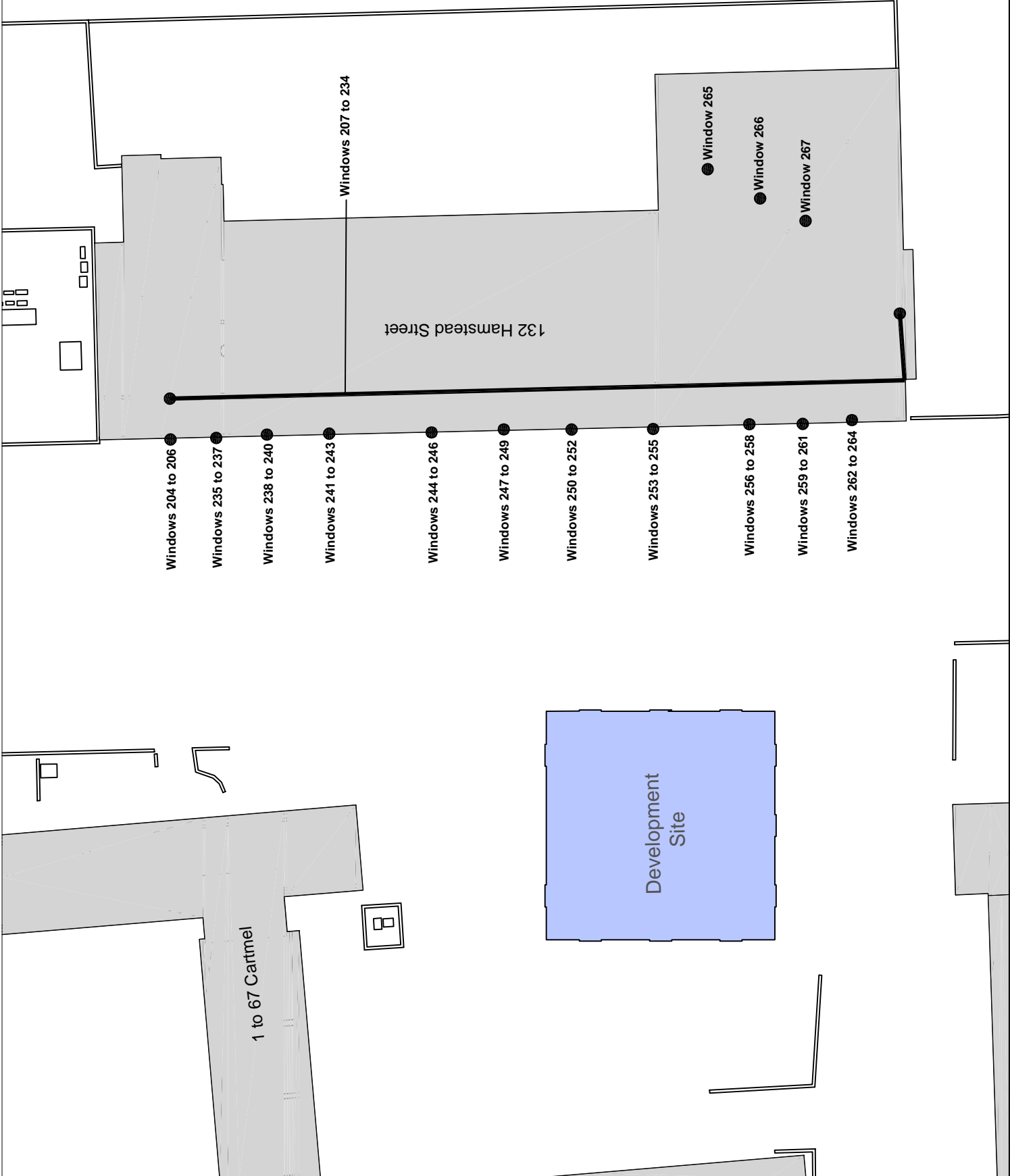




# Window & Garden Key



## Key

- Window reference
- Development site
- Neighbouring Properties
- Ⓜ Neighbouring Gardens and Amenity Areas

Project Name	Regents Park Estate, London NW1 4BX	
Drawing Title	Appendix 4.1 - Neighbouring Windows	
Scale	Do not scale	
Drawing No.	2 of 3	Rev. -
Rev.		
Drawn		
Checked		
Approved		



**RIGHT OF LIGHT CONSULTING**  
Chartered Surveyors

Burley House  
15 - 17 High Street  
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Essex SS6 7EW

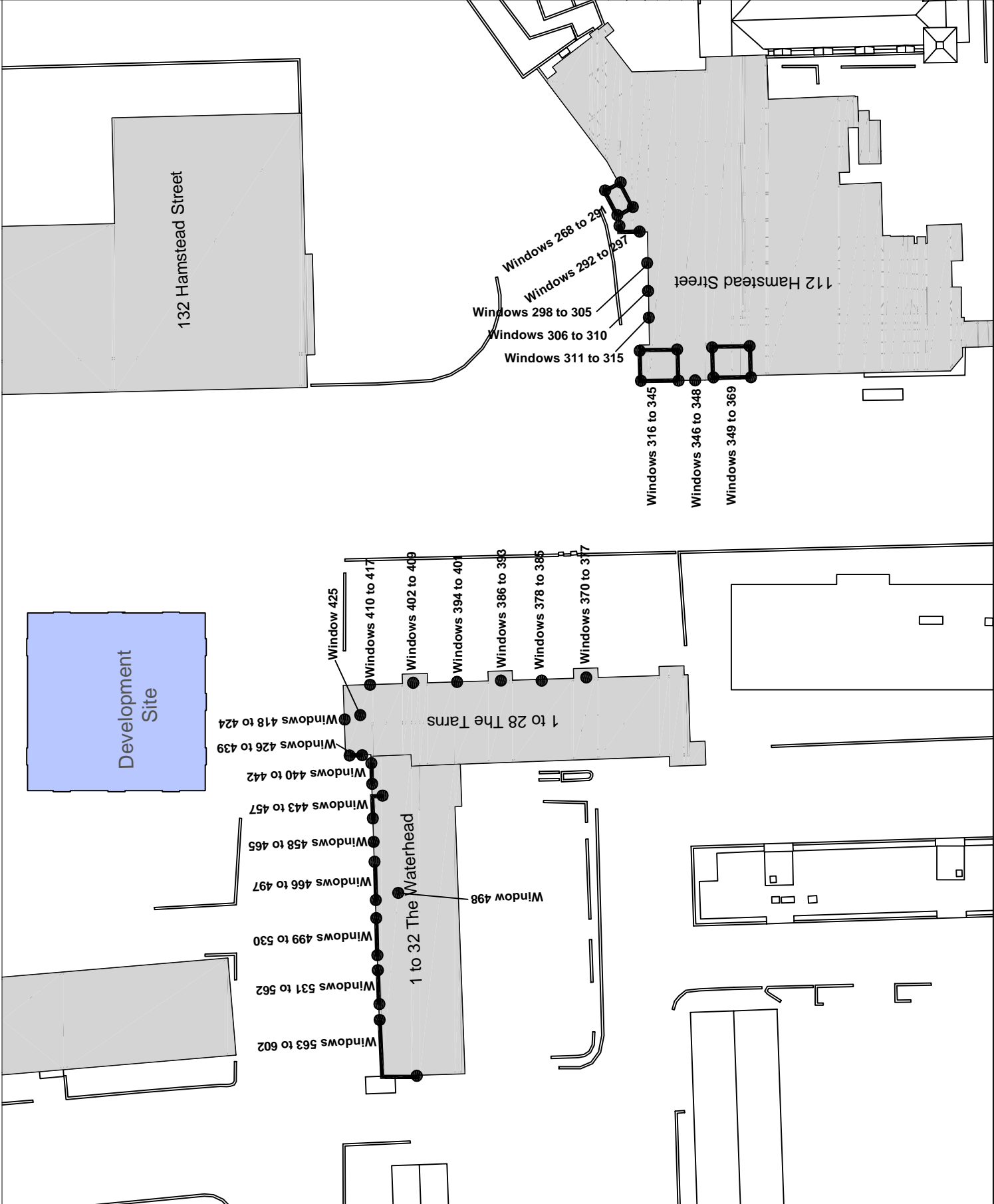
Tel. 0800 197 4838

enquiries@right-of-light.co.uk  
www.right-of-light-consulting.com

**Window & Garden Key**

**Key**

- Window reference
- Development site
- Neighbouring Properties
- G1 Neighbouring Gardens and Amenity Areas



