floors (3.2.6)
- Cycle storage to LHDG standards is provided communally at ground floor (3.4)
- There is a communal bin store at ground floor, and a post lobby within the entrance area (3.5)
- Homes are designed to LHDG area standards (4.0)
- Homes have either two living spaces or a dividable arrangement (4.4.3)

Lifetime Homes

The proposal complies with Lifetime Homes, certain areas of the design have been discussed with Michelle Horn at LBC, and these are described below.

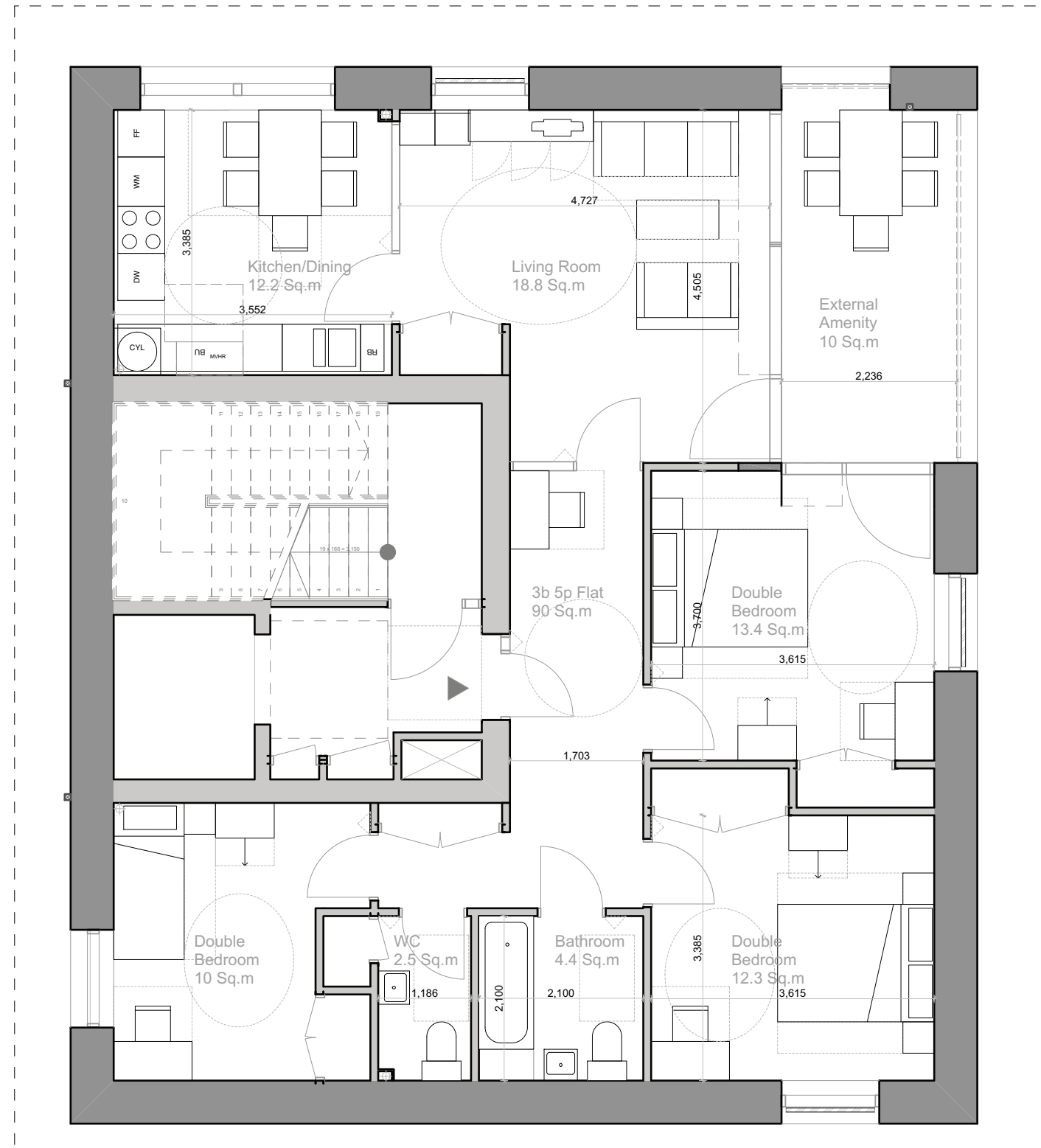
- All homes have level access entrances.
- Due to the change level in the site, the maisonette on the ground floor of the 6 storey block, will require a step in level internally in order to mediate this level change, this has been reviewed with Michelle Horn the access officer.

Varndell Street Corner					
Unit Type	No. of Units	o/a Camden requirement		Total	
		waste	bikes (min)	Waste	bikes (min)
1 Bed	0	200	2	0	0
2 Bed	1	250	2	250	2
3 Bed	5	350	2	1750	10
4 Bed	1	400	2	400	2
5 Bed	1	450	2	450	2
Totals	8			2400	16
Total No of 1280L General Waste bins required				1.3	
Total No of 1280L Recycling Waste bins required				0.6	





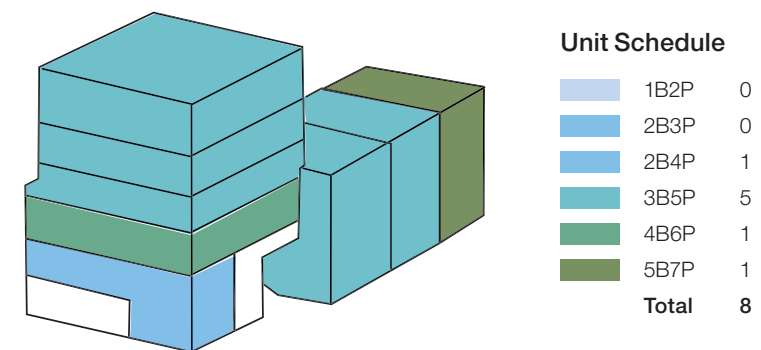
All flats in this block have been designed to Lifetime Homes standard, and the floor plan on the right demonstrates how a typical flat will meet this standard.



