

## Landscape approach

A new public space transforms the existing service road and pedestrian link to Cumberland Market into a community square. A large chequerboard pattern is proposed to the ground surface to create a strong and clear identity to this new space on Robert Street and this is strengthened by introducing new tree planting.

The new community centre on the ground floor of the new development provides active frontage onto the street and the new square. Access points on both Robert Street and the square allow for occasional use of this public space for events [eg. summer fete].

The residential entrances to Borrowdale are enhanced by new planting along the boundary.

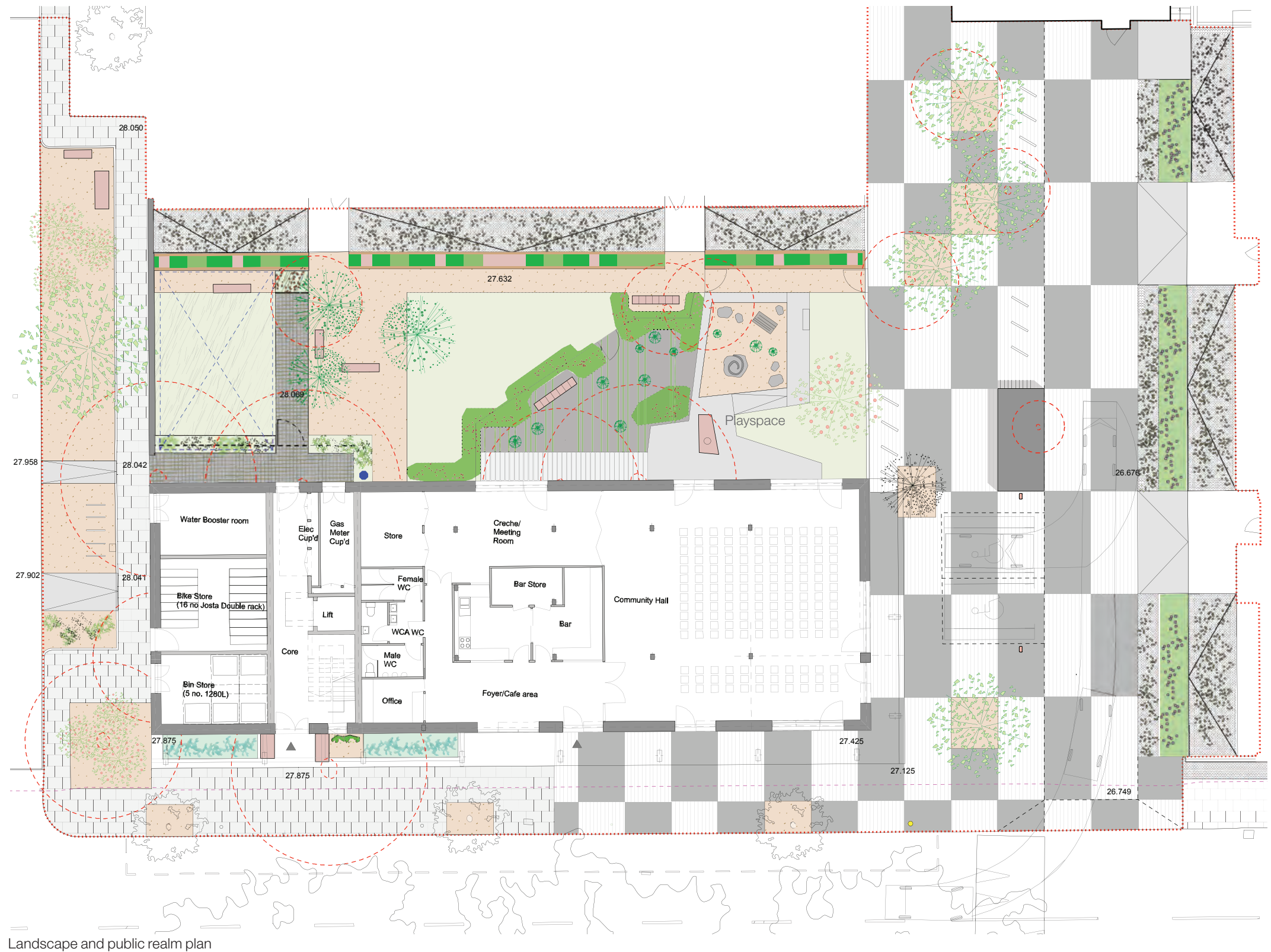
The communal garden is to be shared by residents of Mosedale, Patterdale, Borrowdale and the new block with different areas to encourage active use of the garden space: paths, seating, raised beds for resident's gardening, play.

Due to the aspect of the garden conifers are proposed as the most suitable tree species.

Shaped hedges and textured surfaces define an area of the garden as a playable landscape that can be used by the informal crèche in the community centre. Gates allow for the space to be secured as needed.

Light touch improvements are proposed to the lay-by of the service road to Patterdale to improve soften the surfaces as a visual extension of the enclosed communal garden. This includes tree planting.

-  Existing trees retained
-  Existing trees removed
-  Existing conifers removed
-  New tree
-  New conifer



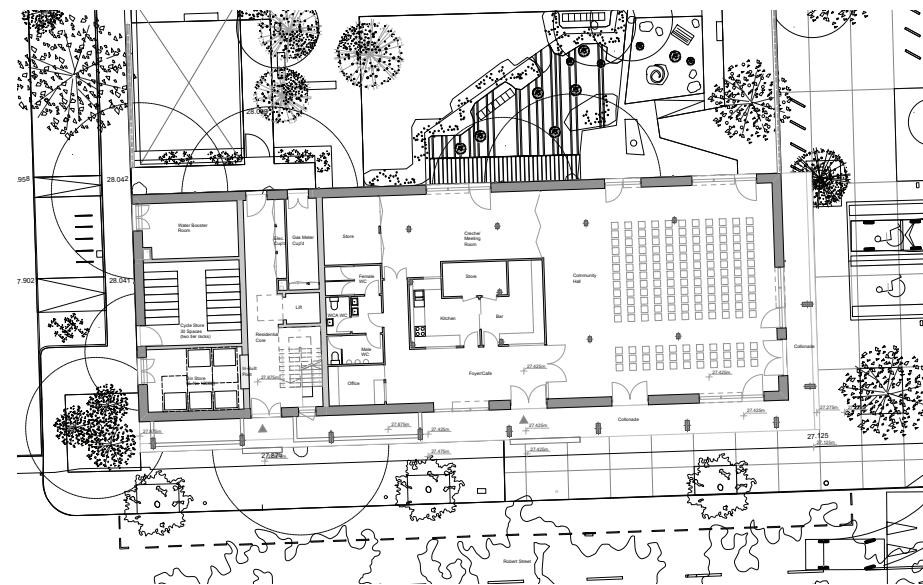
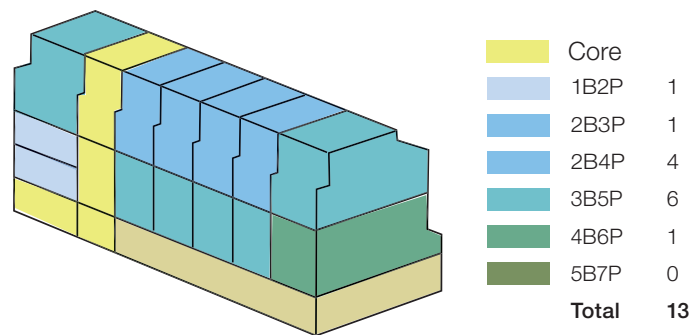
Landscape and public realm plan



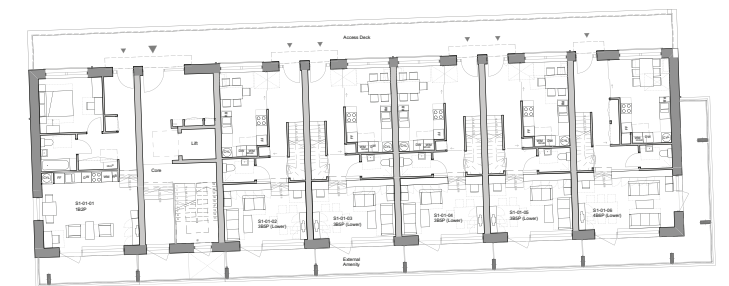
Floorplans for this block are shown on this page (not to scale)  
Please refer to the formal planning drawings.

At Second floor level there is an alternative layout for a wheelchair accessible flat, designed to Camden's Wheelchair standard, this would involve changing a 2B into a 1B flat.