Project Name: **Regents Park Estate, London NW1 4BX**

Drawing Title: **Appendix 4.1 - Neighbouring Windows**

Scale: **Do not scale**

Sheet: **3 of 3**

Rev	Date	Description of revision

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## Neighbouring Windows



1 to 15 Newlands



1 to 15 Newlands





1 to 15 Newlands



1 to 15 Newlands



**1 to 15 Newlands**



**1 to 15 Newlands**





1 to 15 Newlands



1 to 15 Newlands



1 to 15 Newlands



1 to 15 Newlands





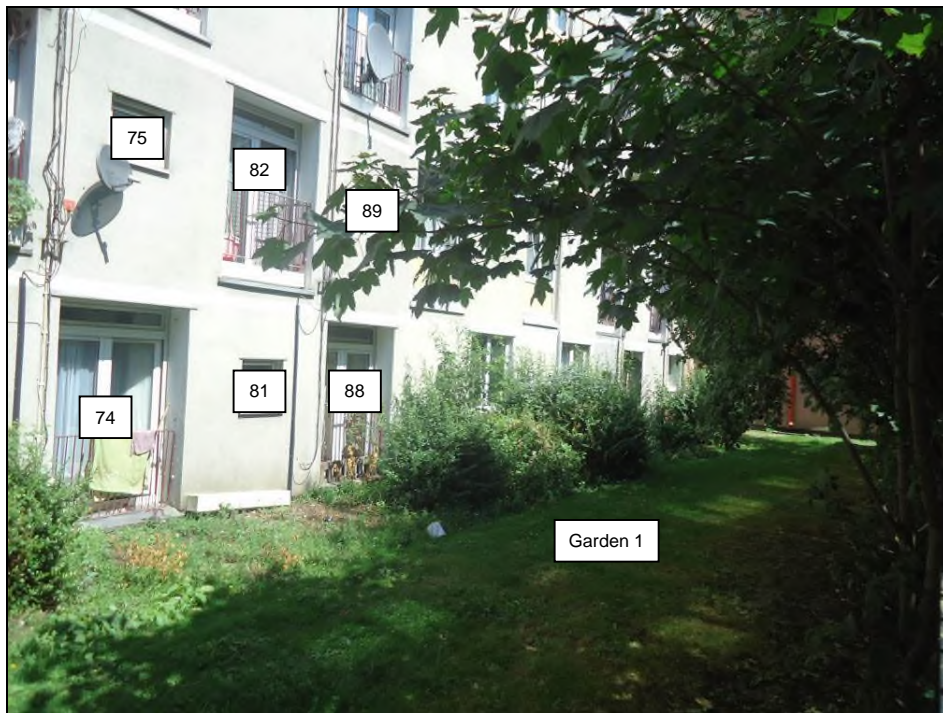
**1 to 15 Newlands**



**1 to 15 Newlands**



1 to 67 Cartmel



1 to 67 Cartmel



**1 to 67 Cartmel**



**1 to 67 Cartmel**





**1 to 67 Cartmel**



**1 to 67 Cartmel**



**1 to 67 Cartmel**

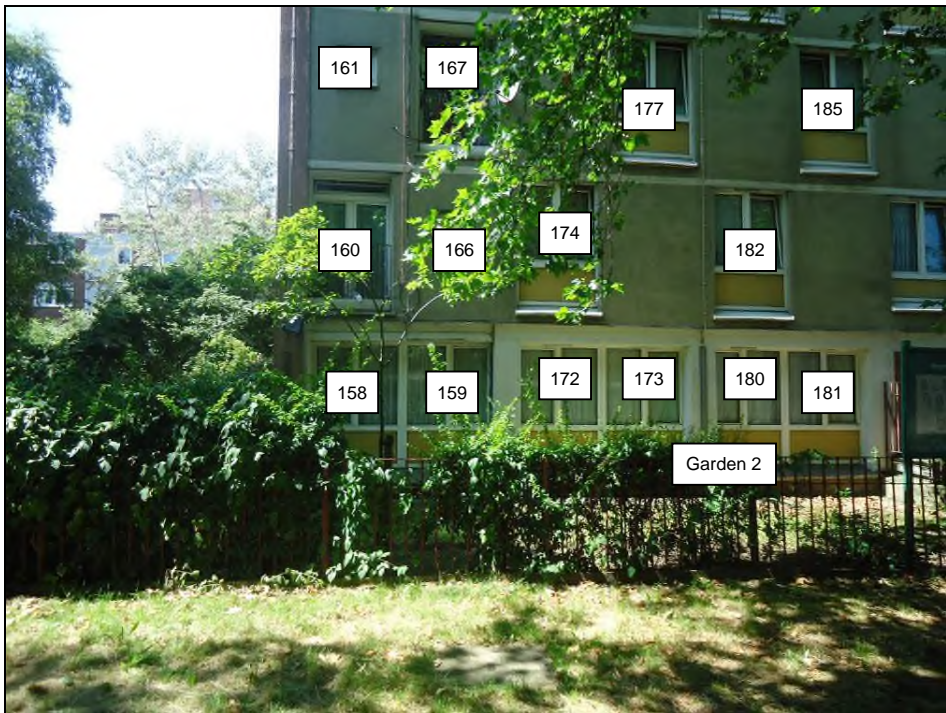


**1 to 67 Cartmel**





**1 to 67 Cartmel**



**1 to 67 Cartmel**





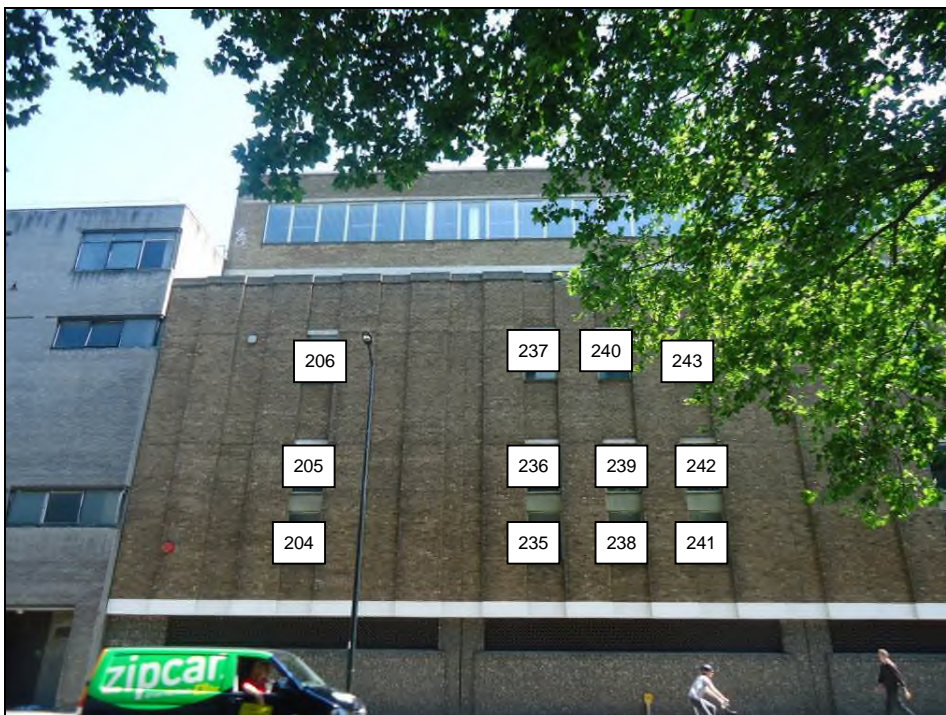
**1 to 67 Cartmel**



**1 to 67 Cartmel**



**1 to 67 Cartmel**

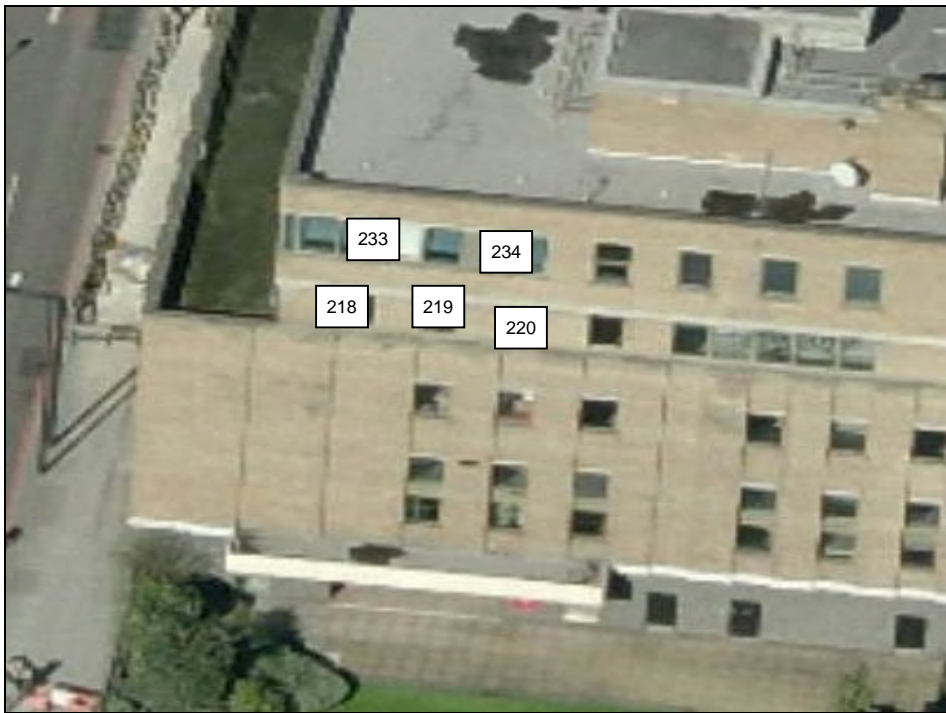


**132 Hampstead Road**



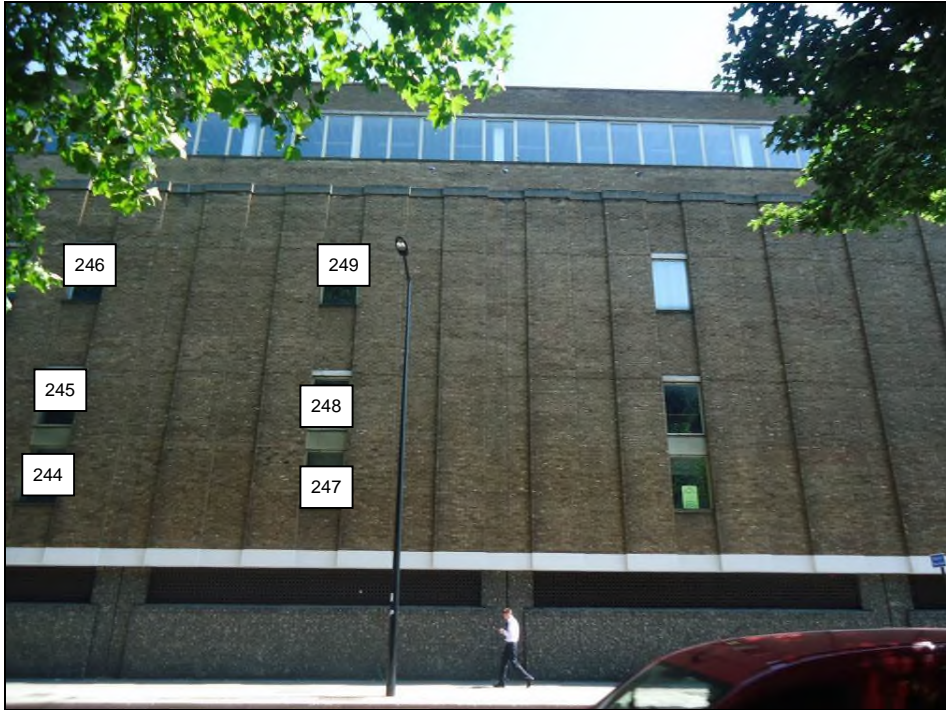


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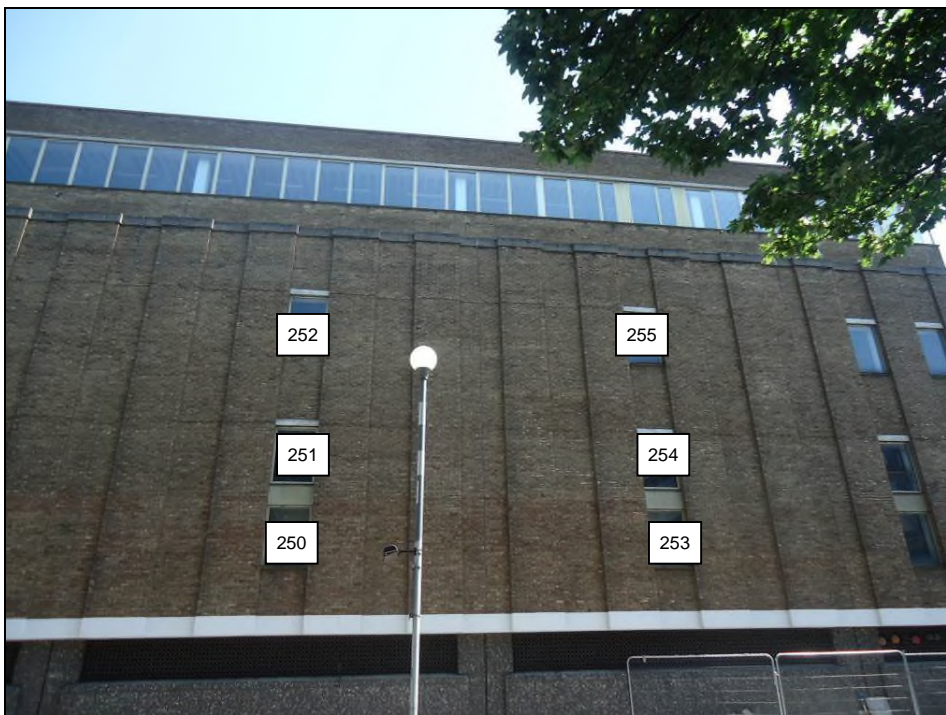