Typical Lifetime Homes standard 3 bed flat - not to scale

DWELLING REFERENCE	LHDG AREA	TOTAL RESIDENTIAL NIA-Flat	DWELLING TYPE	HABITABLE ROOMS
Plot-Level-Unit	sq.m	sq.m	xBxP	
GROUND FLOOR				
S3-00-01	77	90	2B3P	4
S3-00-02	102	108	3B5P	5
S3-00-03	102	109	3B5P	5
S3-00-04	126	128	5B8P	8
FIRST FLOOR				
SECOND FLOOR				
S3 02 01	99	104	4B6P	6
THIRD FLOOR				
S3 03 01	86	90	3B5P	5
FOURTH FLOOR				
S3 04 01	86	90	3B5P	5
FIFTH FLOOR				
S3 05 01	86	90	3B5P	5

UNIT SUMMARY	
Studio	
1B2P	
2B3P	1
2B4P	
3B4P	
3B5P	5
3B6P	
4B6P	1
5B8P	1
TOTAL	8



6.3

AREA 3:
ALBANY STREET



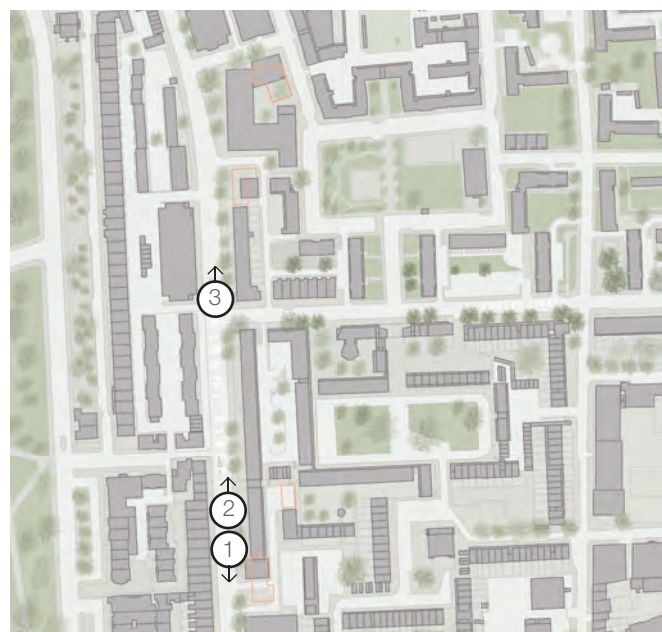
6.3 Area 3: Albany Street - Introduction

Existing Character

Albany Street runs parallel, and to the West of Hampstead Road. It is secondary in scale but links with the same arterial routes between Camden and Westminster as the busier Hampstead Road.

Albany Street, in effect, marks the Western edge of the Regents Park estate and also marks the border between the scale and modern architecture of the estate to the East and the 19th Century and Georgian terraces which encircle Regents Park to the West.

Here the two eras in housebuilding meet and the newer estate departs from its predominantly layered (end gables facing streets) and now reflects the continuous frontage to line Albany Street. This post war housing now adopts a predominantly terraced layout and is more modest in scale than the larger blocks to the East.



- 1 Terrace southwards from 83 Albany Street.
- 2 Albany Street looking North with Troutbeck to the right of the picture.
- 3 Windermere block takes on a terraced form and is 4 stories high, much more modest in scale to the 7 storey blocks along Robert Street



The 1916 map of the area below demonstrates dense urban blocks, clearly defined routes, and framed vistas towards significant buildings and opening out into public squares and gardens.



Plan of the estate 1916. Dense urban blocks with defined routes. Albany Street sites edged red.

The layout of the estate today has broken with this original layout: the building line on the East side of Albany Street has pulled back from the original historic terrace line, opening up views towards St George's Cathedral on the corner of Redhill Street. To the South of the estate, beyond the formally lined Albany Street, the estate turns away from the historic order with obfuscated routes and street patterns that frame views towards the taller of the modern blocks such as Swallowfield and The Combe. In this way the newer street layout has become introverted and connections across the estate from Regents Park to Hampstead Road are less clear or permeable.

The Albany Street development sites (plots 5, 6, 8 and 9) represent sites which, by reinforcing and enhancing the existing street patterns, will generate an opportunity to mend breaks in the key links between Albany Street and Hampstead Road.

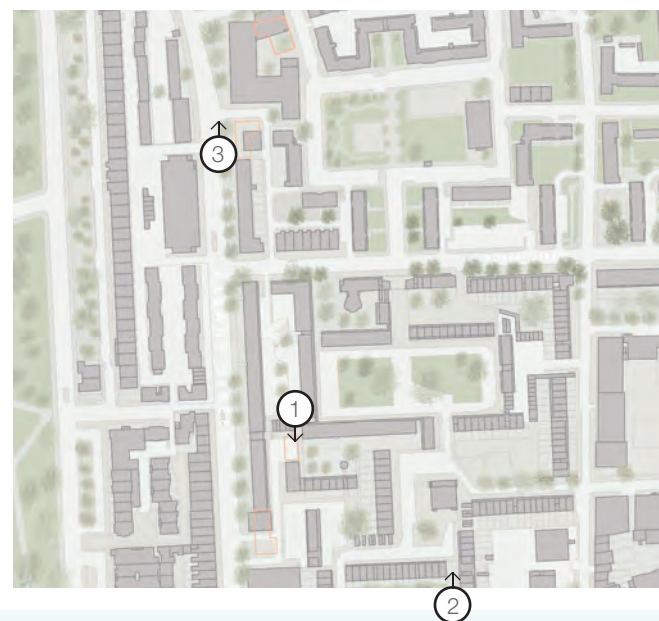


1 The stepped route from Albany Street to Clarence Gardens next to St Bede's Hall and rear access to Tilehurst. Routes are unclear and inaccessible.