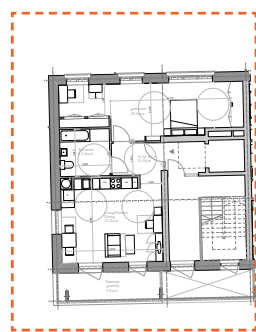
Unit Schedule



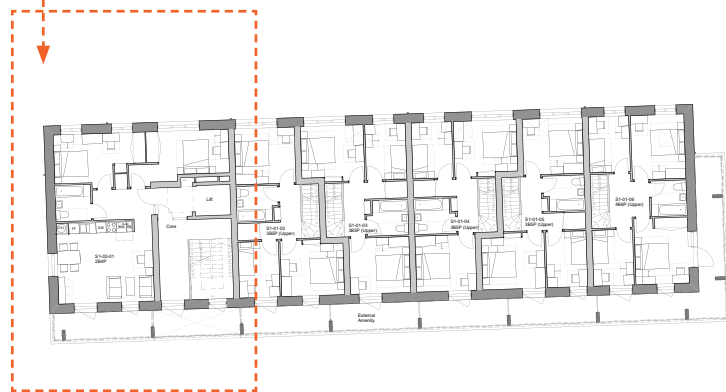
Ground Floor



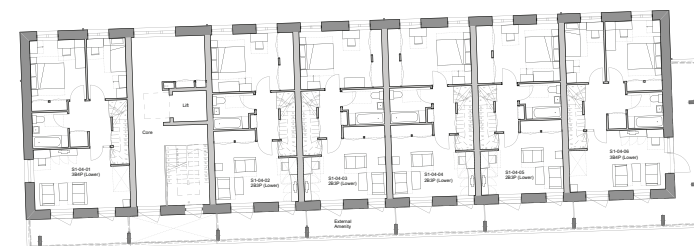
First Floor



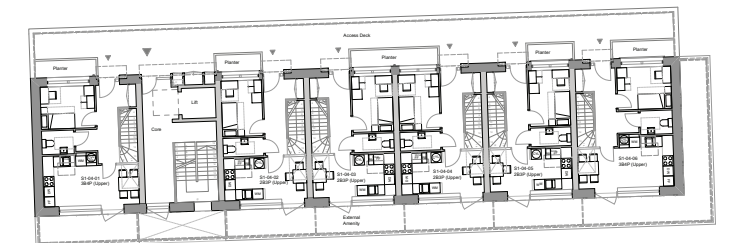
Second Floor - alternative plan with WCH 1B unit instead of 2B unit



Second Floor showing 2B LTH flat to West end



Third Floor



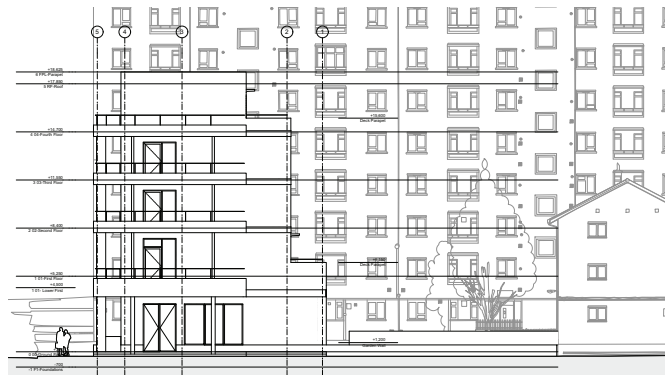
Fourth Floor



## Elevations

The new building has its primary elevation onto Robert Street, and the new square. The facade is articulated with a precast concrete structure that forms the amenity spaces of the units behind. This relates to the decks to the blocks across the street and provides a strong, public facing facade to the building. This structure wraps around the gable end to face onto the new proposed public square. The new community centre which has direct access to the square and the colonnade is a key new central point in the estate as a whole.

Precast banding is used to the gable ends in order to anchor the deck structure back to the building, this banding will match the colonnade structure.



East Elevation



Precedent study for concrete banding and decks



Robert Street Elevation in Context



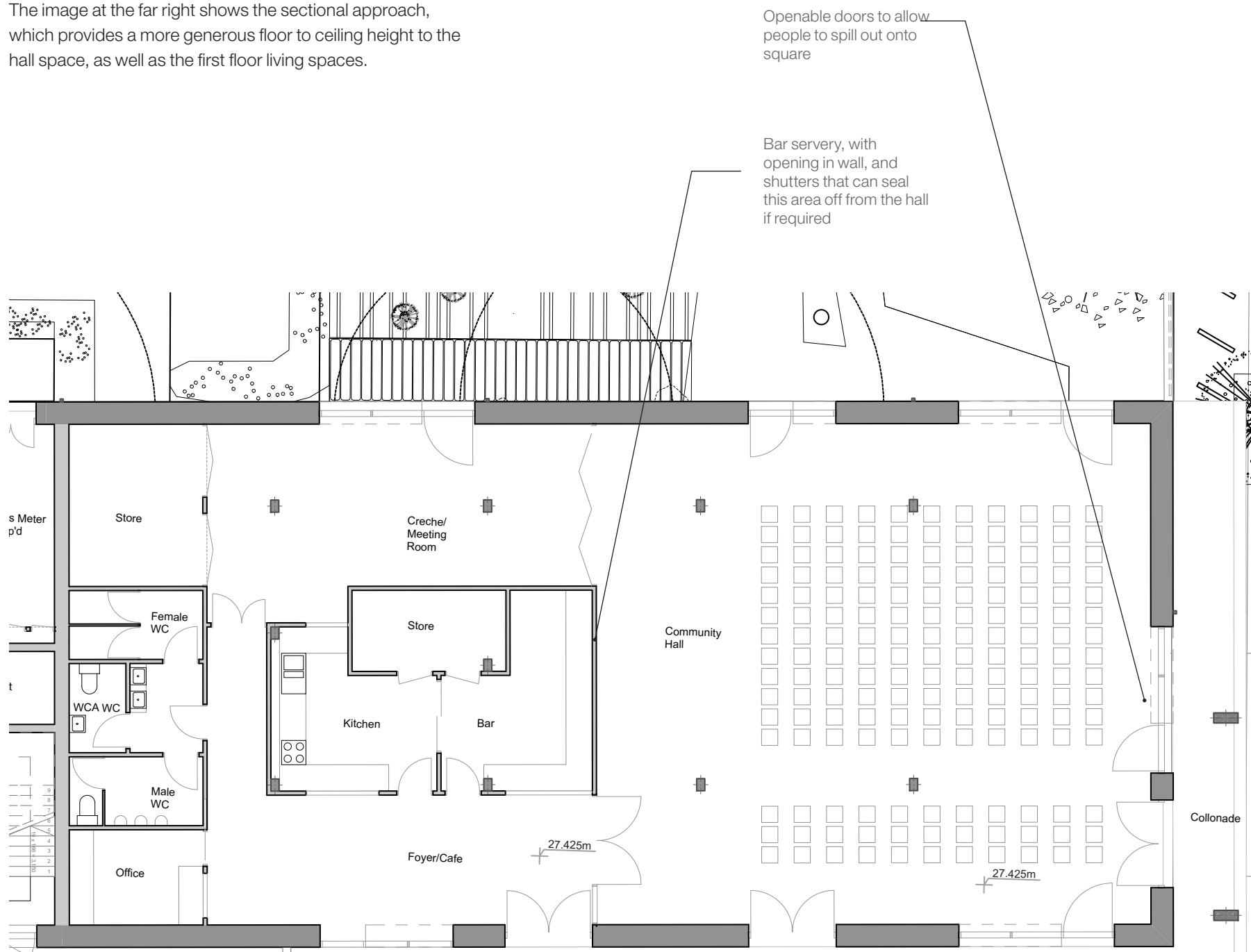
Perspective view of south and east gable end elevation





The community centre has been developed through consultation with residents and as well as design workshops and design team meetings. The proposal shows a 334sqm community centre, which is similar to the existing Dick Collins community centre.

The foyer space connects directly to the bar and kitchen. The image at the far right shows the sectional approach, which provides a more generous floor to ceiling height to the hall space, as well as the first floor living spaces.