**132 Hampstead Road**

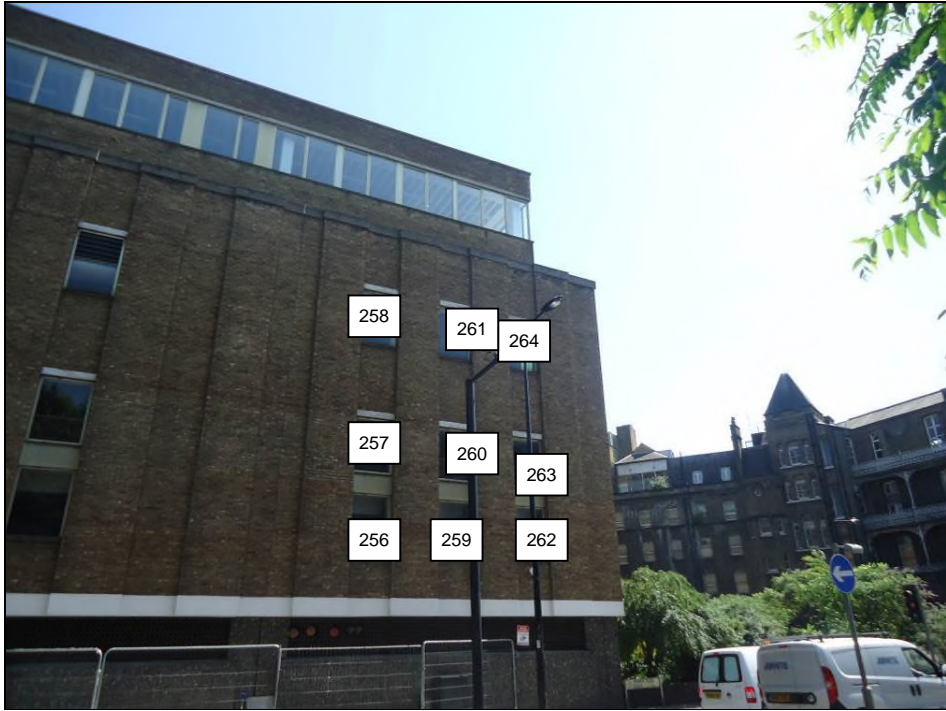




**132 Hampstead Road**



**132 Hampstead Road**

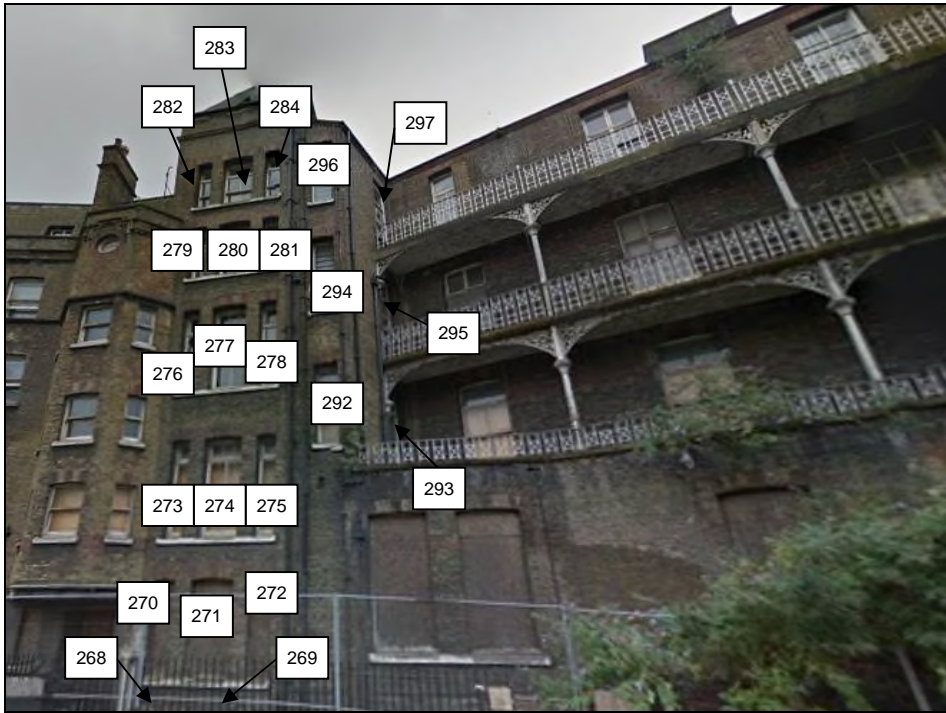


**132 Hampstead Road**



**132 Hampstead Road**





**112 Hamstead Street**



**112 Hamstead Street**





**112 Hamstead Street**



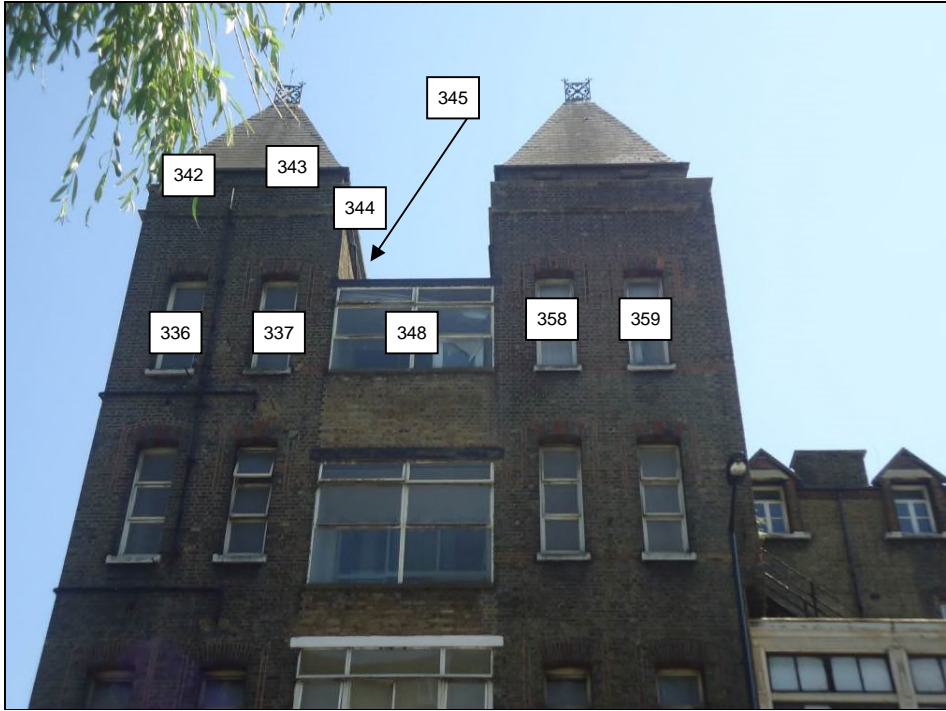
**112 Hamstead Street**



**112 Hampstead Street**



**112 Hampstead Street**



**112 Hampstead Street**



**112 Hampstead Street**

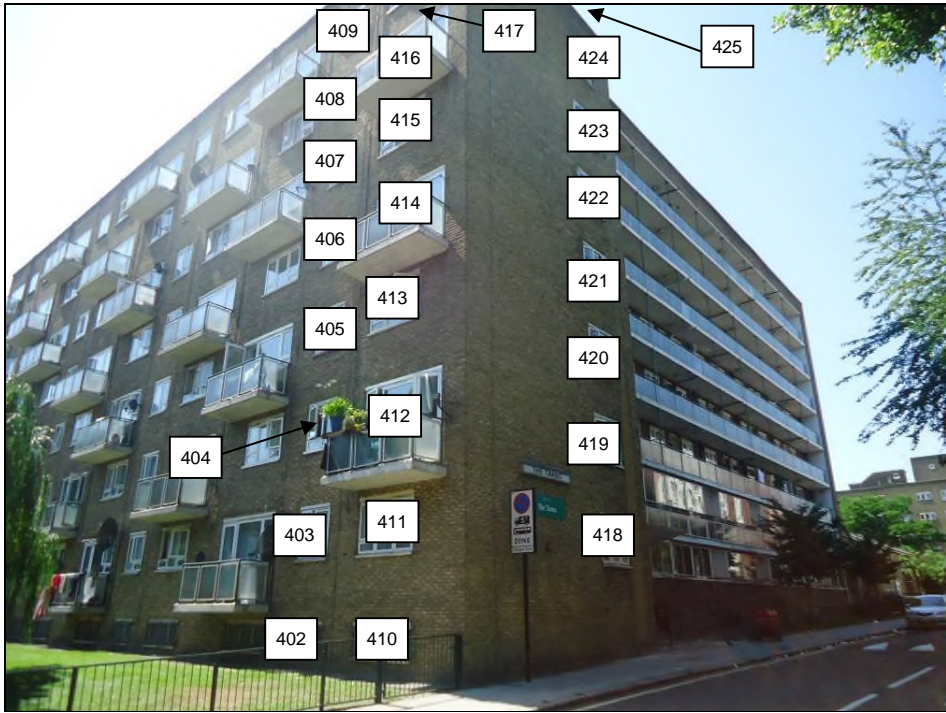




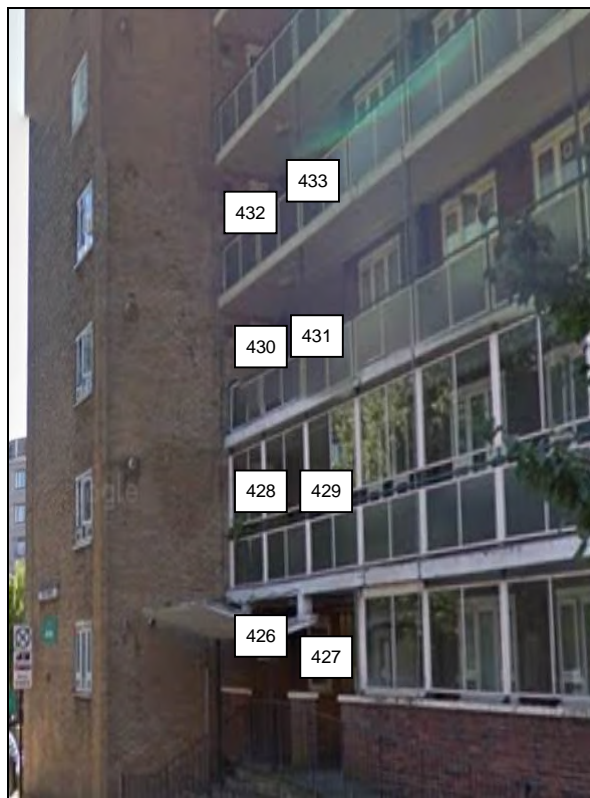
**112 Hampstead Street**



**1 to 28 The Tarns**



**1 to 28 The Tarns**



**1 to 28 The Tarns**



**1 to 28 The Tarns**



**1 to 32 Waterhead**





**1 to 32 Waterhead**



**1 to 32 Waterhead**



**1 to 32 Waterhead**



**1 to 32 Waterhead**



**1 to 32 Waterhead**



---

## **APPENDIX 4.2**

### **DAYLIGHT AND SUNLIGHT RESULTS**

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
<u>1 to 15 Newlands</u>					
Window 1	Non Habitable	0.7%	0.2%	0.5%	0.29
Window 2	Non Habitable	2.7%	1.3%	1.4%	0.48
Window 3	Habitable	16.6%	16.6%	0.0%	1.0
Window 4	Habitable	27.9%	18.3%	9.6%	<b>0.66</b>
Window 5	Habitable	18.4%	18.4%	0.0%	1.0
Window 6	Habitable	29.6%	19.9%	9.7%	<b>0.67</b>
Window 7	Habitable	20.8%	20.8%	0.0%	1.0
Window 8	Habitable	31.2%	21.6%	9.6%	<b>0.69</b>
Window 9	Non Habitable Kitchen	1.6%	0.7%	0.9%	0.44
Window 10	Habitable	28.7%	18.4%	10.3%	<b>0.64</b>
Window 11	Habitable	30.3%	19.9%	10.4%	<b>0.66</b>
Window 12	Habitable	32.0%	21.5%	10.5%	<b>0.67</b>
Window 13	Non Habitable	1.1%	0.3%	0.8%	0.27
Window 14	Non Habitable	3.0%	1.2%	1.8%	0.4
Window 15	Habitable	29.1%	18.5%	10.6%	<b>0.64</b>
Window 16	Habitable	30.8%	20.0%	10.8%	<b>0.65</b>
Window 17	Habitable	32.3%	21.6%	10.7%	<b>0.67</b>
Window 18	Non Habitable Kitchen	1.7%	0.7%	1.0%	0.41
Window 19	Habitable	29.4%	18.9%	10.5%	<b>0.64</b>
Window 20	Habitable	31.0%	20.4%	10.6%	<b>0.66</b>
Window 21	Habitable	32.6%	22.2%	10.4%	<b>0.68</b>
Window 22	Non Habitable	0.8%	0.4%	0.4%	0.5
Window 23	Non Habitable	3.0%	1.2%	1.8%	0.4
Window 24	Habitable	29.3%	19.4%	9.9%	<b>0.66</b>
Window 25	Habitable	31.0%	21.2%	9.8%	<b>0.68</b>
Window 26	Habitable	32.6%	22.8%	9.8%	0.7
Window 27	Non Habitable Kitchen	1.3%	0.5%	0.8%	0.38
Window 28	Habitable	29.1%	20.3%	8.8%	0.7
Window 29	Habitable	30.8%	21.8%	9.0%	0.71
Window 30	Habitable	32.5%	23.7%	8.8%	0.73
Window 31	Non Habitable	1.9%	0.8%	1.1%	0.42
Window 32	Non Habitable	28.5%	20.4%	8.1%	0.72
Window 33	Non Habitable	30.3%	22.3%	8.0%	0.74

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 34	Non Habitable	32.1%	24.2%	7.9%	0.75
Window 35	Non Habitable	0.8%	0.5%	0.3%	0.63
Window 36	Non Habitable	2.4%	1.1%	1.3%	0.46
Window 37	Habitable	27.9%	20.3%	7.6%	0.73
Window 38	Habitable	29.7%	22.2%	7.5%	0.75
Window 39	Habitable	31.7%	24.3%	7.4%	0.77
Window 40	Non Habitable Kitchen	1.1%	0.5%	0.6%	0.45
Window 41	Habitable	26.8%	19.9%	6.9%	0.74
Window 42	Habitable	28.8%	22.0%	6.8%	0.76
Window 43	Habitable	30.8%	24.2%	6.6%	0.79
Window 44	Non Habitable	0.6%	0.4%	0.2%	0.67
Window 45	Non Habitable	2.2%	1.2%	1.0%	0.55
Window 46	Habitable	25.5%	19.2%	6.3%	0.75
Window 47	Habitable	27.4%	21.3%	6.1%	0.78
Window 48	Habitable	29.8%	23.8%	6.0%	0.8
Window 49	Non Habitable Kitchen	0.9%	0.4%	0.5%	0.44
Window 50	Habitable	23.4%	17.8%	5.6%	0.76
Window 51	Habitable	25.7%	20.2%	5.5%	0.79
Window 52	Habitable	27.8%	22.6%	5.2%	0.81
<u>1 to 67 Cartmel</u>					
Window 53	Habitable	19.3%	15.6%	3.7%	0.81
Window 54	Habitable	32.4%	29.0%	3.4%	0.9
Window 55	Habitable	36.0%	33.0%	3.0%	0.92
Window 56	Habitable	17.3%	13.2%	4.1%	0.76
Window 57	Habitable	25.5%	21.6%	3.9%	0.85
Window 58	Habitable	34.9%	31.5%	3.4%	0.9
Window 59	Habitable	37.0%	34.1%	2.9%	0.92
Window 60	Habitable	22.4%	18.2%	4.2%	0.81
Window 61	Habitable	32.6%	28.6%	4.0%	0.88
Window 62	Habitable	36.1%	32.6%	3.5%	0.9
Window 63	Habitable	21.1%	16.4%	4.7%	0.78
Window 64	Habitable	27.9%	23.5%	4.4%	0.84
Window 65	Habitable	34.8%	30.8%	4.0%	0.89