2 Munster Square, vistas are terminated by The Combe.

3 Rothay. The terrace line along Albany Street is pulled back to create open views of St George's Cathedral on the corner of Redhill St.



Contextual Analysis

Albany Street is clearly defined by both modern on its East side and historic buildings on its West side.

The predominant historic building type on Albany Street is terraced houses, a typology that is broken down into a series of smaller elements and achieves a particularly human scale. In contrast the modern façades to Albany Street are flat, with repetitive window patterns. They also have ungenerous floor heights when compared to the older buildings in the area, and have a lesser sense of rhythm and hierarchy.

Additionally the modern entrances are sometimes difficult to find and unwelcoming: for instance blocks to the South of the estate provide pedestrian routes under walkways which provide informal, unclear and intimidating routes. In comparison, entrances and routes through the historic terraces are much more graciously defined, with special architectural detail through arches and openings.

Both the historic and modern façades are decorated with render, brick details, tiles or metal filigree and to some extent this is the most harmonious and most successful relationship between the two periods in this context.



1 Colosseum terrace is broken down into a series of smaller elements have a more human scale. **2** Windermere block is decorated with tiles and a string course to mark windows. **3** Rothay has flat façades, with repetitive window patterns and ungenerous floor heights. **4** Windermere block on the corner of Robert Street marks the corner with an active ground floor and articulated elevations to both streets. **5** Chester gate: Secondary routes and gateways are more successfully marked when elevations are articulated to frame routes. **6** Colosseum Terrace: historic façades are decorated with render, brick details and metal filigree. **7** Robert Street: Secondary routes and gateways are more successfully marked when elevations are articulated to frame routes. **8** Troutbeck: pedestrian routes under walkways provide informal but unclear permeability.



6.3.1

DICK COLLINS HALL PLOT

6.3.1

AREA 3: ALBANY STREET | DICK COLLINS HALL

6.3.1 Dick Collins Hall Plot

Introduction

The Dick Collins site is at the West of the estate off Albany Street. On Redhill Street, there is currently a single storey TRA hall on this site, and the proposal at Robert Street is to re-provide this facility prior to the site being redeveloped, for this reason this site is in the second phase of development.

The existing neighbouring Rothay building peels away from Albany road in order to open up views of St George's Cathedral. Rothay has punched balconies, and a light, pinkish brick.

The Regents Park Conservation Area is to the North, East and West for the site, with a historic terrace extending along much of Albany Street. The Peabody buildings to the East of the site form a strongly defined street frontage, with the building coming right up to the edge of the pavement, and opening up to create open spaces at the south entrance. A plinth of different coloured brick is used at ground level.



Aerial Site view

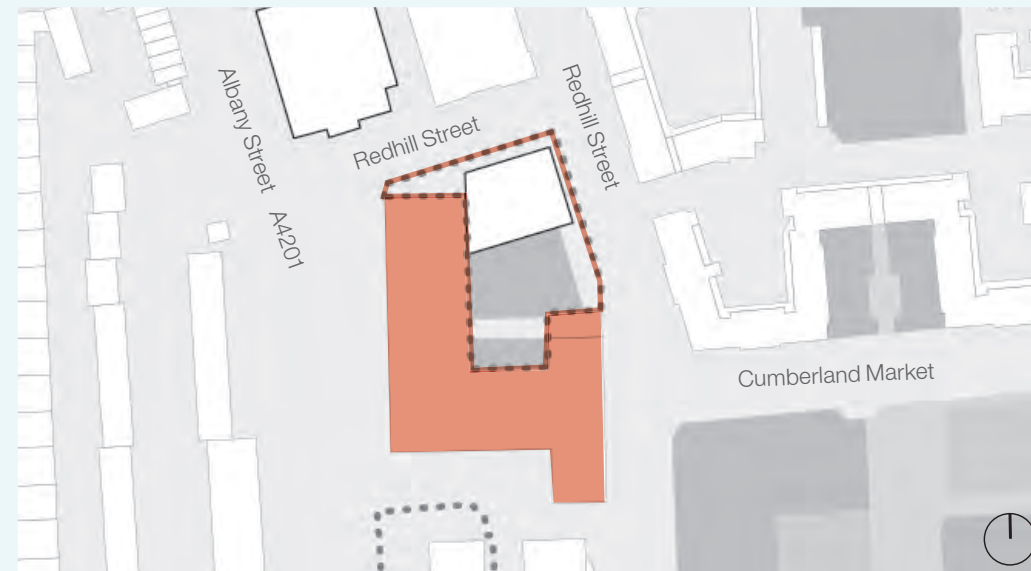
Existing Typology 1:

Existing Rothay Block. 5 storeys



Existing Typology 2:

Peabody Estate blocks. 5/6 storeys.





There is an opportunity to enhance Rothay courtyard, as it is currently not well used, particularly the raised deck area. The park access currently divides this space with high fences.

The site has a number of mature trees, the 4 trees to the north of the site are shorter, while the trees to the East edge are taller. In the early scheme development it became apparent that any proposal would be unlikely to be able to keep both groups of trees, and the decision was taken to retain the group of trees at the northern edge of the site, as these can be read together with the street trees to Albany Street, as shown in the photograph below, and so help Redhill street to read as an entrance into the site.