Ground Floor plan showing the community centre layout, not to scale - refer to formal planning drawings



Axometric cut section illustrating the level changes within the community centre

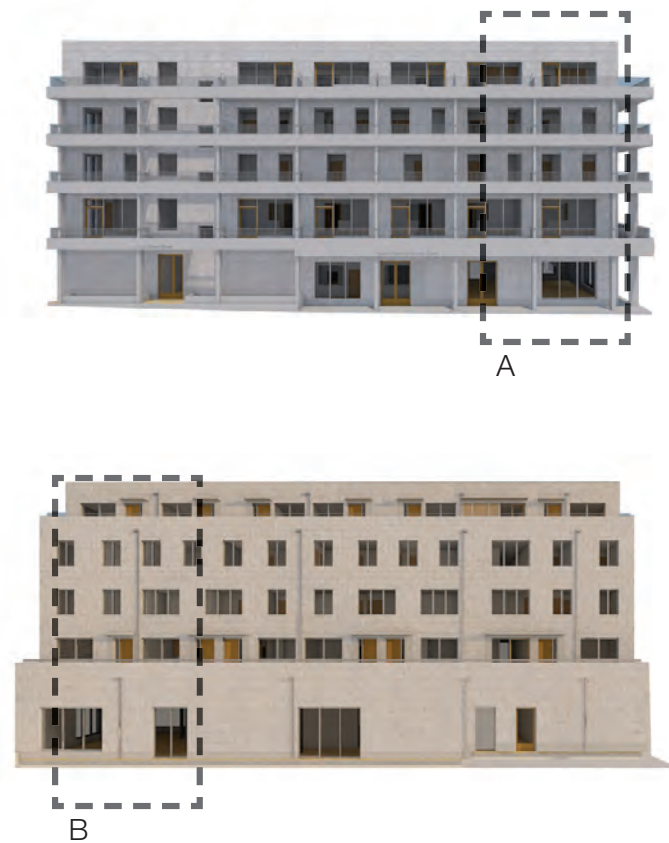


## Design in Detail

The proposed materials draw upon the character of the surrounding buildings, with a light buff brick echoing the brick to the estate buildings to the East and West. The concrete structure to the front elevation gives a prominent, public facing facade to Robert Street.

Window frames are predominantly a light grey colour, with yellow frames to the opening window frames only. The handrail to the balustrades is also yellow. These accents of colour enliven the colonnade structure.

Please refer also to 400 series drawings within the planning application for more detail. These drawings set out the building materials and details.



A - Front Elevation Showing Colonnade Structure



B - Rear Elevations



The proposed materials draw upon the character of the surrounding buildings, with a buff brick echoing the brick to the surrounding estate buildings. The cast concrete balustrade structure speaks to the buildings to the South which have a steel structure to the street side.

**Brick selection:**

1a: A Light buff, heavily textured brick, with a large variation of colours, white, buff, and oak colour. Each brick to also have a variation of colour.

**Concrete Colonnade Structure:**

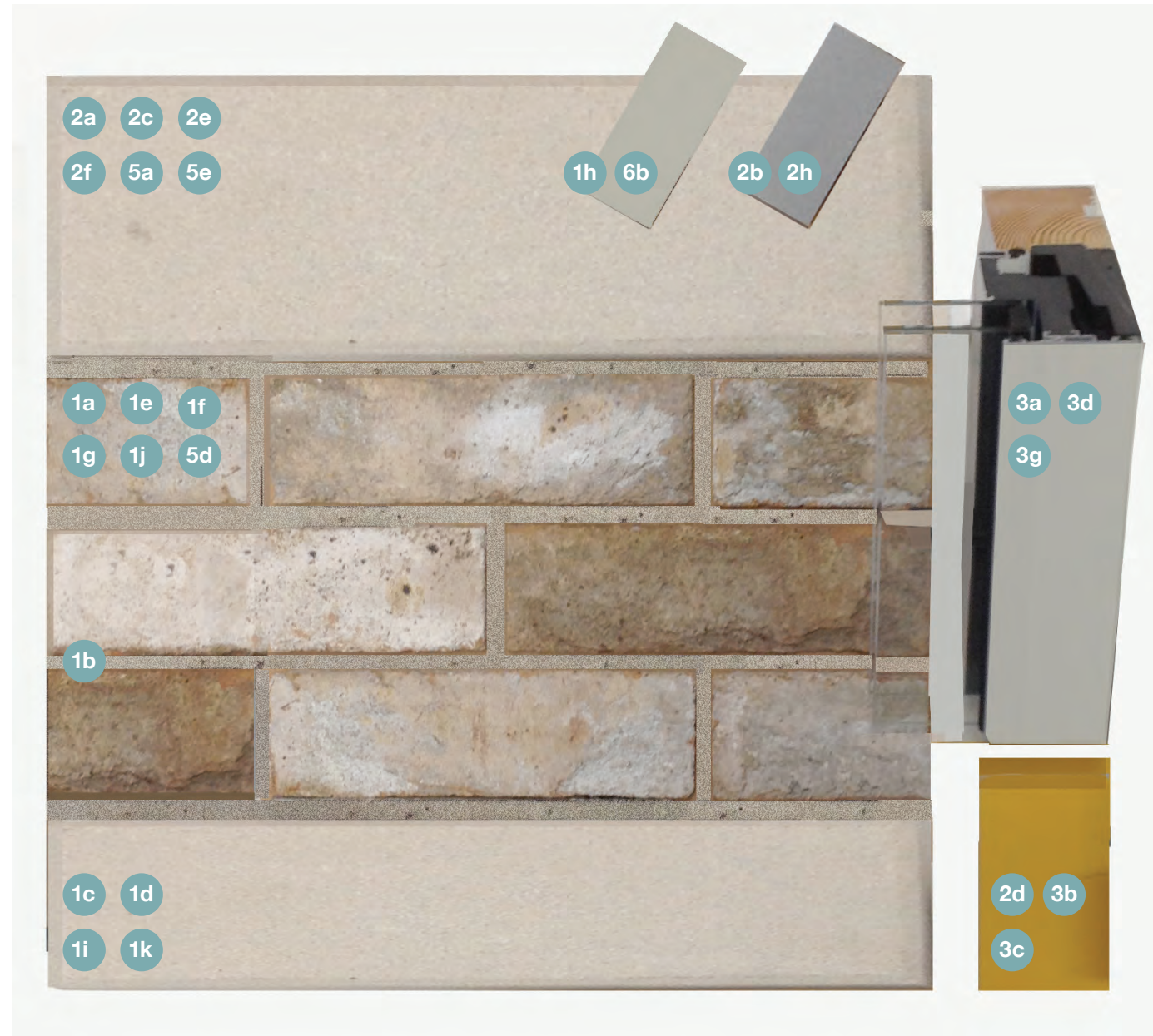
Colour of concrete to the balcony/ colonnade structure and stringer detail to be fair faced smooth finish, to be in a warm off white tone, with an even colour, to match Colour CL001 by Keim Concretal Lasur range. This product is to be used as required to provide an even, consistent finish. All concrete banding/upstands/ sills and any other concrete elements to closely match the colonnade structure.

**Balustrading:**

Balustrades to be bespoke, with flat bars to both horizontals and verticals. The handrail to the top is golden yellow, so different colour to the bars, which are grey, all elements to be Polyester Powder Coated (PPC) as per schedule to the right,

**Gates:**

The Communal gates use a mesh within a steel frame. The steel frame should match the balustrading colour.



Proposed Material Palette for Robert Street



**Robert Street Specification Key**

- 1. External Walls:**
  - 1a. Light Buff, variegated, textured clay brickwork (refer to description to left)
  - 1b. Grey-White mortar, flush pointed
  - 1c. Pre-cast reconstituted stone banding cast to match and finished with Keim Concretal Lasur stain CL001 (white/grey)
  - 1d. Pre-cast reconstituted stone upstands/Sills to match 1c.
  - 1e. Pre-cast brick sills, with metal drip detail
  - 1f. Pre-fabricated Full brick lintels
  - 1g. Brick on edge coping to match 1a
  - 1h. Bespoke PPC (RAL 7032) metalwork MVHR extract grilles to each unit, concealed within lintel recess.
  - 1i. Pre-cast signage to domestic and communal doorways, to match 1c Banding
  - 1j. 215mm deep brick reveal to all windows reveals
  - 1k. Pre-cast reconstituted stone canopy to match 1c banding
- 2. Precast Loggia Balcony Structure:**
  - 2a. Fair faced concrete structure cast to match and finished with Keim Concretal Lasur stain CL001 (white/grey)
  - 2b. Bespoke PPC metalwork balustrading with flat bar uprights, finished in MIO, Light Grey Finish as Leigh's paints R8051 or similar
  - 2c. Concrete pavers to floor to match concrete loggia structure
  - 2d. Horizontal balustrade flat bar at top of balustrade. To run in front of column line PPC Golden Yellow (RAL 1004)
  - 2e. Concrete soffit to balcony to match 2a.
  - 2f. Pre-cast reconstituted stone recessed signage. Helvetica Neue Typeface finish to match 2a.
  - 2g. Concrete casting Joints (If required)
  - 2h. Bespoke PPC metalwork balcony dividing balustrades, finished in MIO Light Grey Finish as Leigh's paints R8051 or similar
  - 2i. Deep concrete balcony structure to allow depth to form horizontal drainage to indicated downpipes on south facade.
- 3. Windows & Doors:**
  - 3a. Composite timber & aluminium windows, PPC Pebble Grey (RAL 7032) finish generally, max frame size 54mm
  - 3b. PPC RAL 7032 Terrace Doors w/ Golden Yellow (RAL 1004) opening door leaf to balcony
  - 3c. PPC Golden Yellow (RAL 1004) coloured panel front doors leaf with glazed fanlight above (rest of frame as PPC Pebble Grey (RAL 7032))
  - 3d. PPC Pebble Grey (RAL 7032) to Communal doors
  - 3g. Internal Steel/Aluminium security grilles, as Armalink 95 by Armashield. Finished in PPC Pebble Grey (RAL 7032)
- 4. Roofs & Amenity Spaces:**
  - 4a. Green/brown roof
  - 4b. Roof access hatch
- 5. Deck Access Terrace**
  - 5a. Concrete pavers on pedestal system
  - 5b. Lightweight metal access platform over lightwell
  - 5c. External Lighting within entrance as iGuzzini Kriss fitting or similar
  - 5d. Brick Planter to match 1a
  - 5e. Render finish to inner side of deck wall. To match 2a.
- 6. Rain Water/Metalwork**
  - 6a. Internal DP's within core
  - 6b. External DP's to front and rear elevation to be metal PPC RAL 7032 Pebble Grey
  - 6c. PPC Pebble Grey (RAL 7032) Metalwork finish
  - 6d. Hopper Head PPC to match 6b