**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 66	Habitable	37.1%	33.7%	3.4%	0.91
Window 67	Habitable	22.3%	17.3%	5.0%	0.78
Window 68	Habitable	21.0%	16.2%	4.8%	0.77
Window 69	Habitable	28.7%	23.9%	4.8%	0.83
Window 70	Habitable	28.0%	23.5%	4.5%	0.84
Window 71	Habitable	34.7%	30.4%	4.3%	0.88
Window 72	Habitable	31.2%	27.2%	4.0%	0.87
Window 73	Habitable	37.0%	33.4%	3.6%	0.9
Window 74	Habitable	19.6%	14.4%	5.2%	0.73
Window 75	Habitable	26.2%	21.0%	5.2%	0.8
Window 76	Habitable	25.2%	20.2%	5.0%	0.8
Window 77	Habitable	32.7%	27.9%	4.8%	0.85
Window 78	Habitable	30.1%	25.5%	4.6%	0.85
Window 79	Habitable	36.0%	31.7%	4.3%	0.88
Window 80	Habitable	32.0%	28.1%	3.9%	0.88
Window 81	Non Habitable	24.5%	18.9%	5.6%	0.77
Window 82	Habitable	23.1%	17.6%	5.5%	0.76
Window 83	Habitable	30.1%	24.7%	5.4%	0.82
Window 84	Habitable	28.4%	23.3%	5.1%	0.82
Window 85	Habitable	34.7%	29.8%	4.9%	0.86
Window 86	Habitable	31.2%	26.6%	4.6%	0.85
Window 87	Habitable	37.0%	32.8%	4.2%	0.89
Window 88	Habitable	21.7%	15.8%	5.9%	0.73
Window 89	Non Habitable	27.8%	22.0%	5.8%	0.79
Window 90	Habitable	26.3%	20.6%	5.7%	0.78
Window 91	Habitable	33.0%	27.5%	5.5%	0.83
Window 92	Habitable	30.2%	24.9%	5.3%	0.82
Window 93	Habitable	36.0%	31.0%	5.0%	0.86
Window 94	Habitable	32.0%	27.4%	4.6%	0.86
Window 95	Habitable	28.5%	22.3%	6.2%	0.78
Window 96	Habitable	33.2%	27.4%	5.8%	0.83
Window 97	Habitable	36.0%	30.8%	5.2%	0.86
Window 98	Habitable	26.6%	20.0%	6.6%	0.75

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 99	Habitable	31.1%	24.7%	6.4%	0.79
Window 100	Habitable	34.7%	28.8%	5.9%	0.83
Window 101	Habitable	37.0%	31.9%	5.1%	0.86
Window 102	Habitable	29.0%	22.2%	6.8%	0.77
Window 103	Habitable	33.1%	26.6%	6.5%	0.8
Window 104	Habitable	35.9%	30.0%	5.9%	0.84
Window 105	Habitable	27.0%	19.8%	7.2%	0.73
Window 106	Habitable	31.0%	24.0%	7.0%	0.77
Window 107	Habitable	34.3%	27.7%	6.6%	0.81
Window 108	Habitable	37.0%	31.3%	5.7%	0.85
Window 109	Habitable	26.8%	19.2%	7.6%	0.72
Window 110	Habitable	25.3%	17.9%	7.4%	0.71
Window 111	Non Habitable	30.5%	23.1%	7.4%	0.76
Window 112	Habitable	28.5%	21.4%	7.1%	0.75
Window 113	Habitable	33.8%	26.9%	6.9%	0.8
Window 114	Habitable	30.7%	24.2%	6.5%	0.79
Window 115	Habitable	36.9%	30.8%	6.1%	0.83
Window 116	Habitable	23.6%	15.8%	7.8%	0.67
Window 117	Non Habitable	28.3%	20.5%	7.8%	0.72
Window 118	Habitable	26.5%	18.9%	7.6%	0.71
Window 119	Non Habitable	31.6%	24.1%	7.5%	0.76
Window 120	Habitable	29.2%	22.0%	7.2%	0.75
Window 121	Habitable	35.0%	28.1%	6.9%	0.8
Window 122	Habitable	31.7%	25.4%	6.3%	0.8
Window 123	Habitable	24.2%	16.1%	8.1%	0.67
Window 124	Habitable	26.8%	19.1%	7.7%	0.71
Window 125	Habitable	29.8%	22.7%	7.1%	0.76
Window 126	Habitable	21.5%	13.4%	8.1%	0.62
Window 127	Habitable	23.8%	15.8%	8.0%	0.66
Window 128	Habitable	26.4%	18.8%	7.6%	0.71
Window 129	Habitable	30.9%	24.0%	6.9%	0.78
Window 130	Non Habitable	15.4%	11.9%	3.5%	0.77
Window 131	Non Habitable	16.2%	12.7%	3.5%	0.78

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 132	Non Habitable	17.0%	13.5%	3.5%	0.79
Window 133	Non Habitable	17.9%	14.4%	3.5%	0.8
Window 134	Non Habitable	19.0%	15.6%	3.4%	0.82
Window 135	Non Habitable	21.0%	17.6%	3.4%	0.84
Window 136	Non Habitable	26.8%	22.4%	4.4%	0.84
Window 137	Non Habitable	11.2%	11.1%	0.1%	0.99
Window 138	Non Habitable	12.1%	12.0%	0.1%	0.99
Window 139	Non Habitable	12.8%	12.7%	0.1%	0.99
Window 140	Non Habitable	13.5%	13.4%	0.1%	0.99
Window 141	Non Habitable	14.2%	14.1%	0.1%	0.99
Window 142	Non Habitable	15.0%	14.9%	0.1%	0.99
Window 143	Non Habitable	17.2%	17.1%	0.1%	0.99
Window 144	Non Habitable	15.9%	15.8%	0.1%	0.99
Window 145	Non Habitable	17.2%	17.0%	0.2%	0.99
Window 146	Non Habitable	18.4%	18.2%	0.2%	0.99
Window 147	Non Habitable	19.7%	19.6%	0.1%	0.99
Window 148	Non Habitable	21.3%	21.2%	0.1%	1.0
Window 149	Non Habitable	23.8%	23.7%	0.1%	1.0
Window 150	Non Habitable	28.6%	28.5%	0.1%	1.0
Window 151	Non Habitable Kitchen	18.0%	17.8%	0.2%	0.99
Window 152	Non Habitable Kitchen	19.6%	19.5%	0.1%	0.99
Window 153	Non Habitable Kitchen	21.4%	21.2%	0.2%	0.99
Window 154	Non Habitable Kitchen	23.4%	23.2%	0.2%	0.99
Window 155	Non Habitable Kitchen	25.9%	25.7%	0.2%	0.99
Window 156	Non Habitable Kitchen	29.3%	29.1%	0.2%	0.99
Window 157	Non Habitable Kitchen	33.6%	33.4%	0.2%	0.99
Window 158	Habitable	20.7%	20.6%	0.1%	1.0
Window 159	Habitable	20.5%	20.0%	0.5%	0.98
Window 160	Habitable	22.8%	22.8%	0.0%	1.0
Window 161	Habitable	29.8%	28.7%	1.1%	0.96
Window 162	Habitable	26.6%	26.6%	0.0%	1.0
Window 163	Habitable	33.7%	32.6%	1.1%	0.97
Window 164	Habitable	30.3%	30.3%	0.0%	1.0



**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 165	Habitable	37.2%	36.2%	1.0%	0.97
Window 166	Habitable	27.9%	26.9%	1.0%	0.96
Window 167	Habitable	24.8%	24.8%	0.0%	1.0
Window 168	Habitable	31.9%	30.9%	1.0%	0.97
Window 169	Habitable	28.6%	28.6%	0.0%	1.0
Window 170	Habitable	35.6%	34.7%	0.9%	0.97
Window 171	Habitable	32.0%	32.0%	0.0%	1.0
Window 172	Habitable	20.9%	20.9%	0.0%	1.0
Window 173	Habitable	20.8%	20.5%	0.3%	0.99
Window 174	Habitable	28.1%	27.3%	0.8%	0.97
Window 175	Habitable	32.1%	31.3%	0.8%	0.98
Window 176	Habitable	35.8%	35.1%	0.7%	0.98
Window 177	Habitable	30.2%	29.4%	0.8%	0.97
Window 178	Habitable	34.1%	33.4%	0.7%	0.98
Window 179	Habitable	37.5%	36.9%	0.6%	0.98
Window 180	Habitable	20.9%	20.9%	0.0%	1.0
Window 181	Habitable	20.8%	20.6%	0.2%	0.99
Window 182	Habitable	28.3%	27.6%	0.7%	0.98
Window 183	Habitable	32.2%	31.6%	0.6%	0.98
Window 184	Habitable	35.9%	35.4%	0.5%	0.99
Window 185	Habitable	30.4%	29.8%	0.6%	0.98
Window 186	Habitable	34.2%	33.7%	0.5%	0.99
Window 187	Habitable	37.6%	37.1%	0.5%	0.99
Window 188	Habitable	28.5%	28.0%	0.5%	0.98
Window 189	Habitable	32.4%	32.0%	0.4%	0.99
Window 190	Habitable	36.1%	35.7%	0.4%	0.99
Window 191	Habitable	21.3%	21.2%	0.1%	1.0
Window 192	Habitable	30.6%	30.2%	0.4%	0.99
Window 193	Habitable	34.4%	34.0%	0.4%	0.99
Window 194	Habitable	37.7%	37.4%	0.3%	0.99
Window 195	Habitable	23.6%	23.6%	0.0%	1.0
Window 196	Habitable	23.5%	23.3%	0.2%	0.99
Window 197	Habitable	16.5%	16.4%	0.1%	0.99

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 198	Habitable	28.7%	28.3%	0.4%	0.99
Window 199	Habitable	32.6%	32.2%	0.4%	0.99
Window 200	Habitable	36.2%	35.9%	0.3%	0.99
Window 201	Habitable	30.7%	30.4%	0.3%	0.99
Window 202	Habitable	34.6%	34.3%	0.3%	0.99
Window 203	Habitable	37.8%	37.6%	0.2%	0.99
<u>132 Hampstead Road</u>					
Window 204	Non Habitable	28.9%	26.7%	2.2%	0.92
Window 205	Non Habitable	30.2%	28.1%	2.1%	0.93
Window 206	Non Habitable	32.7%	30.7%	2.0%	0.94
Window 207	Non Habitable	34.8%	33.1%	1.7%	0.95
Window 208	Non Habitable	35.9%	33.5%	2.4%	0.93
Window 209	Non Habitable	36.1%	32.3%	3.8%	0.89
Window 210	Non Habitable	36.2%	30.0%	6.2%	0.83
Window 211	Non Habitable	36.1%	28.2%	7.9%	0.78
Window 212	Non Habitable	35.9%	27.5%	8.4%	0.77
Window 213	Non Habitable	35.9%	27.2%	8.7%	0.76
Window 214	Non Habitable	35.8%	27.4%	8.4%	0.77
Window 215	Non Habitable	35.6%	27.9%	7.7%	0.78
Window 216	Non Habitable	35.4%	28.6%	6.8%	0.81
Window 217	Non Habitable	35.2%	29.0%	6.2%	0.82
Window 218	Non Habitable	35.0%	35.0%	0.0%	1.0
Window 219	Non Habitable	34.9%	34.9%	0.0%	1.0
Window 220	Non Habitable	34.8%	34.8%	0.0%	1.0
Window 221	Non Habitable	38.6%	37.1%	1.5%	0.96
Window 222	Non Habitable	38.5%	36.4%	2.1%	0.95
Window 223	Non Habitable	38.4%	35.3%	3.1%	0.92
Window 224	Non Habitable	38.4%	34.1%	4.3%	0.89
Window 225	Non Habitable	38.3%	33.0%	5.3%	0.86
Window 226	Non Habitable	38.2%	31.8%	6.4%	0.83
Window 227	Non Habitable	38.1%	30.4%	7.7%	0.8
Window 228	Non Habitable	38.0%	30.5%	7.5%	0.8
Window 229	Non Habitable	37.9%	31.0%	6.9%	0.82