The trees at the North of the site, view from Albany Street



- ▶ Primary Vehicle Route
- ▶ Secondary Vehicle Route
- - ▶ Key pedestrian route or view
- Primary façades
- Space with potential to be improved
- Regents Park Conservation Area
- Trees to be removed
- Trees to be retained

- Existing bin store
- Dick Collins Hall to be relocated to Robert Street Site
- Windows to communal corridor
- Car Park Access route through building undercroft
- Existing poorly used deck and ramp

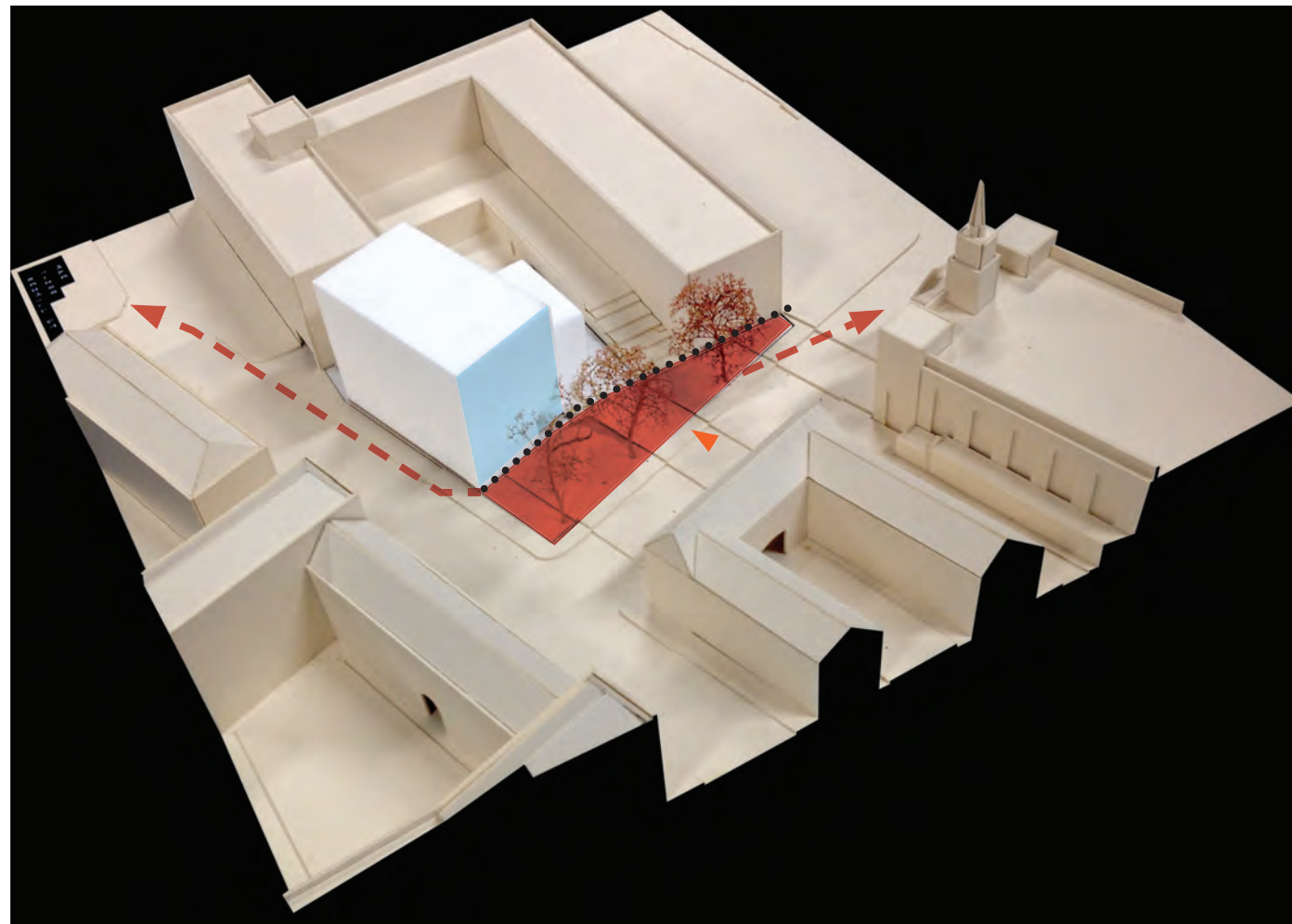
Design Approach

The building has been positioned towards the South of the site towards the existing Rothay block. This move means that the trees at the North of the site can be kept, as shown previously these trees can be read together with the trees on Albany street, and contribute to the character of Redhill street as an entrance to the site. With this approach the trees at the East of the site will be removed.