## Landscape proposals

The Robert Street landscape is divided into two key areas : a public square off Robert Street and a more communal garden with small playspace.

The two spaces are very different in aspect, with the public space more open and sunny and the communal garden sheltered and more shady, and the design for these reflects this.

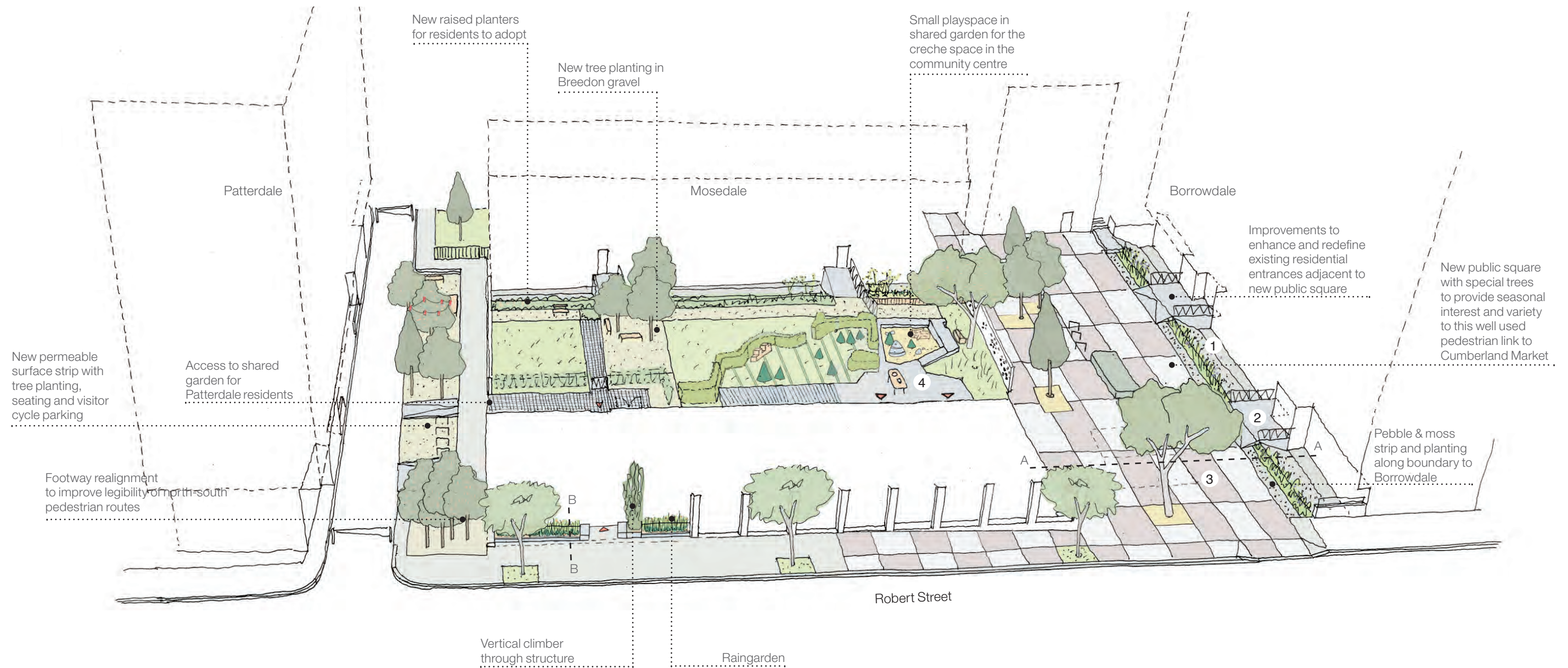
The site was previously used as a car park and this is reimagined in the large scale checkerboard pattern of the ground as an attractive feature of the new public space. The community hall on the ground floor of the proposed new building opens onto this space and animates it. To support a wide range of future uses and to indicate its public nature this space is kept relatively open, with trees, attractive light columns, cycle stands and a large seating area inviting a wide range of uses.

The space between Mosedale, Patterdale and the new block is predominately to be shared between those residents and is designed as a courtyard garden, with a series of distinct spaces, one particularly for play. The space between Patterdale and the new block benefits from light touch adjustments such as water bound gravel surfaces with new tree planting.

The south facing entrance to the new block off Robert Street is flanked by rain gardens and a fragrant *Clematis armandii* climbing up the building.

Communal planters offer the residents of Mosedale some additional privacy and space for food or flower growing.

Tiered planting provides privacy and a buffer to the residents of Borrowdale.







### New public square

The materiality of the new public space is pulled all the way to the kerb, as a subtle but important wayfinding on Robert Street, the key East-West route.

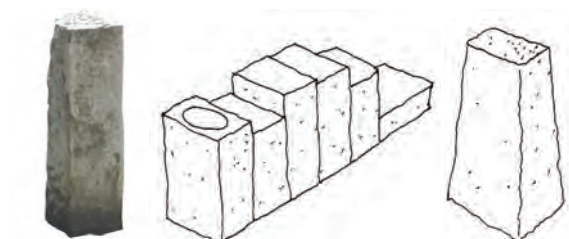
Light silver grey granite sets and black asphalt provide a chequerboard pattern that is civic and playful. A generous raised seating from exposed aggregate concrete supports the expansion of the community hall into this space.

Juneberry trees (*Amelanchier lamarckii*) are grouped in a cluster with dark sky cut off light columns and provide safe and pleasant conditions with dappled light and shade in the sun as well as at night time.

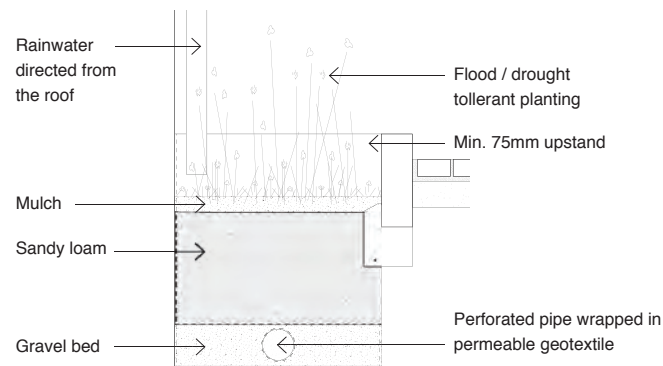
Disabled car parking is provided without interrupting the chequerboard pattern.