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 230	Non Habitable	37.9%	31.5%	6.4%	0.83
Window 231	Non Habitable	37.8%	31.8%	6.0%	0.84
Window 232	Non Habitable	37.6%	32.2%	5.4%	0.86
Window 233	Non Habitable	37.6%	37.6%	0.0%	1.0
Window 234	Non Habitable	37.6%	37.6%	0.0%	1.0
Window 235	Non Habitable	29.3%	26.1%	3.2%	0.89
Window 236	Non Habitable	29.5%	25.9%	3.6%	0.88
Window 237	Non Habitable	29.7%	25.7%	4.0%	0.87
Window 238	Non Habitable	30.5%	27.4%	3.1%	0.9
Window 239	Non Habitable	30.7%	27.2%	3.5%	0.89
Window 240	Non Habitable	30.9%	26.9%	4.0%	0.87
Window 241	Non Habitable	32.8%	29.9%	2.9%	0.91
Window 242	Non Habitable	32.9%	29.6%	3.3%	0.9
Window 243	Non Habitable	33.0%	29.3%	3.7%	0.89
Window 244	Non Habitable	30.5%	25.0%	5.5%	0.82
Window 245	Non Habitable	31.6%	26.1%	5.5%	0.83
Window 246	Non Habitable	33.5%	28.3%	5.2%	0.84
Window 247	Non Habitable	31.2%	23.3%	7.9%	0.75
Window 248	Non Habitable	32.1%	24.3%	7.8%	0.76
Window 249	Non Habitable	33.9%	26.3%	7.6%	0.78
Window 250	Non Habitable	31.4%	20.8%	10.6%	0.66
Window 251	Non Habitable	32.4%	21.8%	10.6%	0.67
Window 252	Non Habitable	34.0%	23.6%	10.4%	0.69
Window 253	Non Habitable	31.2%	19.9%	11.3%	0.64
Window 254	Non Habitable	32.1%	20.8%	11.3%	0.65
Window 255	Non Habitable	33.8%	22.8%	11.0%	0.67
Window 256	Non Habitable	30.8%	21.8%	9.0%	0.71
Window 257	Non Habitable	30.6%	22.2%	8.4%	0.73
Window 258	Non Habitable	30.4%	22.4%	8.0%	0.74
Window 259	Non Habitable	31.8%	22.8%	9.0%	0.72
Window 260	Non Habitable	31.6%	23.1%	8.5%	0.73
Window 261	Non Habitable	31.3%	23.4%	7.9%	0.75
Window 262	Non Habitable	33.4%	24.7%	8.7%	0.74



**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 263	Non Habitable	33.2%	25.1%	8.1%	0.76
Window 264	Non Habitable	33.0%	25.3%	7.7%	0.77
Window 265	Non Habitable	39.2%	38.9%	0.3%	0.99
Window 266	Non Habitable	25.2%	22.6%	2.6%	0.9
Window 267	Non Habitable	25.3%	22.5%	2.8%	0.89
<u>112 Hamstead Street</u>					
Window 268	Non Habitable	24.8%	22.5%	2.3%	0.91
Window 269	Non Habitable	24.8%	22.5%	2.3%	0.91
Window 270	Non Habitable	27.0%	24.7%	2.3%	0.91
Window 271	Non Habitable	27.0%	24.7%	2.3%	0.91
Window 272	Non Habitable	27.1%	24.7%	2.4%	0.91
Window 273	Non Habitable	29.3%	27.1%	2.2%	0.92
Window 274	Non Habitable	29.3%	27.0%	2.3%	0.92
Window 275	Non Habitable	29.3%	27.0%	2.3%	0.92
Window 276	Non Habitable	31.6%	29.6%	2.0%	0.94
Window 277	Non Habitable	31.6%	29.5%	2.1%	0.93
Window 278	Non Habitable	31.6%	29.5%	2.1%	0.93
Window 279	Non Habitable	19.2%	17.3%	1.9%	0.9
Window 280	Non Habitable	34.0%	32.1%	1.9%	0.94
Window 281	Non Habitable	34.0%	32.0%	2.0%	0.94
Window 282	Non Habitable	36.1%	34.4%	1.7%	0.95
Window 283	Non Habitable	36.1%	34.4%	1.7%	0.95
Window 284	Non Habitable	36.1%	34.4%	1.7%	0.95
Window 285	Non Habitable	38.1%	36.6%	1.5%	0.96
Window 286	Non Habitable	38.1%	36.7%	1.4%	0.96
Window 287	Non Habitable	37.3%	37.3%	0.0%	1.0
Window 288	Non Habitable	37.2%	37.2%	0.0%	1.0
Window 289	Non Habitable	34.8%	34.8%	0.0%	1.0
Window 290	Non Habitable	36.4%	35.9%	0.5%	0.99
Window 291	Non Habitable	36.5%	36.0%	0.5%	0.99
Window 292	Non Habitable	30.4%	28.2%	2.2%	0.93
Window 293	Non Habitable	14.0%	12.5%	1.5%	0.89
Window 294	Non Habitable	32.9%	30.9%	2.0%	0.94

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 295	Non Habitable	15.0%	13.7%	1.3%	0.91
Window 296	Non Habitable	35.9%	34.2%	1.7%	0.95
Window 297	Non Habitable	21.4%	20.2%	1.2%	0.94
Window 298	Non Habitable	23.2%	20.6%	2.6%	0.89
Window 299	Non Habitable	22.9%	20.3%	2.6%	0.89
Window 300	Non Habitable	22.8%	20.2%	2.6%	0.89
Window 301	Non Habitable	25.6%	23.1%	2.5%	0.9
Window 302	Non Habitable	25.2%	22.8%	2.4%	0.9
Window 303	Non Habitable	21.1%	19.5%	1.6%	0.92
Window 304	Non Habitable	23.2%	21.6%	1.6%	0.93
Window 305	Non Habitable	29.1%	27.8%	1.3%	0.96
Window 306	Non Habitable	25.6%	23.5%	2.1%	0.92
Window 307	Non Habitable	28.0%	26.0%	2.0%	0.93
Window 308	Non Habitable	27.3%	25.5%	1.8%	0.93
Window 309	Non Habitable	29.4%	27.7%	1.7%	0.94
Window 310	Non Habitable	35.2%	33.7%	1.5%	0.96
Window 311	Non Habitable	25.9%	23.7%	2.2%	0.92
Window 312	Non Habitable	28.4%	26.3%	2.1%	0.93
Window 313	Non Habitable	27.9%	25.9%	2.0%	0.93
Window 314	Non Habitable	30.0%	28.2%	1.8%	0.94
Window 315	Non Habitable	35.6%	34.0%	1.6%	0.96
Window 316	Non Habitable	29.5%	27.3%	2.2%	0.93
Window 317	Non Habitable	29.7%	27.4%	2.3%	0.92
Window 318	Non Habitable	29.9%	27.5%	2.4%	0.92
Window 319	Non Habitable	30.1%	27.6%	2.5%	0.92
Window 320	Non Habitable	27.0%	25.7%	1.3%	0.95
Window 321	Non Habitable	27.1%	25.8%	1.3%	0.95
Window 322	Non Habitable	27.2%	26.0%	1.2%	0.96
Window 323	Non Habitable	32.5%	30.2%	2.3%	0.93
Window 324	Non Habitable	32.5%	30.2%	2.3%	0.93
Window 325	Non Habitable	32.6%	30.2%	2.4%	0.93
Window 326	Non Habitable	29.6%	28.3%	1.3%	0.96
Window 327	Non Habitable	29.7%	28.5%	1.2%	0.96

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 328	Non Habitable	34.7%	32.6%	2.1%	0.94
Window 329	Non Habitable	34.7%	32.6%	2.1%	0.94
Window 330	Non Habitable	34.7%	32.5%	2.2%	0.94
Window 331	Non Habitable	32.1%	30.9%	1.2%	0.96
Window 332	Non Habitable	32.1%	31.0%	1.1%	0.97
Window 333	Non Habitable	36.4%	34.6%	1.8%	0.95
Window 334	Non Habitable	36.4%	34.5%	1.9%	0.95
Window 335	Non Habitable	36.4%	34.5%	1.9%	0.95
Window 336	Non Habitable	34.2%	33.1%	1.1%	0.97
Window 337	Non Habitable	34.2%	33.2%	1.0%	0.97
Window 338	Non Habitable	34.5%	32.9%	1.6%	0.95
Window 339	Non Habitable	34.5%	32.8%	1.7%	0.95
Window 340	Non Habitable	32.6%	31.6%	1.0%	0.97
Window 341	Non Habitable	33.0%	32.1%	0.9%	0.97
Window 342	Non Habitable	26.5%	26.5%	0.0%	1.0
Window 343	Non Habitable	24.4%	24.4%	0.0%	1.0
Window 344	Non Habitable	32.1%	32.1%	0.0%	1.0
Window 345	Non Habitable	32.7%	32.7%	0.0%	1.0
Window 346	Non Habitable	29.6%	28.5%	1.1%	0.96
Window 347	Non Habitable	31.9%	30.9%	1.0%	0.97
Window 348	Non Habitable	34.3%	33.4%	0.9%	0.97
Window 349	Non Habitable	27.5%	26.5%	1.0%	0.96
Window 350	Non Habitable	27.7%	26.7%	1.0%	0.96
Window 351	Non Habitable	27.9%	27.0%	0.9%	0.97
Window 352	Non Habitable	30.0%	29.1%	0.9%	0.97
Window 353	Non Habitable	30.2%	29.3%	0.9%	0.97
Window 354	Non Habitable	32.2%	31.4%	0.8%	0.98
Window 355	Non Habitable	32.3%	31.5%	0.8%	0.98
Window 356	Non Habitable	30.1%	30.1%	0.0%	1.0
Window 357	Non Habitable	27.9%	27.9%	0.0%	1.0
Window 358	Non Habitable	34.2%	33.4%	0.8%	0.98
Window 359	Non Habitable	34.2%	33.5%	0.7%	0.98
Window 360	Non Habitable	35.2%	35.2%	0.0%	1.0



**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 361	Non Habitable	34.5%	34.5%	0.0%	1.0
Window 362	Non Habitable	30.8%	30.1%	0.7%	0.98
Window 363	Non Habitable	30.8%	30.1%	0.7%	0.98
Window 364	Non Habitable	32.7%	32.7%	0.0%	1.0
Window 365	Non Habitable	32.7%	32.7%	0.0%	1.0
Window 366	Non Habitable	35.3%	35.3%	0.0%	1.0
Window 367	Non Habitable	34.5%	34.5%	0.0%	1.0
Window 368	Non Habitable	24.8%	24.3%	0.5%	0.98
Window 369	Non Habitable	26.2%	24.8%	1.4%	0.95
<u>1 to 28 The Tarns</u>					
Window 370	Habitable	6.8%	6.4%	0.4%	0.94
Window 371	Habitable	29.0%	28.3%	0.7%	0.98
Window 372	Habitable	16.7%	16.1%	0.6%	0.96
Window 373	Habitable	31.9%	31.2%	0.7%	0.98
Window 374	Habitable	19.5%	18.9%	0.6%	0.97
Window 375	Habitable	34.7%	34.1%	0.6%	0.98
Window 376	Habitable	21.6%	21.0%	0.6%	0.97
Window 377	Habitable	38.3%	37.8%	0.5%	0.99
Window 378	Habitable	27.8%	26.9%	0.9%	0.97
Window 379	Habitable	29.0%	28.5%	0.5%	0.98
Window 380	Habitable	30.5%	29.6%	0.9%	0.97
Window 381	Habitable	31.9%	31.5%	0.4%	0.99
Window 382	Habitable	33.4%	32.5%	0.9%	0.97
Window 383	Habitable	34.8%	34.5%	0.3%	0.99
Window 384	Habitable	36.6%	35.8%	0.8%	0.98
Window 385	Habitable	38.5%	37.8%	0.7%	0.98
Window 386	Habitable	27.4%	26.3%	1.1%	0.96
Window 387	Habitable	16.2%	15.6%	0.6%	0.96
Window 388	Habitable	30.3%	29.4%	0.9%	0.97
Window 389	Habitable	17.8%	17.1%	0.7%	0.96
Window 390	Habitable	33.2%	32.4%	0.8%	0.98
Window 391	Habitable	22.5%	21.7%	0.8%	0.96
Window 392	Habitable	36.7%	36.0%	0.7%	0.98

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 393	Habitable	38.5%	37.6%	0.9%	0.98
Window 394	Habitable	6.6%	5.8%	0.8%	0.88
Window 395	Habitable	28.7%	27.0%	1.7%	0.94
Window 396	Habitable	16.4%	15.2%	1.2%	0.93
Window 397	Habitable	31.7%	30.0%	1.7%	0.95
Window 398	Habitable	18.7%	17.4%	1.3%	0.93
Window 399	Habitable	34.6%	33.0%	1.6%	0.95
Window 400	Habitable	21.5%	20.0%	1.5%	0.93
Window 401	Habitable	38.3%	36.9%	1.4%	0.96
Window 402	Non Habitable	27.4%	25.5%	1.9%	0.93
Window 403	Habitable	28.7%	27.2%	1.5%	0.95
Window 404	Habitable	30.3%	28.2%	2.1%	0.93
Window 405	Habitable	31.7%	30.2%	1.5%	0.95
Window 406	Habitable	33.3%	31.3%	2.0%	0.94
Window 407	Habitable	34.8%	33.3%	1.5%	0.96
Window 408	Habitable	36.6%	34.5%	2.1%	0.94
Window 409	Habitable	38.4%	36.5%	1.9%	0.95
Window 410	Non Habitable	27.2%	24.4%	2.8%	0.9
Window 411	Habitable	14.4%	13.4%	1.0%	0.93
Window 412	Habitable	30.4%	27.3%	3.1%	0.9
Window 413	Habitable	17.7%	16.6%	1.1%	0.94
Window 414	Habitable	33.4%	30.3%	3.1%	0.91
Window 415	Habitable	20.4%	19.1%	1.3%	0.94
Window 416	Habitable	37.0%	34.0%	3.0%	0.92
Window 417	Habitable	38.4%	35.8%	2.6%	0.93
Window 418	Habitable (Secondary)	31.5%	16.7%	14.8%	0.53
Window 419	Habitable (Secondary)	33.2%	18.0%	15.2%	0.54
Window 420	Habitable (Secondary)	34.8%	19.3%	15.5%	0.55
Window 421	Habitable (Secondary)	36.1%	20.5%	15.6%	0.57
Window 422	Habitable (Secondary)	37.3%	21.6%	15.7%	0.58
Window 423	Habitable (Secondary)	38.3%	22.8%	15.5%	0.6
Window 424	Habitable (Secondary)	39.1%	24.2%	14.9%	0.62
Window 425	Habitable	38.1%	27.2%	10.9%	0.71