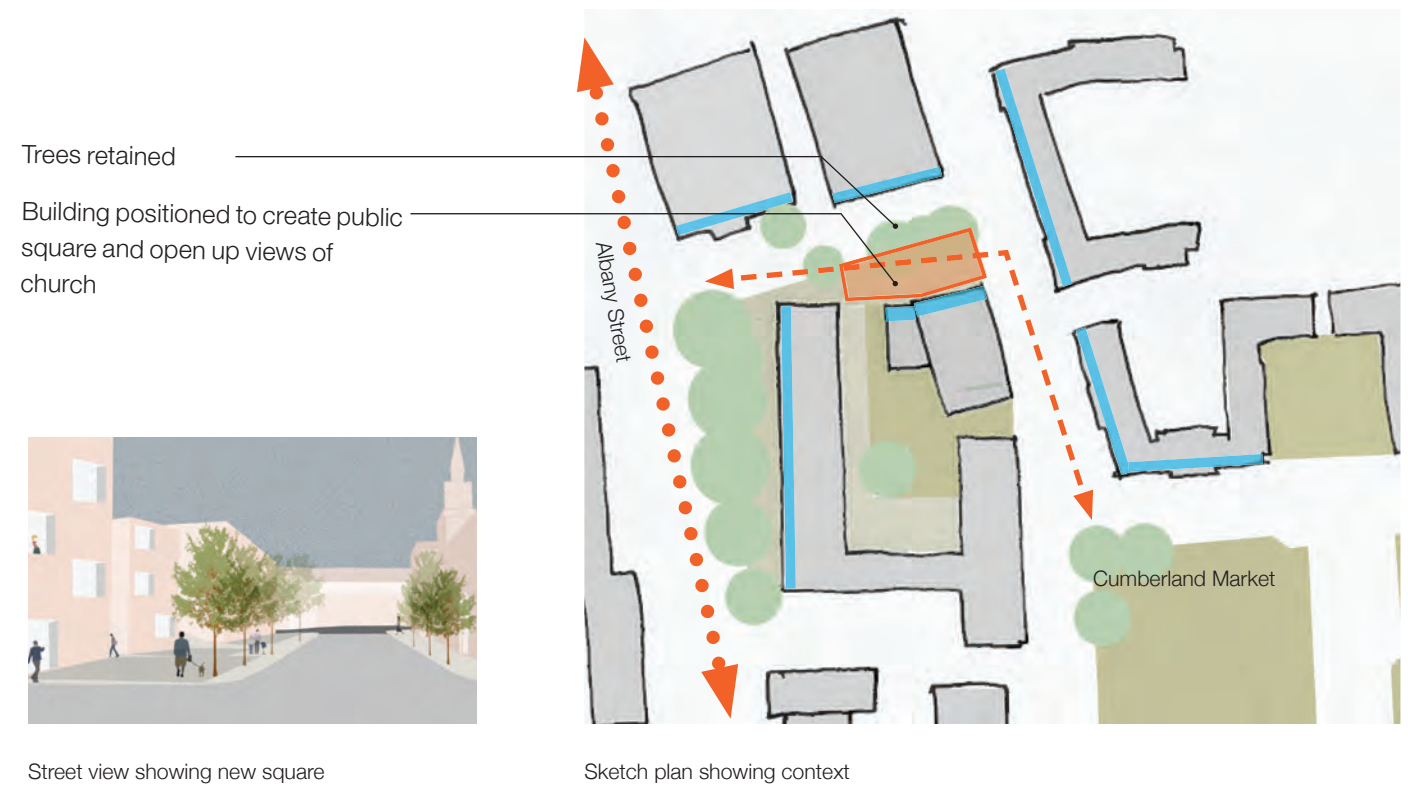
This move helps to in order to complete Rothay as perimeter block, similar to the Peabody blocks across the street, and to open up Redhill street, with a new small square, this also helps to provide light to the building to the north at 1-3 Redhill Street.

The scheme design for this site, also draws upon the same urban design principles as Robert Street and Varndell Street Corner. Those of:

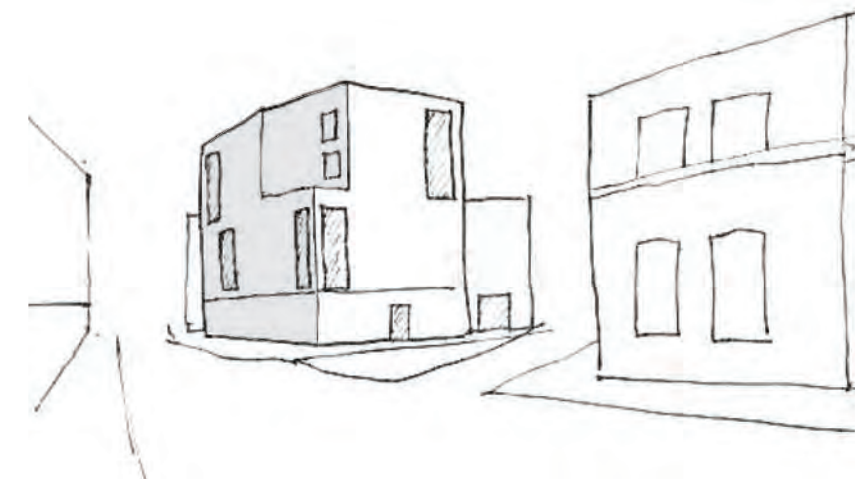
- Connective squares, semi private courtyard gardens
- Simple building Volumes, aligning with context
- Clear communal entrances
- Gables Facing squares
- Upper level Amenity overlooking public space, ground floors clear of amenity



1:200 model study. Illustrating step back from street edge allowing space to church and block opposite