Trees: apple trees, conifers and Juneberry



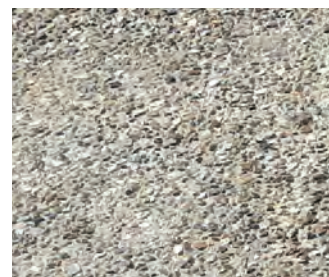
Family of stones, chasse-roue and seat (reused granite bollards)



Section BB rain gardens



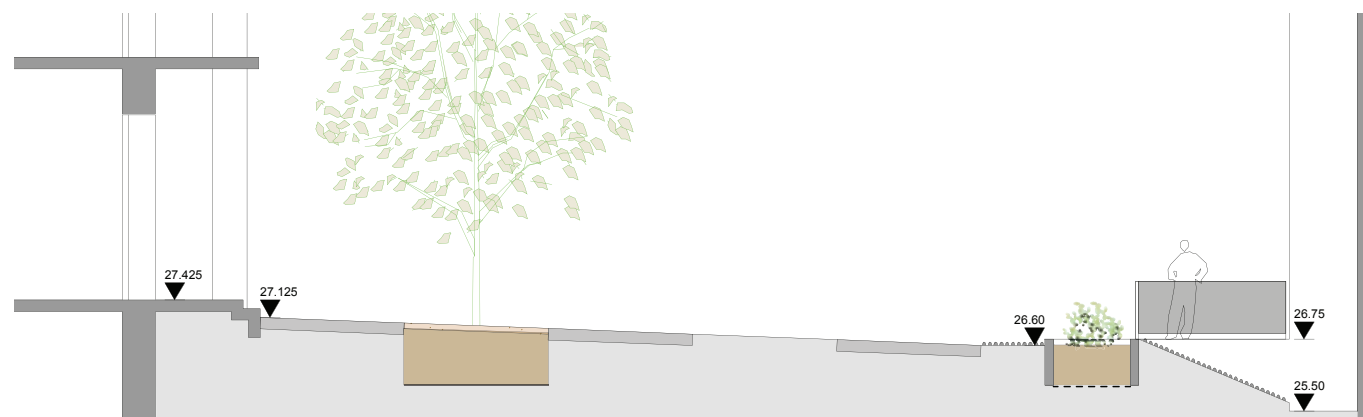
1. Pebbles and moss



2. Exposed aggregate concrete



3. Asphalt and granite setts chequerboard



Section AA on parking entrance

### Playspace

The playspace between Mosedale, Patterdale and the new block is to be used by those residents, but also can provide outdoor facilities for an occasional crèche in the community hall.

Based on the original conifers found at the site, this space is designed as a miniature rock and conifer garden, with native fruit bearing hedges such as a s hazel and wild roses providing a backdrop to a collection of boulders and small conifers providing a play landscape. Granite bollards that are being removed from service road in front of Borrowdale can be reused here. A mountain boulder is sculpted with grooves and rills to allow play with water, marbles or small cars. A shaped concrete surround is also a space for sitting, climbing and jumping, and stainless steel and timber benches are located in more open areas.



Mountain boulder with holes and grooves for toy cars, balls or water



Playful rocks



Family of benches [Stainless steel + iroko]



Conifers within play area



4. Informal play area with communal garden shared by residents of Patterdale, Borrowdale, Mosedale, and the new residential block



## Compliance Plans

### Secure By Design

A meeting was held with the SBD officer on 11.03.15.

- The SBD officer had some concerns over the colonnade, in response we have provided planting and a one and a half high ceiling to the colonnade in order to deter rough sleepers.
- He commented that the public square should be blocked off, however as this is a public right of way and cannot be blocked off.
- He also commented that the community centre should have shutters to any openable window. Our proposal shows these as internal roller shutters, painted white.

### Building Regulations

A meeting was held with Camden Building Control.

- The fire escape route would be via the decks to the north of the building, and they will have a solid brick balustrade up to 900mm height with a handrail above.
- A ventilated lobby will be provided at the 2nd floor level. The core also has openable windows at all levels to provide smoke ventilation.
- Fire doors and smoke alarms are provided in the maisonettes. The community centre opening door leafs will be adequately sized for the number of occupants.
- A dry riser has been included adjacent to the lift.
- The maisonettes will have fire doors and smoke alarm

### London Housing Design Guide

The scheme complies with the London Housing Design Guide. The following methods of compliance are noted in particular:

- Natural light is provided to the core via windows at upper levels (3.2.3)
- A single, 8 person lift is provided to serve the apartments on the upper floors (3.2.6)

- Cycle storage to LHDG standards is provided communally at ground floor (3.4)
- There is a communal bin store at ground floor, and a post lobby within the entrance area (3.5)
- Homes are designed to LHDG area standards (4.0)
- Homes have either two living spaces or a dividable arrangement (4.4.3)

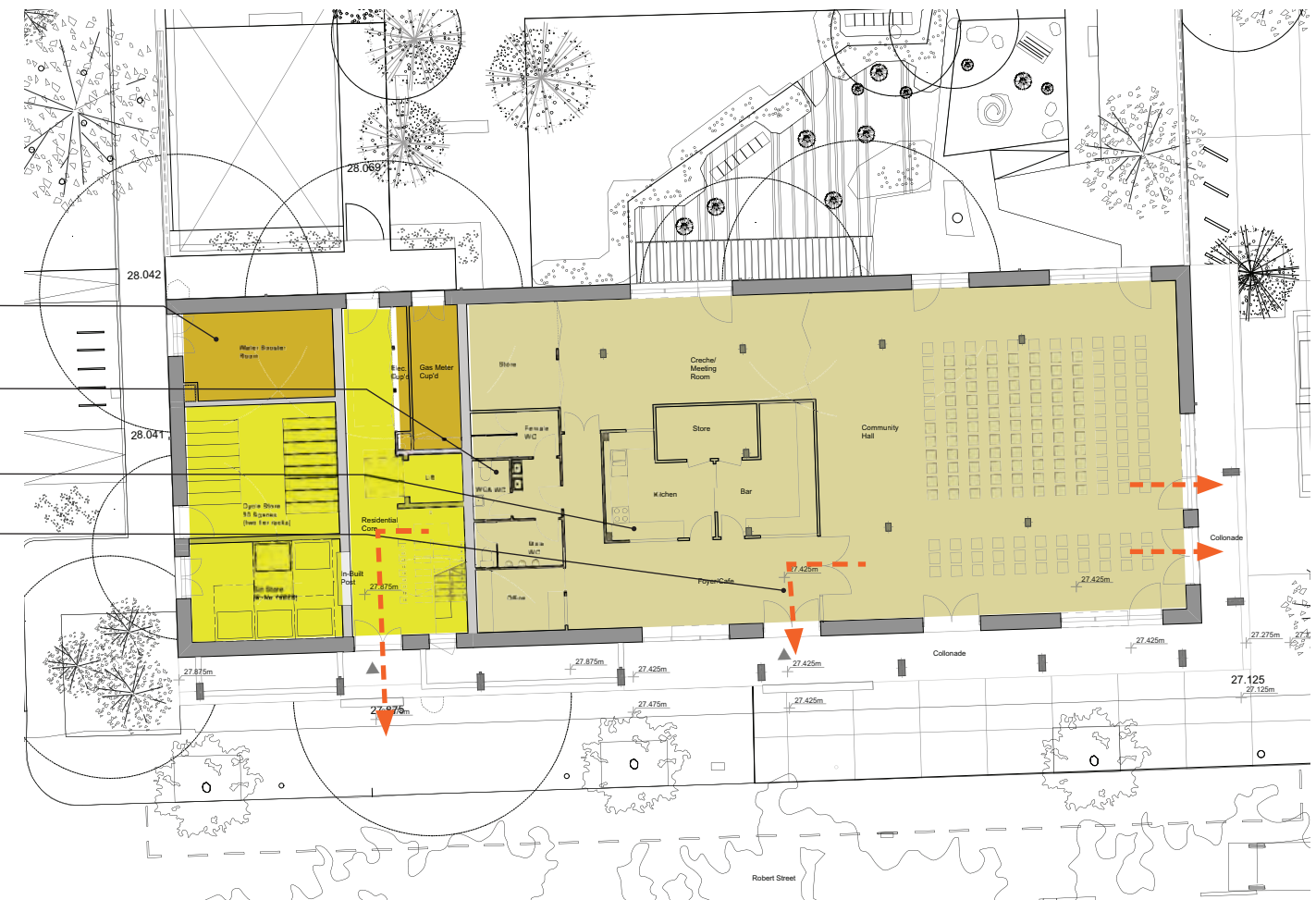
### Lifetime Homes/Wheelchair Access

The proposal complies with Lifetime Homes, certain areas of the design have been discussed with Michelle Horn at LBC, where the LTH guidance is open to interpretation, and these are described below.

- All homes have level access entrances.
- The maisonettes at have easy going stairs at entrance level in order to mitigate the small level change, this has been agreed with the access officer at Camden.
- An alternative plan for the 2nd floor west end flat is shown on the next page.