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 426	Non Habitable	1.0%	1.0%	0.0%	1.0
Window 427	Non Habitable	0.2%	0.2%	0.0%	1.0
Window 428	Non Habitable	4.0%	4.0%	0.0%	1.0
Window 429	Non Habitable	1.3%	1.3%	0.0%	1.0
Window 430	Non Habitable	4.6%	4.6%	0.0%	1.0
Window 431	Non Habitable	1.8%	1.8%	0.0%	1.0
Window 432	Non Habitable	5.2%	5.2%	0.0%	1.0
Window 433	Non Habitable	2.2%	2.2%	0.0%	1.0
Window 434	Non Habitable	5.6%	5.6%	0.0%	1.0
Window 435	Non Habitable	2.5%	2.5%	0.0%	1.0
Window 436	Non Habitable	5.8%	5.8%	0.0%	1.0
Window 437	Non Habitable	2.7%	2.7%	0.0%	1.0
Window 438	Non Habitable	6.0%	6.0%	0.0%	1.0
Window 439	Non Habitable	2.9%	2.9%	0.0%	1.0
<u>1 to 32 Waterhead</u>					
Window 440	Non Habitable	0.3%	0.2%	0.1%	0.67
Window 441	Non Habitable	0.4%	0.3%	0.1%	0.75
Window 442	Non Habitable	0.4%	0.1%	0.3%	0.25
Window 443	Habitable	9.2%	5.7%	3.5%	0.62
Window 444	Habitable	0.7%	0.1%	0.6%	0.14
Window 445	Habitable	12.1%	7.0%	5.1%	0.58
Window 446	Habitable	0.7%	0.1%	0.6%	0.14
Window 447	Habitable	13.1%	7.8%	5.3%	0.6
Window 448	Habitable	0.8%	0.1%	0.7%	0.13
Window 449	Habitable	15.1%	9.2%	5.9%	0.61
Window 450	Habitable	0.9%	0.1%	0.8%	0.11
Window 451	Habitable	16.3%	10.0%	6.3%	0.61
Window 452	Habitable	1.0%	0.1%	0.9%	0.1
Window 453	Habitable	16.7%	10.3%	6.4%	0.62
Window 454	Habitable	1.0%	0.1%	0.9%	0.1
Window 455	Habitable	17.3%	10.7%	6.6%	0.62
Window 456	Habitable	2.0%	0.3%	1.7%	0.15
Window 457	Habitable	18.5%	11.7%	6.8%	0.63
Window 458	Habitable	13.0%	7.7%	5.3%	0.59



**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 459	Habitable	12.3%	7.5%	4.8%	0.61
Window 460	Habitable	13.6%	8.6%	5.0%	0.63
Window 461	Habitable	15.5%	10.0%	5.5%	0.65
Window 462	Habitable	17.0%	11.0%	6.0%	0.65
Window 463	Habitable	17.4%	11.3%	6.1%	0.65
Window 464	Habitable	18.1%	11.9%	6.2%	0.66
Window 465	Habitable	18.7%	12.6%	6.1%	0.67
Window 466	Habitable	13.0%	8.2%	4.8%	0.63
Window 467	Habitable	12.3%	8.0%	4.3%	0.65
Window 468	Habitable	13.7%	9.1%	4.6%	0.66
Window 469	Habitable	15.7%	10.7%	5.0%	0.68
Window 470	Habitable	17.2%	11.8%	5.4%	0.69
Window 471	Habitable	17.7%	12.2%	5.5%	0.69
Window 472	Habitable	18.4%	12.8%	5.6%	0.7
Window 473	Habitable	18.8%	13.4%	5.4%	0.71
Window 474	Non Habitable	13.2%	8.6%	4.6%	0.65
Window 475	Non Habitable	2.9%	1.6%	1.3%	0.55
Window 476	Non Habitable	12.7%	8.5%	4.2%	0.67
Window 477	Non Habitable	1.4%	0.7%	0.7%	0.5
Window 478	Non Habitable	14.1%	9.8%	4.3%	0.7
Window 479	Non Habitable	2.5%	1.7%	0.8%	0.68
Window 480	Non Habitable	16.2%	11.4%	4.8%	0.7
Window 481	Non Habitable	4.3%	3.1%	1.2%	0.72
Window 482	Non Habitable	17.5%	12.4%	5.1%	0.71
Window 483	Non Habitable	5.5%	3.9%	1.6%	0.71
Window 484	Non Habitable	17.8%	12.7%	5.1%	0.71
Window 485	Non Habitable	5.5%	3.9%	1.6%	0.71
Window 486	Non Habitable	18.6%	13.4%	5.2%	0.72
Window 487	Non Habitable	6.2%	4.4%	1.8%	0.71
Window 488	Non Habitable	18.9%	13.9%	5.0%	0.74
Window 489	Non Habitable	6.4%	4.5%	1.9%	0.7
Window 490	Habitable	10.2%	6.8%	3.4%	0.67
Window 491	Habitable	9.3%	6.4%	2.9%	0.69

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 492	Habitable	10.7%	7.6%	3.1%	0.71
Window 493	Habitable	12.8%	9.3%	3.5%	0.73
Window 494	Habitable	14.1%	10.3%	3.8%	0.73
Window 495	Habitable	17.3%	12.7%	4.6%	0.73
Window 496	Habitable	16.1%	11.8%	4.3%	0.73
Window 497	Habitable	16.3%	12.2%	4.1%	0.75
Window 498	Non Habitable	38.1%	35.6%	2.5%	0.93
Window 499	Habitable	12.7%	8.9%	3.8%	0.7
Window 500	Non Habitable	10.0%	7.2%	2.8%	0.72
Window 501	Non Habitable	15.2%	11.3%	3.9%	0.74
Window 502	Non Habitable	4.7%	3.4%	1.3%	0.72
Window 503	Habitable	13.9%	10.4%	3.5%	0.75
Window 504	Non Habitable	13.7%	10.4%	3.3%	0.76
Window 505	Non Habitable	16.4%	12.6%	3.8%	0.77
Window 506	Non Habitable	4.6%	3.6%	1.0%	0.78
Window 507	Habitable	16.6%	12.7%	3.9%	0.77
Window 508	Non Habitable	13.7%	10.4%	3.3%	0.76
Window 509	Non Habitable	18.3%	14.3%	4.0%	0.78
Window 510	Non Habitable	6.1%	4.7%	1.4%	0.77
Window 511	Habitable	17.6%	13.7%	3.9%	0.78
Window 512	Non Habitable	14.5%	11.2%	3.3%	0.77
Window 513	Non Habitable	17.8%	14.1%	3.7%	0.79
Window 514	Non Habitable	5.0%	3.9%	1.1%	0.78
Window 515	Non Habitable	11.6%	8.4%	3.2%	0.72
Window 516	Non Habitable	1.6%	1.0%	0.6%	0.63
Window 517	Non Habitable	9.2%	6.7%	2.5%	0.73
Window 518	Habitable	12.4%	9.4%	3.0%	0.76
Window 519	Non Habitable	12.8%	9.9%	2.9%	0.77
Window 520	Non Habitable	1.2%	0.9%	0.3%	0.75
Window 521	Non Habitable	10.1%	7.9%	2.2%	0.78
Window 522	Habitable	16.3%	12.9%	3.4%	0.79
Window 523	Non Habitable	17.0%	13.3%	3.7%	0.78
Window 524	Non Habitable	4.8%	3.9%	0.9%	0.81

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 525	Non Habitable	12.1%	9.7%	2.4%	0.8
Window 526	Habitable	17.0%	13.6%	3.4%	0.8
Window 527	Non Habitable	18.3%	14.6%	3.7%	0.8
Window 528	Non Habitable	5.8%	4.6%	1.2%	0.79
Window 529	Non Habitable	14.0%	11.2%	2.8%	0.8
Window 530	Habitable	18.0%	14.8%	3.2%	0.82
Window 531	Habitable	12.0%	9.3%	2.7%	0.78
Window 532	Non Habitable	6.7%	5.4%	1.3%	0.81
Window 533	Non Habitable	13.2%	10.6%	2.6%	0.8
Window 534	Non Habitable	1.1%	0.8%	0.3%	0.73
Window 535	Habitable	13.8%	11.2%	2.6%	0.81
Window 536	Non Habitable	10.5%	8.6%	1.9%	0.82
Window 537	Non Habitable	17.4%	14.4%	3.0%	0.83
Window 538	Non Habitable	4.3%	3.7%	0.6%	0.86
Window 539	Habitable	15.7%	13.0%	2.7%	0.83
Window 540	Habitable	13.7%	11.3%	2.4%	0.82
Window 541	Habitable	18.9%	15.9%	3.0%	0.84
Window 542	Habitable	5.4%	4.5%	0.9%	0.83
Window 543	Habitable	17.9%	14.9%	3.0%	0.83
Window 544	Habitable	14.8%	12.3%	2.5%	0.83
Window 545	Habitable	19.6%	16.9%	2.7%	0.86
Window 546	Habitable	5.5%	4.6%	0.9%	0.84
Window 547	Non Habitable	12.6%	10.0%	2.6%	0.79
Window 548	Non Habitable	2.8%	2.1%	0.7%	0.75
Window 549	Non Habitable	9.2%	7.4%	1.8%	0.8
Window 550	Non Habitable	11.3%	9.3%	2.0%	0.82
Window 551	Non Habitable	15.9%	13.2%	2.7%	0.83
Window 552	Non Habitable	3.3%	2.8%	0.5%	0.85
Window 553	Non Habitable	10.7%	9.0%	1.7%	0.84
Window 554	Habitable	15.4%	13.1%	2.3%	0.85
Window 555	Habitable	17.8%	15.1%	2.7%	0.85
Window 556	Habitable	4.4%	3.8%	0.6%	0.86
Window 557	Habitable	13.5%	11.6%	1.9%	0.86



**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 558	Habitable	15.9%	13.5%	2.4%	0.85
Window 559	Habitable	19.3%	16.5%	2.8%	0.85
Window 560	Habitable	5.5%	4.7%	0.8%	0.85
Window 561	Habitable	13.3%	11.4%	1.9%	0.86
Window 562	Habitable	18.2%	15.9%	2.3%	0.87
Window 563	Habitable	9.4%	7.8%	1.6%	0.83
Window 564	Habitable	8.8%	7.6%	1.2%	0.86
Window 565	Habitable	10.7%	9.3%	1.4%	0.87
Window 566	Habitable	12.6%	11.0%	1.6%	0.87
Window 567	Habitable	14.9%	13.0%	1.9%	0.87
Window 568	Habitable	13.7%	12.0%	1.7%	0.88
Window 569	Habitable	15.1%	13.2%	1.9%	0.87
Window 570	Habitable	14.4%	12.7%	1.7%	0.88
Window 571	Non Habitable	13.0%	11.0%	2.0%	0.85
Window 572	Non Habitable	3.4%	2.9%	0.5%	0.85
Window 573	Non Habitable	12.8%	11.1%	1.7%	0.87
Window 574	Non Habitable	2.1%	1.9%	0.2%	0.9
Window 575	Non Habitable	14.8%	13.0%	1.8%	0.88
Window 576	Non Habitable	3.6%	3.3%	0.3%	0.92
Window 577	Non Habitable	17.9%	15.7%	2.2%	0.88
Window 578	Non Habitable	5.1%	4.6%	0.5%	0.9
Window 579	Habitable	16.9%	14.9%	2.0%	0.88
Window 580	Habitable	5.0%	4.5%	0.5%	0.9
Window 581	Habitable	16.2%	14.3%	1.9%	0.88
Window 582	Habitable	3.8%	3.4%	0.4%	0.89
Window 583	Habitable	18.7%	16.7%	2.0%	0.89
Window 584	Habitable	6.4%	5.7%	0.7%	0.89
Window 585	Habitable	18.2%	16.4%	1.8%	0.9
Window 586	Habitable	5.6%	4.9%	0.7%	0.88
Window 587	Habitable	12.0%	10.4%	1.6%	0.87
Window 588	Habitable	25.8%	25.8%	0.0%	1.0
Window 589	Habitable	11.7%	10.3%	1.4%	0.88
Window 590	Habitable	31.5%	31.5%	0.0%	1.0