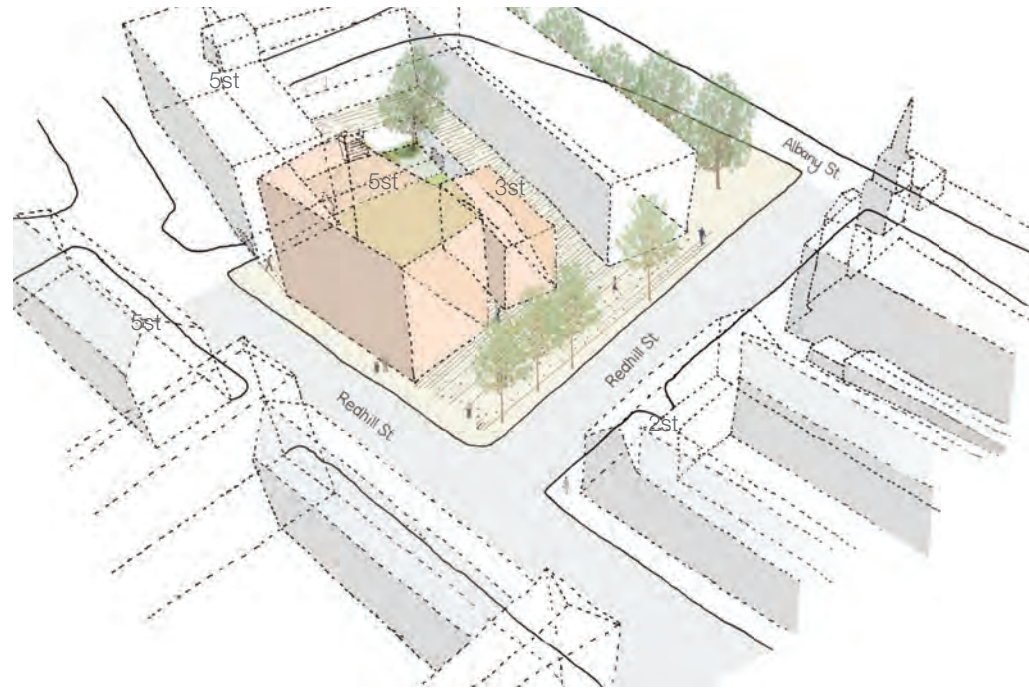
- • • • • Building Alignment with Context
- > Key pedestrian route or view
- Public square
- Primary Facade
- ▶ Clear Communal Entrance



Concept sketch showing building massing and punched openings



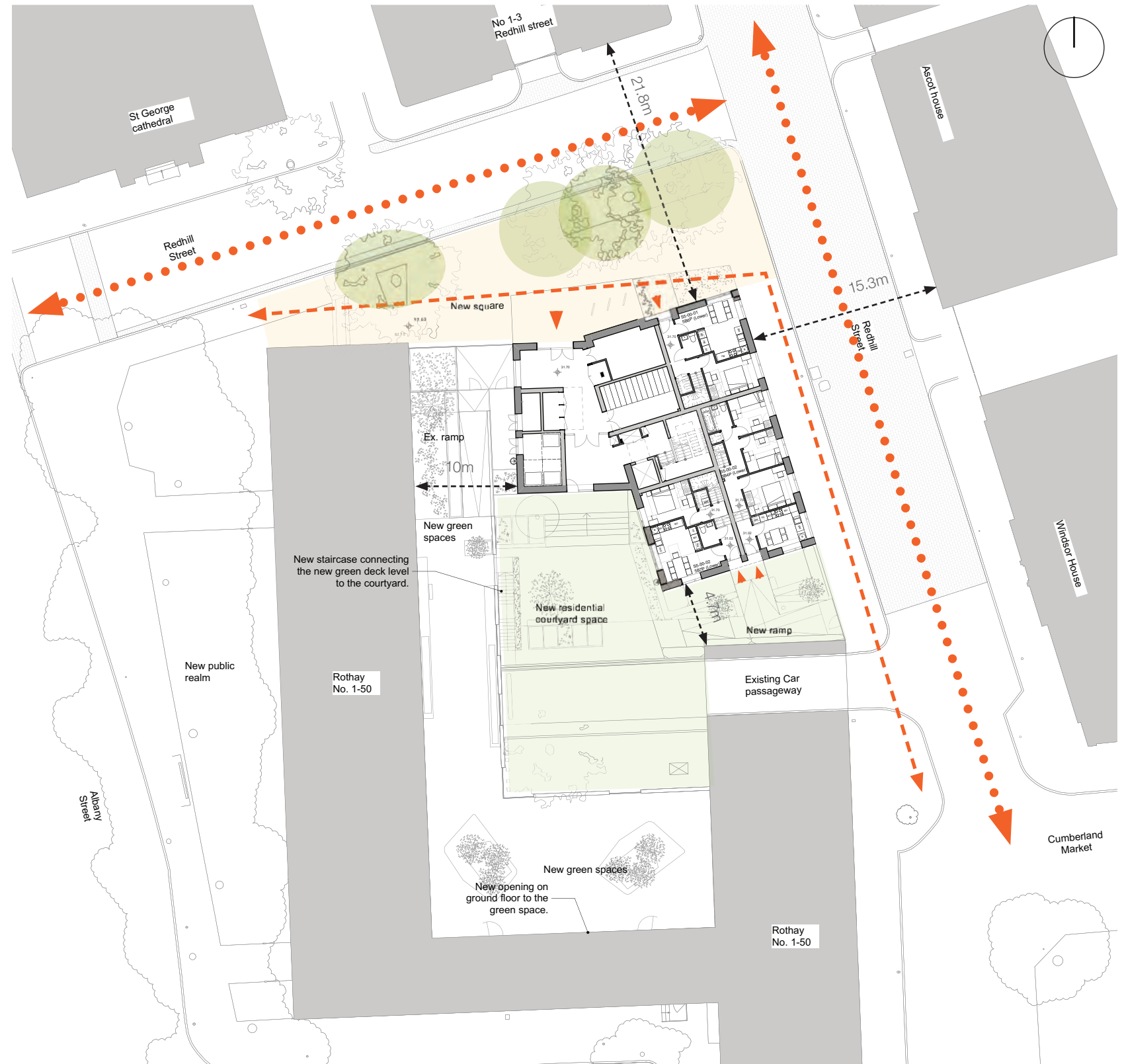
The TRA Hall will be moved to the Robert Street Car Park Site (Plot 1), and the site will be redeveloped to 3 and 5 storeys, which will create 11 new homes. Both blocks have recessed balconies. Maisonette homes at ground floor mean front doors onto the street, further activating the street frontage.