- Plant spaces located within residential core at ground floor
- WC's to community centre located at West end of plan
- Kitchen and Bar located centrally
- Fire escapes to community centre as shown

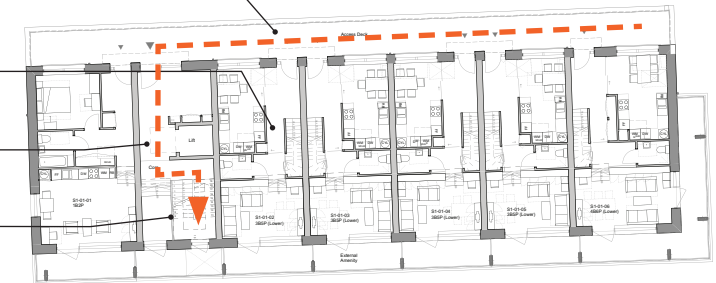


Annotated Ground Floor Plan - Not to Scale

Robert Street					
Unit Type	No. of Units	o/a Camden		Total	
		waste	bikes (min)	Waste	bikes (min)
1 Bed	1	200	2	200	2
2 Bed	5	250	2	1250	10
3 Bed	6	350	2	2100	12
4 Bed	1	400	2	400	2
5 Bed	0	450	2	0	0
<b>Totals</b>	<b>13</b>			<b>3950</b>	<b>26</b>
Total No of 1280L General Waste bins required				2.2	
Total No of 1280L Recycling Waste bins required				0.9	

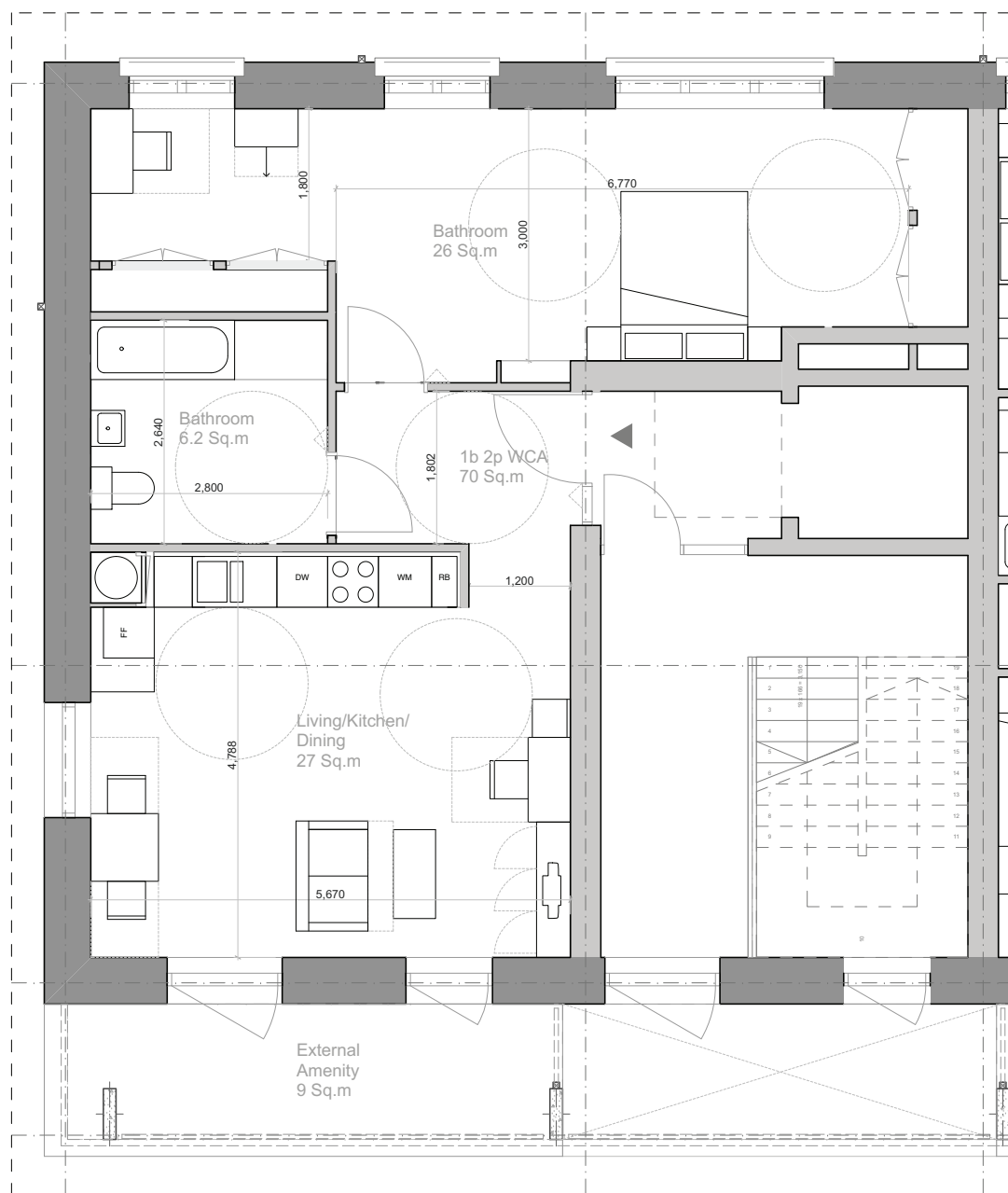
### Fire Strategy plan

- Escape via deck, sill heights to be 1.1m height
- Smoke alarms and FD30 Doors within maisonettes
- 2nd floor to have ventilated lobby compartment
- Dry Riser in core