**Appendix 4.2 - Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 591	Habitable	13.3%	11.8%	1.5%	0.89
Window 592	Habitable	33.0%	33.0%	0.0%	1.0
Window 593	Habitable	15.2%	13.5%	1.7%	0.89
Window 594	Habitable	34.4%	34.4%	0.0%	1.0
Window 595	Habitable	15.4%	13.7%	1.7%	0.89
Window 596	Habitable	35.6%	35.6%	0.0%	1.0
Window 597	Habitable	16.8%	15.0%	1.8%	0.89
Window 598	Habitable	36.7%	36.7%	0.0%	1.0
Window 599	Habitable	17.6%	15.8%	1.8%	0.9
Window 600	Habitable	37.6%	37.6%	0.0%	1.0
Window 601	Habitable	17.9%	16.2%	1.7%	0.91
Window 602	Habitable	38.2%	38.2%	0.0%	1.0

**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
<u>1 to 15 Newlands</u>									
Window 3	Habitable	54%	54%	0%	1.0	5%	5%	0%	1.0
Window 5	Habitable	56%	56%	0%	1.0	5%	5%	0%	1.0
Window 7	Habitable	62%	62%	0%	1.0	6%	6%	0%	1.0
<u>1 to 67 Cartmel</u>									
Window 53	Habitable	56%	49%	7%	0.88	5%	2%	3%	0.4
Window 54	Habitable	82%	77%	5%	0.94	25%	21%	4%	0.84
Window 55	Habitable	85%	80%	5%	0.94	28%	23%	5%	0.82
Window 56	Habitable	49%	40%	9%	0.82	6%	3%	3%	0.5
Window 57	Habitable	68%	61%	7%	0.9	11%	8%	3%	0.73
Window 58	Habitable	85%	80%	5%	0.94	28%	24%	4%	0.86
Window 59	Habitable	85%	81%	4%	0.95	28%	24%	4%	0.86
Window 60	Habitable	62%	54%	8%	0.87	9%	6%	3%	0.67
Window 61	Habitable	82%	76%	6%	0.93	25%	21%	4%	0.84
Window 62	Habitable	85%	81%	4%	0.95	28%	24%	4%	0.86
Window 63	Habitable	52%	44%	8%	0.85	9%	6%	3%	0.67
Window 64	Habitable	70%	63%	7%	0.9	14%	11%	3%	0.79
Window 65	Habitable	84%	79%	5%	0.94	27%	24%	3%	0.89
Window 66	Habitable	86%	82%	4%	0.95	29%	25%	4%	0.86
Window 67	Habitable	52%	43%	9%	0.83	9%	5%	4%	0.56
Window 68	Habitable	50%	42%	8%	0.84	12%	8%	4%	0.67
Window 69	Habitable	71%	63%	8%	0.89	15%	11%	4%	0.73
Window 70	Habitable	64%	58%	6%	0.91	24%	21%	3%	0.88
Window 71	Habitable	84%	79%	5%	0.94	27%	24%	3%	0.89
Window 72	Habitable	67%	62%	5%	0.93	27%	23%	4%	0.85
Window 73	Habitable	85%	81%	4%	0.95	28%	24%	4%	0.86
Window 74	Habitable	45%	35%	10%	0.78	10%	6%	4%	0.6
Window 75	Habitable	63%	55%	8%	0.87	13%	9%	4%	0.69
Window 76	Habitable	56%	49%	7%	0.88	16%	12%	4%	0.75
Window 77	Habitable	80%	73%	7%	0.91	24%	20%	4%	0.83
Window 78	Habitable	67%	62%	5%	0.93	27%	24%	3%	0.89
Window 79	Habitable	86%	81%	5%	0.94	29%	25%	4%	0.86
Window 80	Habitable	68%	64%	4%	0.94	28%	24%	4%	0.86



**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 81	Habitable	56%	45%	11%	0.8	10%	6%	4%	0.6
Window 82	Habitable	53%	42%	11%	0.79	14%	9%	5%	0.64
Window 83	Habitable	71%	62%	9%	0.87	18%	13%	5%	0.72
Window 84	Habitable	64%	56%	8%	0.88	24%	19%	5%	0.79
Window 85	Habitable	85%	78%	7%	0.92	28%	23%	5%	0.82
Window 86	Habitable	68%	62%	6%	0.91	28%	23%	5%	0.82
Window 87	Habitable	86%	81%	5%	0.94	29%	24%	5%	0.83
Window 88	Habitable	48%	35%	13%	0.73	12%	6%	6%	0.5
Window 89	Habitable	67%	55%	12%	0.82	16%	10%	6%	0.63
Window 90	Habitable	56%	45%	11%	0.8	17%	11%	6%	0.65
Window 91	Habitable	80%	70%	10%	0.88	25%	19%	6%	0.76
Window 92	Habitable	66%	58%	8%	0.88	27%	21%	6%	0.78
Window 93	Habitable	86%	80%	6%	0.93	29%	24%	5%	0.83
Window 94	Habitable	67%	62%	5%	0.93	28%	23%	5%	0.82
Window 95	Habitable	67%	56%	11%	0.84	16%	10%	6%	0.63
Window 96	Habitable	79%	70%	9%	0.89	25%	19%	6%	0.76
Window 97	Habitable	86%	78%	8%	0.91	29%	22%	7%	0.76
Window 98	Habitable	61%	49%	12%	0.8	14%	8%	6%	0.57
Window 99	Habitable	70%	59%	11%	0.84	20%	13%	7%	0.65
Window 100	Habitable	83%	74%	9%	0.89	28%	21%	7%	0.75
Window 101	Habitable	86%	78%	8%	0.91	29%	21%	8%	0.72
Window 102	Habitable	66%	54%	12%	0.82	18%	12%	6%	0.67
Window 103	Habitable	75%	65%	10%	0.87	24%	17%	7%	0.71
Window 104	Habitable	85%	76%	9%	0.89	28%	21%	7%	0.75
Window 105	Habitable	61%	49%	12%	0.8	16%	10%	6%	0.63
Window 106	Habitable	67%	55%	12%	0.82	21%	14%	7%	0.67
Window 107	Habitable	81%	72%	9%	0.89	28%	21%	7%	0.75
Window 108	Habitable	86%	79%	7%	0.92	29%	22%	7%	0.76
Window 109	Habitable	60%	46%	14%	0.77	15%	7%	8%	0.47
Window 110	Habitable	55%	42%	13%	0.76	19%	11%	8%	0.58
Window 111	Habitable	66%	53%	13%	0.8	20%	12%	8%	0.6
Window 112	Habitable	60%	48%	12%	0.8	23%	15%	8%	0.65
Window 113	Habitable	77%	67%	10%	0.87	26%	18%	8%	0.69

**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 114	Habitable	62%	52%	10%	0.84	25%	17%	8%	0.68
Window 115	Habitable	86%	78%	8%	0.91	29%	21%	8%	0.72
Window 116	Habitable	52%	38%	14%	0.73	16%	9%	7%	0.56
Window 117	Habitable	63%	50%	13%	0.79	19%	12%	7%	0.63
Window 118	Habitable	55%	44%	11%	0.8	21%	14%	7%	0.67
Window 119	Habitable	68%	56%	12%	0.82	24%	16%	8%	0.67
Window 120	Habitable	62%	52%	10%	0.84	25%	17%	8%	0.68
Window 121	Habitable	80%	70%	10%	0.88	26%	18%	8%	0.69
Window 122	Habitable	65%	57%	8%	0.88	26%	18%	8%	0.69
Window 123	Habitable	51%	36%	15%	0.71	19%	11%	8%	0.58
Window 124	Habitable	56%	42%	14%	0.75	24%	15%	9%	0.63
Window 125	Habitable	63%	53%	10%	0.84	25%	17%	8%	0.68
Window 126	Habitable	46%	30%	16%	0.65	16%	7%	9%	0.44
Window 127	Habitable	48%	35%	13%	0.73	20%	11%	9%	0.55
Window 128	Habitable	52%	41%	11%	0.79	23%	14%	9%	0.61
Window 129	Habitable	64%	54%	10%	0.84	25%	15%	10%	0.6
Window 130	Non Habitable	32%	25%	7%	0.78	13%	8%	5%	0.62
Window 131	Non Habitable	33%	26%	7%	0.79	14%	9%	5%	0.64
Window 132	Non Habitable	34%	28%	6%	0.82	15%	10%	5%	0.67
Window 133	Non Habitable	35%	29%	6%	0.83	16%	11%	5%	0.69
Window 134	Non Habitable	38%	32%	6%	0.84	18%	13%	5%	0.72
Window 135	Non Habitable	41%	36%	5%	0.88	18%	13%	5%	0.72
Window 136	Non Habitable	52%	45%	7%	0.87	20%	13%	7%	0.65
Window 137	Non Habitable	31%	31%	0%	1.0	8%	8%	0%	1.0
Window 138	Non Habitable	32%	32%	0%	1.0	9%	9%	0%	1.0
Window 139	Non Habitable	33%	33%	0%	1.0	10%	10%	0%	1.0
Window 140	Non Habitable	35%	35%	0%	1.0	12%	12%	0%	1.0
Window 141	Non Habitable	37%	37%	0%	1.0	14%	14%	0%	1.0
Window 142	Non Habitable	37%	37%	0%	1.0	14%	14%	0%	1.0
Window 143	Non Habitable	39%	39%	0%	1.0	14%	14%	0%	1.0
Window 144	Non Habitable	34%	34%	0%	1.0	8%	8%	0%	1.0
Window 145	Non Habitable	36%	36%	0%	1.0	9%	9%	0%	1.0
Window 146	Non Habitable	37%	37%	0%	1.0	10%	10%	0%	1.0

**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 147	Non Habitable	38%	38%	0%	1.0	11%	11%	0%	1.0
Window 148	Non Habitable	42%	42%	0%	1.0	14%	14%	0%	1.0
Window 149	Non Habitable	43%	43%	0%	1.0	14%	14%	0%	1.0
Window 150	Non Habitable	47%	47%	0%	1.0	14%	14%	0%	1.0
Window 151	Kitchen	36%	35%	1%	0.97	8%	8%	0%	1.0
Window 152	Kitchen	37%	36%	1%	0.97	8%	8%	0%	1.0
Window 153	Kitchen	38%	37%	1%	0.97	9%	9%	0%	1.0
Window 154	Kitchen	41%	41%	0%	1.0	12%	12%	0%	1.0
Window 155	Kitchen	43%	43%	0%	1.0	14%	14%	0%	1.0
Window 156	Kitchen	47%	47%	0%	1.0	14%	14%	0%	1.0
Window 157	Kitchen	48%	48%	0%	1.0	14%	14%	0%	1.0
<u>132 Hampstead Road</u>									
Window 204	Non Habitable	32%	26%	6%	0.81	9%	4%	5%	0.44
Window 205	Non Habitable	33%	28%	5%	0.85	9%	4%	5%	0.44
Window 206	Non Habitable	38%	33%	5%	0.87	10%	5%	5%	0.5
Window 207	Non Habitable	45%	42%	3%	0.93	14%	11%	3%	0.79
Window 208	Non Habitable	45%	40%	5%	0.89	15%	10%	5%	0.67
Window 209	Non Habitable	45%	40%	5%	0.89	14%	10%	4%	0.71
Window 210	Non Habitable	45%	34%	11%	0.76	14%	10%	4%	0.71
Window 211	Non Habitable	44%	31%	13%	0.7	13%	11%	2%	0.85
Window 212	Non Habitable	44%	31%	13%	0.7	13%	11%	2%	0.85
Window 213	Non Habitable	43%	32%	11%	0.74	12%	12%	0%	1.0
Window 214	Non Habitable	43%	33%	10%	0.77	12%	12%	0%	1.0
Window 215	Non Habitable	43%	35%	8%	0.81	12%	12%	0%	1.0
Window 216	Non Habitable	43%	36%	7%	0.84	12%	12%	0%	1.0
Window 217	Non Habitable	43%	39%	4%	0.91	12%	12%	0%	1.0
Window 218	Non Habitable	81%	81%	0%	1.0	25%	25%	0%	1.0
Window 219	Non Habitable	82%	82%	0%	1.0	26%	26%	0%	1.0
Window 220	Non Habitable	82%	82%	0%	1.0	26%	26%	0%	1.0
Window 221	Non Habitable	50%	48%	2%	0.96	15%	13%	2%	0.87
Window 222	Non Habitable	50%	46%	4%	0.92	15%	11%	4%	0.73
Window 223	Non Habitable	50%	45%	5%	0.9	15%	10%	5%	0.67
Window 224	Non Habitable	50%	41%	9%	0.82	15%	9%	6%	0.6