Proposed Massing



Front Elevation - Not To Scale



Ground Floor Plan 1:400

AREA 3: ALBANY STREET | DICK COLLINS HALL

Landscape approach

The landscape proposals for this site are focussed on improving access from the existing residential block to the external deck to create a tiered suite of communal gardens.

Large shaped concrete raised planters are proposed for the upper deck as well as a stair to link the two main outdoor spaces.

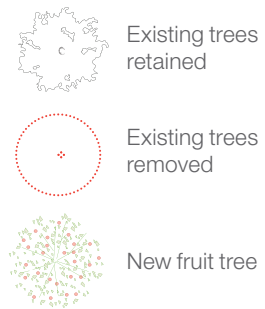
A large planter on the concrete ramp creates a deep boundary between the public and private spaces.

The garden will be an intensely planted small space with a mix of raised beds, grass and gravel surfaces with opportunities for seating and growing food.

The mix of planting will bring colour, texture and scent into the interior of the space which is centred around a new fruit tree.

A small wildlife garden is proposed alongside the existing driveway with bird boxes and insect hotel to provide visual interest and improve biodiversity. A grasscrete surface is proposed for the driveway.

The wider public realm to the north of the proposed block includes new tree pits for the existing trees and new paving.



Concrete shaped planters to introduce small trees and low level planting to deck area



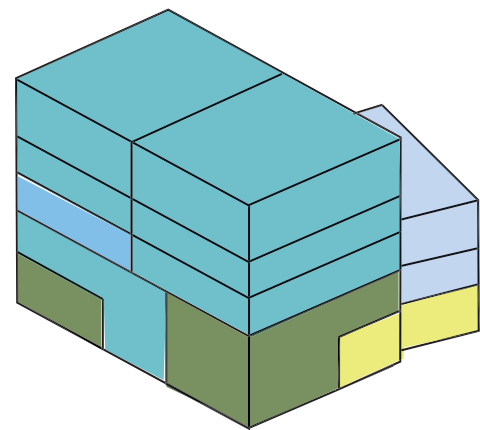
Espalier trees to suit the constraints of the site



Landscape and public realm plan



Floorplans for this block are shown on this page (not to scale) Please refer to the formal planning drawings.



Unit Schedule

Core	2
1B2P	0
2B3P	1
2B3P WC	6
4B6P	0
5B6/7P	2
Total	11



Ground Floor



First Floor



Second Floor



Third Floor



Fourth Floor

Elevations

The new building has recessed balconies punched into the elevation arranged in a playful pattern, this relates to the existing Rothay facade, as well as the other estate buildings which have a chequerboard elevation pattern.

The chamfer to the top two storeys of the taller block allows the building to respond sensitively to the red brick building to the North.

The proposed materials draw upon the character of the surrounding buildings, with a textured red brick reflecting the colour of Rothay and the 2 storey listed building to the North. The dark brick upstand reflects those of the surrounding buildings.

The material and detail choices are discussed in more detail on the following pages.



Concept Sketch



Existing punched balconies to Rothay



Entrance to St George's Church



Street view from the North East



North Elevation - Not to Scale



East Elevation - Not to Scale



View From Cumberland Market

AREA 3: ALBANY STREET | DICK COLLINS HALL

The building has punched openings forming recessed balconies, and portrait windows, arranged with a playful orderliness. The building is arranged with a top, middle and base. The upper stories are arranged in 2 storey pairs, with a single storey base.

A precast concrete band is used at first floor level at the top of the ground floor base. This ties in with similar bands in the surrounding context. The windows have rendered reveals and precast concrete sills to match this band, a detail which picks up on the qualities of the historic buildings within the conservation area. The window and balustrade colour has been chosen to compliment this colour palette.

Refer also to 400 series drawings within the planning application for more detail. These drawings set out the quality of the building in more detail.



A - Typical Bay, with Domestic Entrance and Recessed Balconies



Section Through Recessed Balcony



B - Communal Entrance Elevation

The proposed materials have been chosen carefully and pick up on qualities of the surrounding context as discussed on the previous page.

Brick selection:

1a: A deep red, medium textured brick, with a variation of colours, including shades of light yellow, white, dark brown and deep red. Each brick to also have a variation of colour.