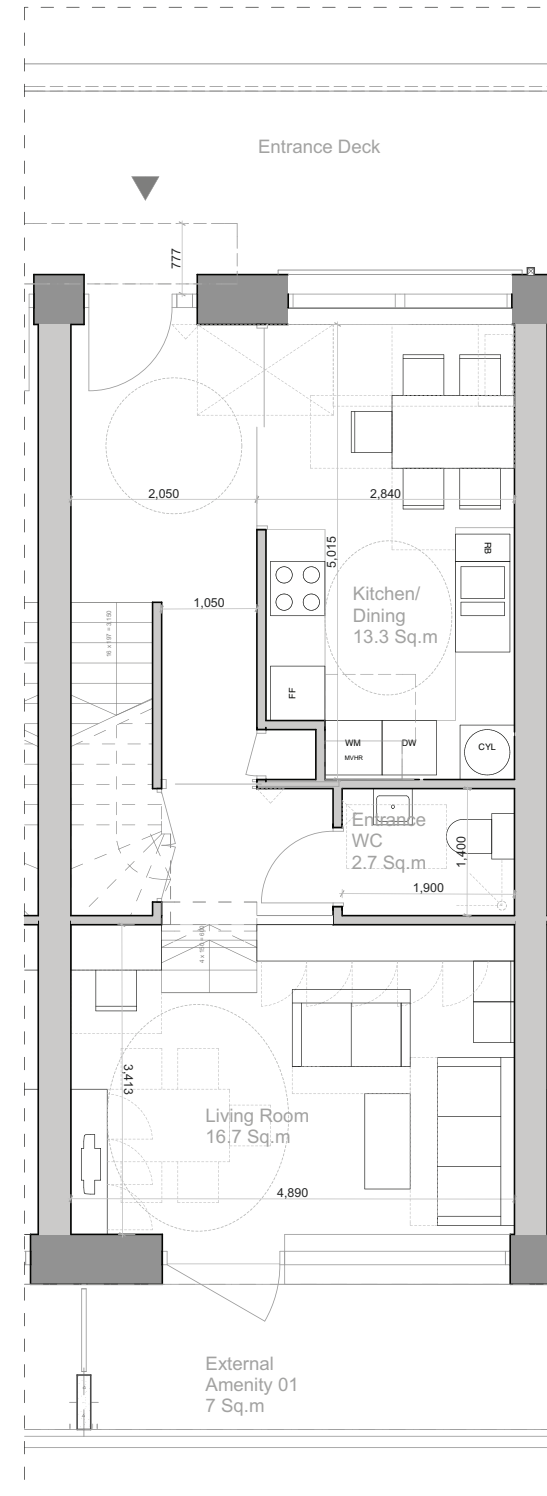




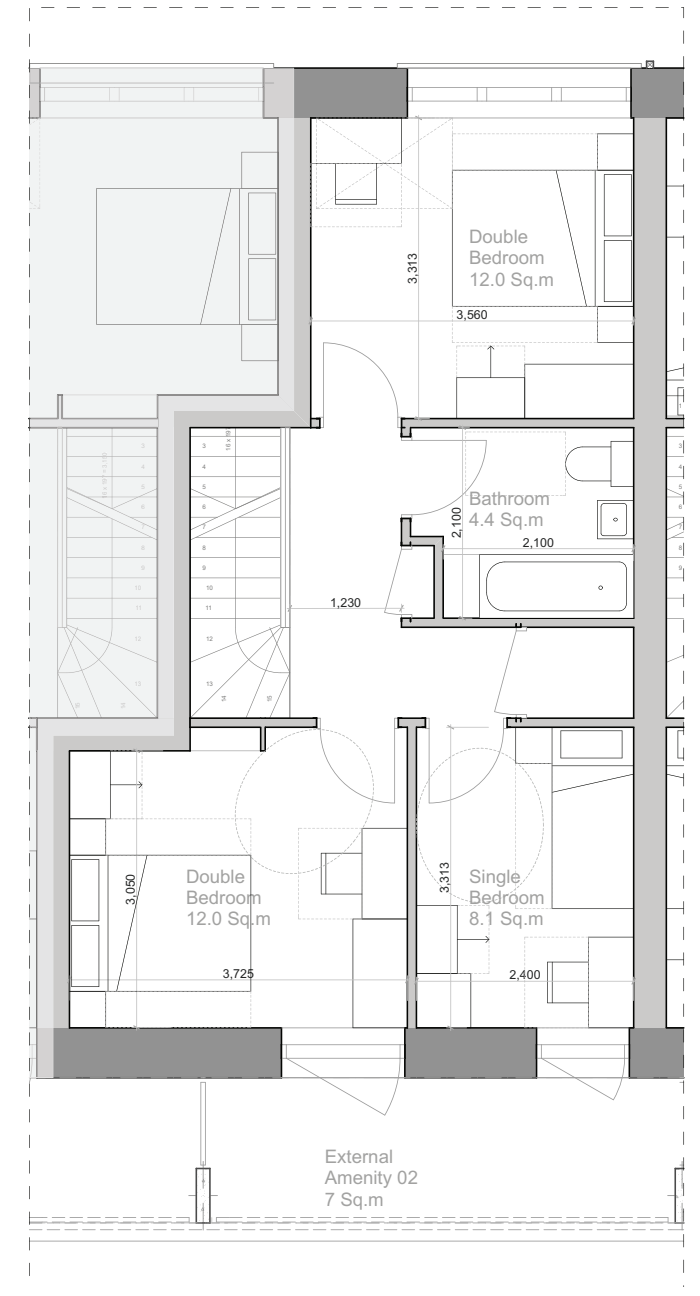
Wheelchair housing has been provided across the replacement homes to meet the assessed housing need of the red blocks. A number of units have also been identified that have the flexibility to be converted to a wheelchair home if housing need changes in order to deliver 10% of the units as wheelchair homes. These floorplans illustrate the option of converting a typical 2b3p unit in Robert street into a 1b2p Wheelchair accessible flat (Habinteg w/ Camden 1800mm turning circles)



Alternative Wheelchair Flat arrangement: standard 2B3P conversion to a 1B2P wheelchair accessible unit



Typical LTH 3B maisonette - 1st floor

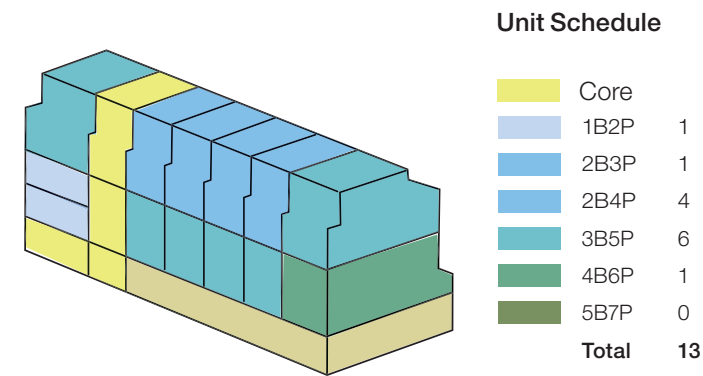


Typical LTH 3B maisonette - 2nd floor



DWELLING REFERENCE	LHDG AREA	TOTAL RESIDENTIAL NIA-Flat	DWELLING TYPE	HABITABLE ROOMS
Plot-Level-Unit	sq.m	sq.m	xBxP	
<b>GROUND FLOOR</b>				
<b>FIRST FLOOR</b>				
S1 01 01	50	57	1B2P	2
S1 01 02	96	98	3B5P	5
S1 01 03	96	98	3B5P	5
S1 01 04	96	98	3B5P	5
S1 01 05	96	98	3B5P	5
S1 01 06	107	114	4B6P	6
<b>SECOND FLOOR</b>				
S1 02 01	70	70	2B4P	3
<b>THIRD FLOOR</b>				
<b>FOURTH FLOOR</b>				
S1 04 01	87	98	3B4P	5
S1 04 02	77	84	2B3P	3
S1 04 03	77	84	2B3P	3
S1 04 04	77	84	2B3P	3
S1 04 05	77	84	2B3P	3
S1 04 06	87	98	3B4P	5

UNIT SUMMARY	
<b>Studio</b>	
1B2P	1
1B2P WCH	
2B3P	4
2B4P	1
3B4P	2
3B5P	4
3B6P	
4B6P	1
<b>TOTAL</b>	<b>13</b>







# 6.2.2 VARNDELL STREET CORNER PLOT

## 6.2.2 Varndell street

### Contextual Analysis

The Varndell Street site, is located within the estate, at the corner of Varndell Street and Stanhope Street, it is currently occupied by green space, which is fenced in so not accessible by residents. The site has 3 storey maisonettes, which have a weak relationship with the green space and street corner.

Analysis of the immediate context showed that there were two predominant building typologies which are of relevance in the immediate vicinity of Varndell St & Stanhope Street Junction.

Firstly the Camden Council blocks to the North and East. These have chequerboard elevations, concrete banding and coloured render. Secondly there are the Peabody Estate buildings to the west of the site, which have an attractive Clinker brick base plinth and London stock on upper floors, generous windows and a series of stepped back upper levels.

The row of small houses immediately to the West along Varndell Street are not considered to sit comfortably with the character of this area, and their high rear garden walls creates a poor relationship with the public realm, as no direct overlooking is possible of the green open space behind.



Existing maisonettes



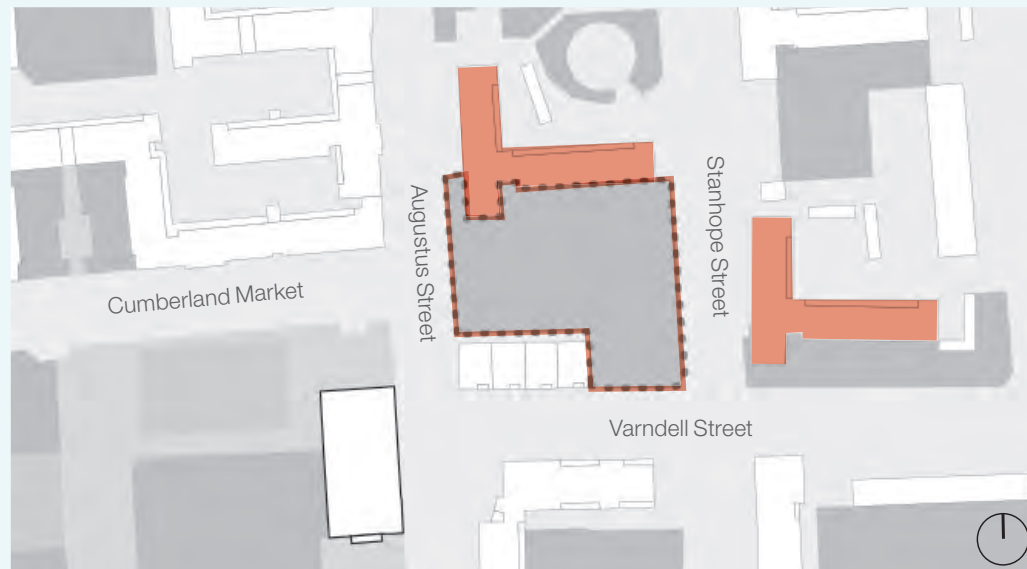
Surrounding 9 Storey blocks



Site aerial view

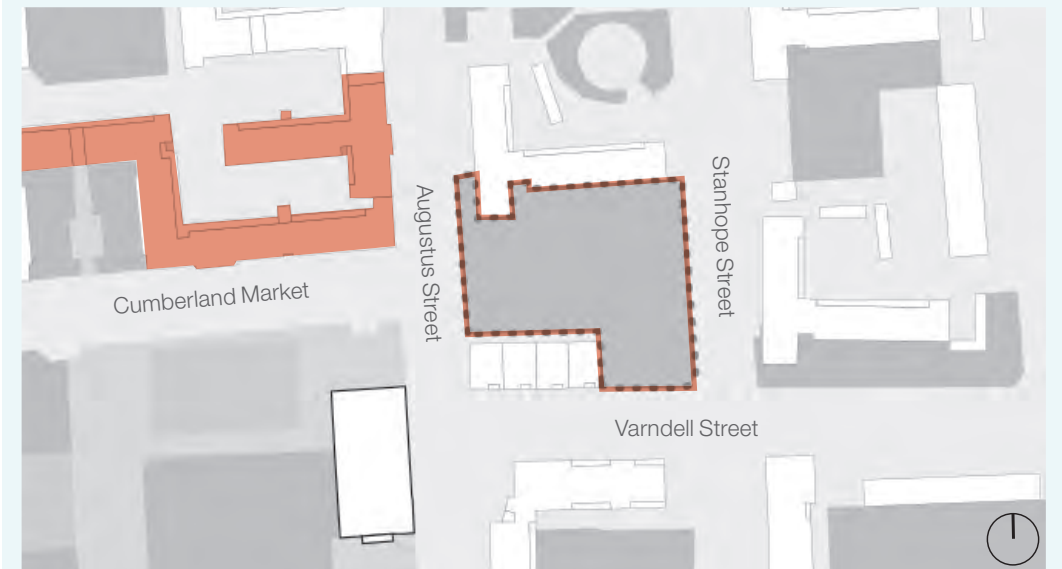
### Existing Typology 1:

Camden Council chequerboard blocks. 9 storeys.