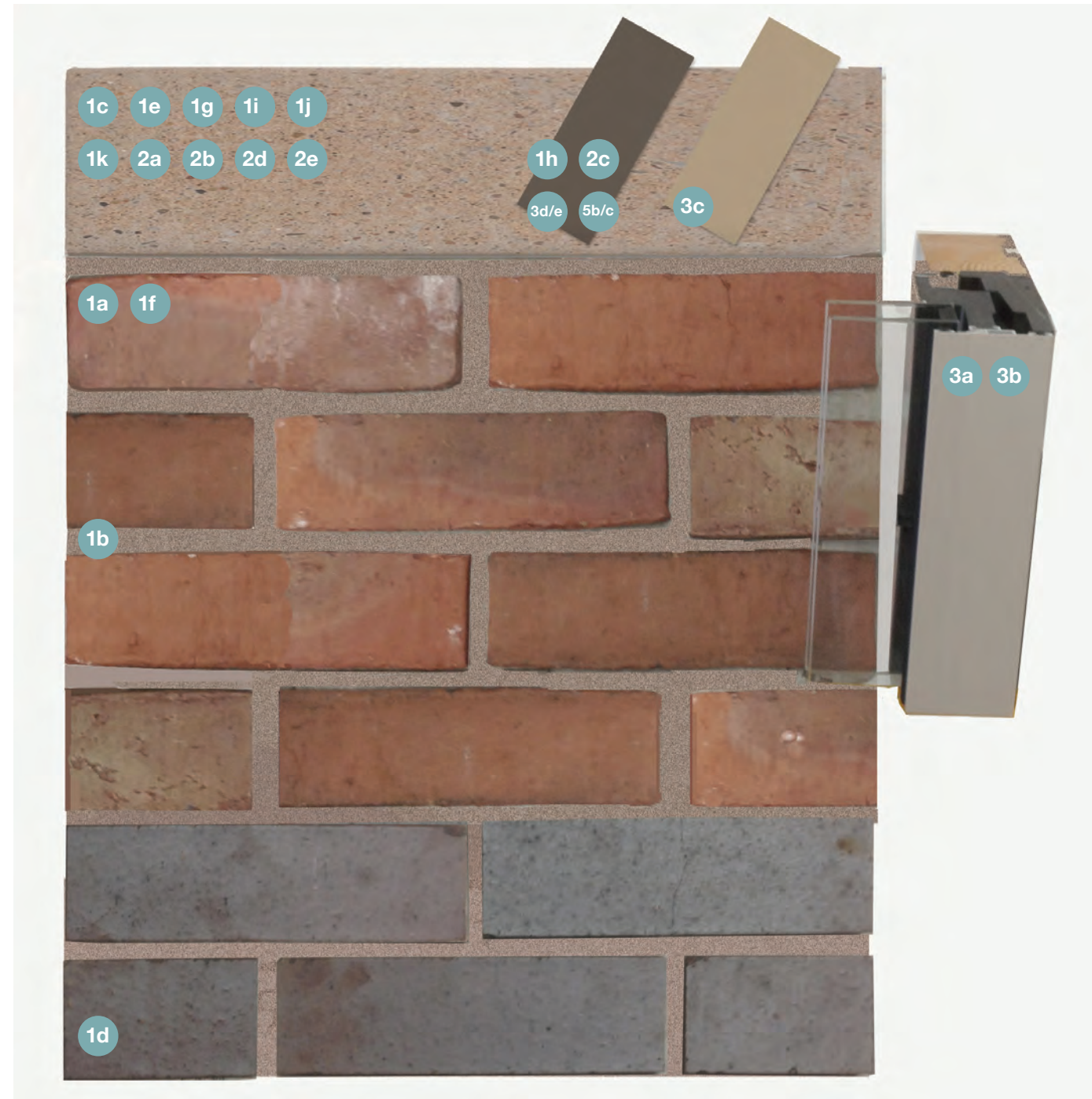
1d: Staffordshire blue brickwork, blue/black base colour, and with variation in colour, including turquoise and pinkish shades. Semi glazed finish, with some texture.

Precast/Render:

Colour of precast banding to be as a light pink/sandy colour. Render reveals to match closely to this, in similar finish. Window sills to be formed in precast concrete, not metal sills.

Balustrading:

Balustrades to be bespoke, flat bars to both horizontals and verticals, and to be Polyester Powder Coated (PPC) as per schedule to the right.



Proposed Material Palette for Dick Collins Site



Dick Collins Specification Key

1. External Walls:

- 1a. Red Buff textured & variegated clay brickwork (refer to description to left)
- 1b. Warm-Grey mortar to brickwork and blockwork, flush pointed.
- 1c. Precast reconstituted stone profiled banding and balconies as Blackhill Natural by Cornish concrete or similar, smooth finish.
- 1d. Staffordshire blue brickwork to building base
- 1e. Precast reconstituted stone window and balcony sills to match 1c banding.
- 1f. Prefabricated brick lintels to 1st-4th floor to match 1a brickwork.
- 1g. Precast reconstituted stone coping to match 1c Banding (once weathered).
- 1h. Bespoke PPC metalwork MVHR extract grilles to each unit, concealed within lintel recess.
- 1i. 25mm thick, 215 deep render reveals to 1st-4th floor doors, windows, balcony walls and domestic door recesses. Colour to match 1c banding.
- 1j. Precast signage to domestic and communal doorways to match 1c Banding.
- 1k. Pre-cast reconstituted stone canopy to match 1c banding.

2. Recessed Balconies:

- 2a. Fair faced precast concrete to balcony slab to match 1c Banding.
- 2b. Soffit in cementitious board/render finish to match 1c.
- 2c. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.
- 2d. Concrete pavers to floor to match precast concrete.
- 2e. 25mm render reveals and render finish to all walls, colour to match Concrete 1c.

3. Windows & Doors:

- 3a. Composite timber & aluminium windows, PPC Grey beige RAL1019 max frame size 54mm.
- 3b. Balcony doors/windows to be PPC Grey beige RAL 1019.
- 3c. Domestic front panel doors to be PPC Grey beige (RAL 1019) coloured leaf with glazed fanlight above and rest of frame as Sepia brown RAL 8014.
- 3d. Communal opening doors to match balustrading (as 2d) RAL 8014 Sepia brown and the fixed frames as PPC RAL 8014 Sepia brown.
- 3e. Window balustrading to match balcony balustrading (as 2d) RAL 8014 Sepia brown.
- 3g. Gates as GKD PC Tigris or similar horizontal rigid stainless steel Mesh.
- 3e. All ground floor windows to be flush and match 3a.

4. Roofs:

- 4a. Green/brown roof.
- 4b. Roof access hatch.

5. Rain Water:

- 5a. Internal DP's within core.
- 5b. External DP's to rear elevation to be metal PPC RAL 8014 Sepia brown.
- 5c. Hopper head PPC to match 5b.
- 5d. PPC Sepia brown RAL 8014. zx drip detail