### Existing Typology 2:

Peabody Estate blocks. 5/6 storeys.





**Site Constraints**

The plan to the right shows the site constraints to the Varndell Street Corner site. The green space is currently open at the South East corner and allows views through the estate. The site is adjoined by 3 storey maisonettes, that have small windows on their gable end, which are not principal windows. The existing buildings neighbouring the site are generally 8-9 storeys, and the maisonettes are 3 storeys. The generous nature of the site means that it is possible to add a new block without a significant impact upon the neighbouring properties.



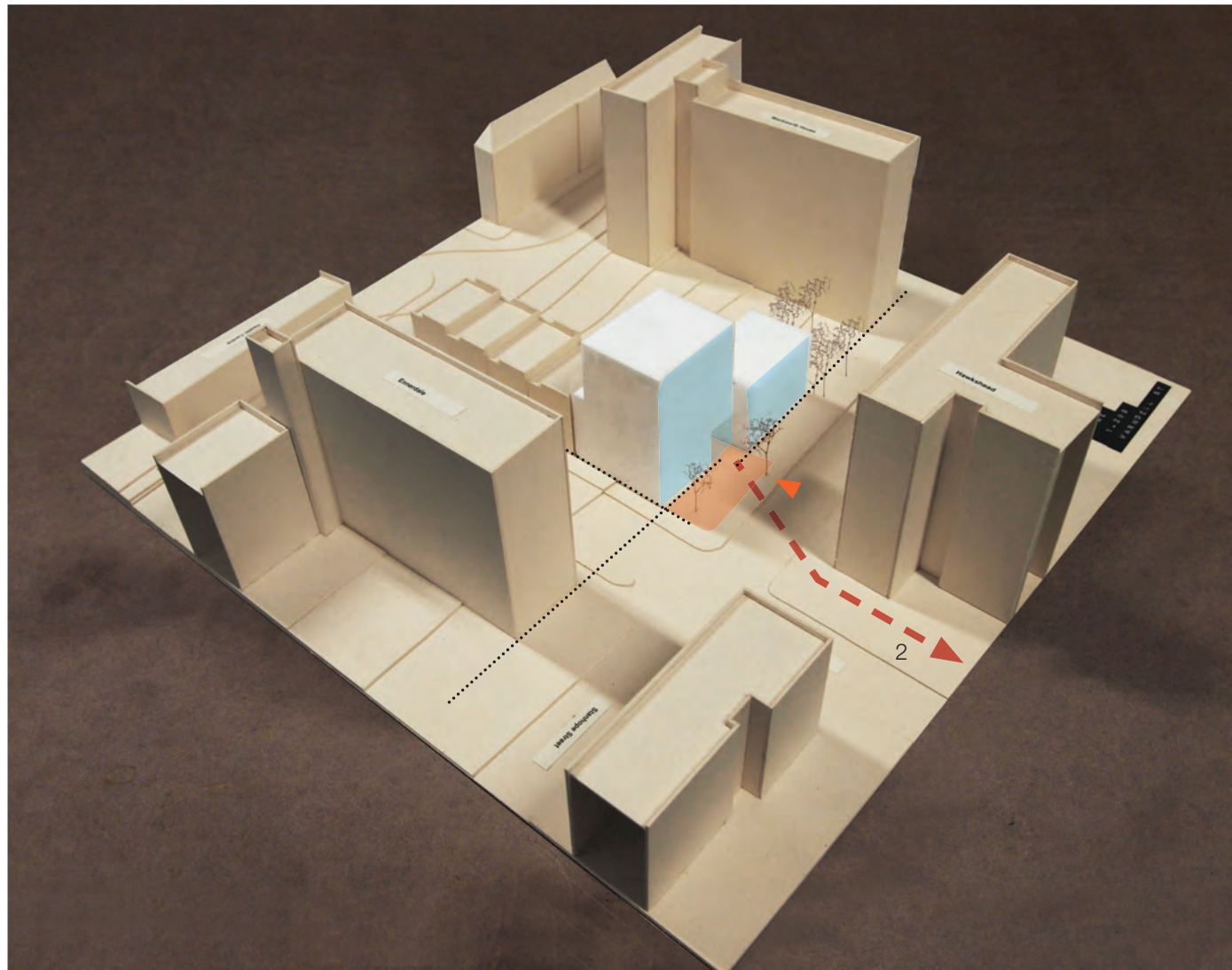
Existing maisonettes have a poor relationship with public space

- Primary Vehicle Route
- Secondary Vehicle Route
- Key pedestrian route or view
- Primary facades
- Space with potential to be improved
- Regents Park Conservation Area
- Trees to be removed
- Trees to be retained



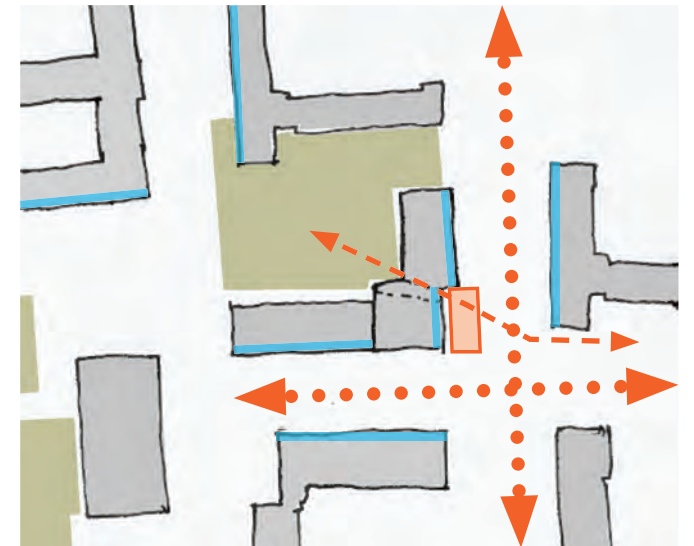
## Design Approach

The proposed building form is split into two volumes, set back away from the street to align with the blocks to the North and South. The increase in height and set back mean that the loss of open space can be minimised. Setting back the building volumes creates a small public space on the street, similar to that found just to the South on Stanhope street. The entrance of the building is at the point where these two volumes connect, creating a clear main entrance. This entrance also forms a visible connection through to the communal garden, which was a key driver to maintain the strength of the corner on the existing site.

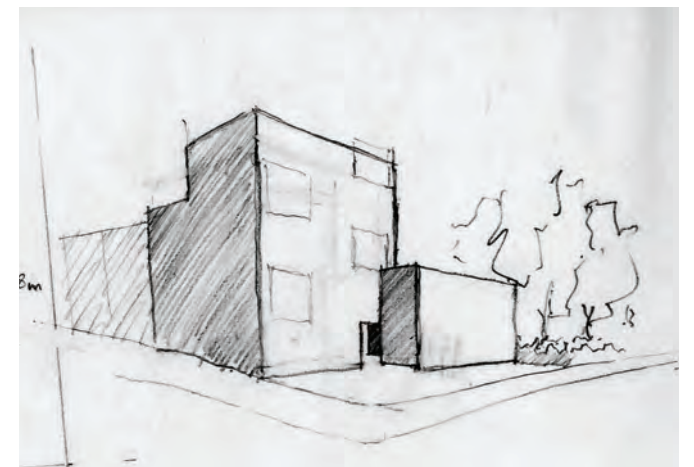


1:200 model study. 6 storeys. Joint blocks. Smaller mass recessed in line with gable blocks

- ..... Building Alignment with Context
- > Key pedestrian route or view
- Public square
- Primary Facade
- ▶ Clear Communal Entrance



Proposed building plan showing building in context



Concept Sketch