**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 225	Non Habitable	50%	42%	8%	0.84	15%	10%	5%	0.67
Window 226	Non Habitable	49%	42%	7%	0.86	14%	12%	2%	0.86
Window 227	Non Habitable	49%	36%	13%	0.73	14%	12%	2%	0.86
Window 228	Non Habitable	50%	40%	10%	0.8	15%	15%	0%	1.0
Window 229	Non Habitable	49%	41%	8%	0.84	14%	14%	0%	1.0
Window 230	Non Habitable	49%	41%	8%	0.84	14%	14%	0%	1.0
Window 231	Non Habitable	48%	42%	6%	0.88	13%	13%	0%	1.0
Window 232	Non Habitable	48%	45%	3%	0.94	13%	13%	0%	1.0
Window 233	Non Habitable	84%	84%	0%	1.0	28%	28%	0%	1.0
Window 234	Non Habitable	83%	83%	0%	1.0	27%	27%	0%	1.0
Window 235	Non Habitable	34%	27%	7%	0.79	10%	4%	6%	0.4
Window 236	Non Habitable	33%	25%	8%	0.76	9%	4%	5%	0.44
Window 237	Non Habitable	33%	24%	9%	0.73	9%	4%	5%	0.44
Window 238	Non Habitable	35%	28%	7%	0.8	10%	4%	6%	0.4
Window 239	Non Habitable	34%	26%	8%	0.76	9%	4%	5%	0.44
Window 240	Non Habitable	33%	24%	9%	0.73	9%	4%	5%	0.44
Window 241	Non Habitable	37%	31%	6%	0.84	10%	5%	5%	0.5
Window 242	Non Habitable	35%	29%	6%	0.83	8%	4%	4%	0.5
Window 243	Non Habitable	36%	30%	6%	0.83	9%	5%	4%	0.56
Window 244	Non Habitable	34%	23%	11%	0.68	9%	6%	3%	0.67
Window 245	Non Habitable	36%	26%	10%	0.72	10%	7%	3%	0.7
Window 246	Non Habitable	37%	28%	9%	0.76	10%	7%	3%	0.7
Window 247	Non Habitable	36%	18%	18%	0.5	8%	5%	3%	0.63
Window 248	Non Habitable	37%	19%	18%	0.51	9%	5%	4%	0.56
Window 249	Non Habitable	39%	22%	17%	0.56	10%	5%	5%	0.5
Window 250	Non Habitable	37%	19%	18%	0.51	8%	6%	2%	0.75
Window 251	Non Habitable	38%	20%	18%	0.53	9%	7%	2%	0.78
Window 252	Non Habitable	40%	23%	17%	0.58	10%	8%	2%	0.8
Window 253	Non Habitable	34%	26%	8%	0.76	6%	6%	0%	1.0
Window 254	Non Habitable	36%	27%	9%	0.75	7%	7%	0%	1.0
Window 255	Non Habitable	39%	29%	10%	0.74	9%	9%	0%	1.0
Window 256	Non Habitable	34%	27%	7%	0.79	6%	6%	0%	1.0
Window 257	Non Habitable	34%	29%	5%	0.85	6%	6%	0%	1.0

**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 258	Non Habitable	33%	30%	3%	0.91	5%	5%	0%	1.0
Window 259	Non Habitable	36%	29%	7%	0.81	7%	7%	0%	1.0
Window 260	Non Habitable	35%	30%	5%	0.86	6%	6%	0%	1.0
Window 261	Non Habitable	35%	32%	3%	0.91	6%	6%	0%	1.0
Window 262	Non Habitable	37%	30%	7%	0.81	7%	7%	0%	1.0
Window 263	Non Habitable	36%	31%	5%	0.86	7%	7%	0%	1.0
Window 264	Non Habitable	35%	32%	3%	0.91	6%	6%	0%	1.0
Window 266	Non Habitable	11%	7%	4%	0.64	0%	0%	0%	1.0
Window 267	Non Habitable	11%	6%	5%	0.55	0%	0%	0%	1.0
<u>112 Hamstead Street</u>									
Window 289	Non Habitable	74%	74%	0%	1.0	24%	24%	0%	1.0
Window 290	Non Habitable	59%	59%	0%	1.0	20%	20%	0%	1.0
Window 291	Non Habitable	59%	59%	0%	1.0	20%	20%	0%	1.0
Window 320	Non Habitable	37%	37%	0%	1.0	12%	12%	0%	1.0
Window 321	Non Habitable	37%	37%	0%	1.0	12%	12%	0%	1.0
Window 322	Non Habitable	37%	37%	0%	1.0	12%	12%	0%	1.0
Window 326	Non Habitable	40%	40%	0%	1.0	12%	12%	0%	1.0
Window 327	Non Habitable	40%	40%	0%	1.0	12%	12%	0%	1.0
Window 331	Non Habitable	42%	42%	0%	1.0	12%	12%	0%	1.0
Window 332	Non Habitable	42%	42%	0%	1.0	12%	12%	0%	1.0
Window 336	Non Habitable	44%	44%	0%	1.0	12%	12%	0%	1.0
Window 337	Non Habitable	45%	45%	0%	1.0	12%	12%	0%	1.0
Window 340	Non Habitable	37%	37%	0%	1.0	10%	10%	0%	1.0
Window 341	Non Habitable	38%	38%	0%	1.0	10%	10%	0%	1.0
Window 342	Non Habitable	66%	66%	0%	1.0	19%	19%	0%	1.0
Window 343	Non Habitable	62%	62%	0%	1.0	15%	15%	0%	1.0
Window 346	Non Habitable	41%	41%	0%	1.0	13%	13%	0%	1.0
Window 347	Non Habitable	43%	43%	0%	1.0	13%	13%	0%	1.0
Window 348	Non Habitable	45%	45%	0%	1.0	13%	13%	0%	1.0
Window 349	Non Habitable	39%	39%	0%	1.0	13%	13%	0%	1.0
Window 350	Non Habitable	38%	38%	0%	1.0	13%	13%	0%	1.0
Window 351	Non Habitable	39%	39%	0%	1.0	13%	13%	0%	1.0
Window 352	Non Habitable	41%	41%	0%	1.0	13%	13%	0%	1.0

**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 353	Non Habitable	42%	42%	0%	1.0	13%	13%	0%	1.0
Window 354	Non Habitable	43%	43%	0%	1.0	13%	13%	0%	1.0
Window 355	Non Habitable	44%	44%	0%	1.0	13%	13%	0%	1.0
Window 356	Non Habitable	64%	64%	0%	1.0	19%	19%	0%	1.0
Window 357	Non Habitable	55%	55%	0%	1.0	16%	16%	0%	1.0
Window 358	Non Habitable	45%	45%	0%	1.0	13%	13%	0%	1.0
Window 359	Non Habitable	46%	46%	0%	1.0	13%	13%	0%	1.0
Window 360	Non Habitable	82%	82%	0%	1.0	26%	26%	0%	1.0
Window 361	Non Habitable	78%	78%	0%	1.0	25%	25%	0%	1.0
Window 362	Non Habitable	37%	37%	0%	1.0	11%	11%	0%	1.0
Window 363	Non Habitable	37%	37%	0%	1.0	11%	11%	0%	1.0
Window 364	Non Habitable	72%	72%	0%	1.0	28%	28%	0%	1.0
Window 365	Non Habitable	73%	73%	0%	1.0	29%	29%	0%	1.0
<u>1 to 28 The Tarns</u>									
Window 426	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 427	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 428	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 429	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 430	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 431	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 432	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 433	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 434	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 435	Non Habitable	0%	0%	0%	1.0	0%	0%	0%	1.0
Window 436	Non Habitable	1%	1%	0%	1.0	0%	0%	0%	1.0
Window 437	Non Habitable	1%	1%	0%	1.0	0%	0%	0%	1.0
Window 438	Non Habitable	1%	1%	0%	1.0	0%	0%	0%	1.0
Window 439	Non Habitable	1%	1%	0%	1.0	0%	0%	0%	1.0
Window 588	Habitable	38%	38%	0%	1.0	8%	8%	0%	1.0
Window 590	Habitable	42%	42%	0%	1.0	9%	9%	0%	1.0
Window 592	Habitable	43%	43%	0%	1.0	10%	10%	0%	1.0
Window 594	Habitable	45%	45%	0%	1.0	11%	11%	0%	1.0
Window 596	Habitable	47%	47%	0%	1.0	12%	12%	0%	1.0

**Appendix 4.2 - Sunlight to Windows**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Sunlight to Windows							
		Total Sunlight Hours				Winter Sunlight Hours			
		Before	After	Loss	Ratio	Before	After	Loss	Ratio
Window 598	Habitable	48%	48%	0%	1.0	13%	13%	0%	1.0
Window 600	Habitable	48%	48%	0%	1.0	13%	13%	0%	1.0
Window 602	Habitable	49%	49%	0%	1.0	14%	14%	0%	1.0



**Appendix 2.2 - Overshadowing to Gardens and Open Spaces  
Regents Park Estate, London NW1 4BX**

Reference	Total Area	Area receiving at least two hours of sunlight on 21st March			
		Before	After	Loss	Ratio
<u>1 to 15 Newlands</u>					
Garden 3	1255.81 m2	1164.16 m2 93%	847.81 m2 68%	316.35 m2 25%	0.73





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## **APPENDIX 4.3**

### **OVERSHADOWING TO GARDENS AND OPEN SPACES**

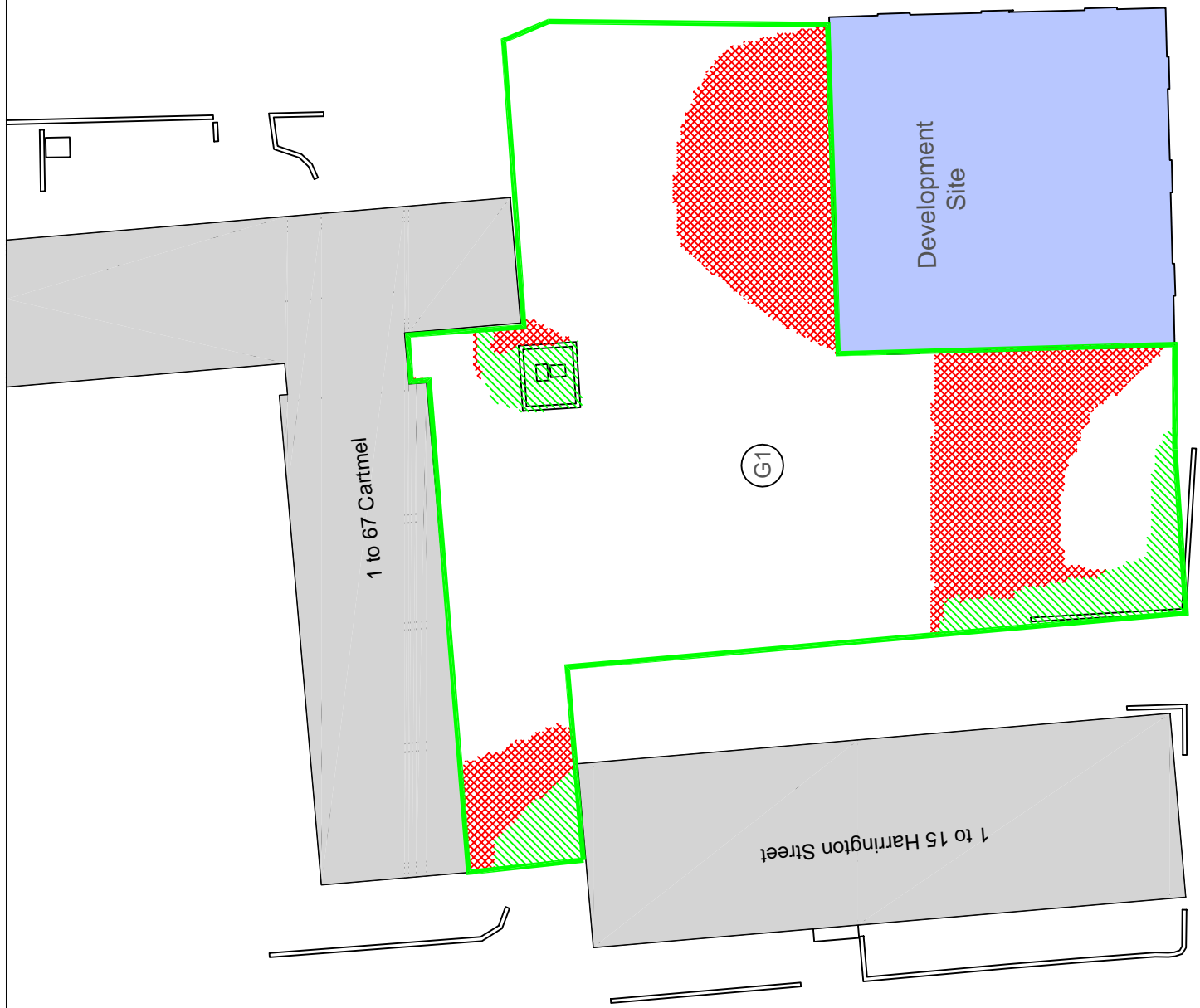
# Appendix 4.3 : Overshadowing to Gardens and Open Spaces

## KEY

-  Receives under two hours sunlight on 21st March before and after the development.
-  Receives under two hours sunlight on 21st March before the development; but will receive at least two hours sunlight on 21st March after the development (light improved).
-  Receives at least two hours sunlight on 21st March before the development; but will receive under two hours sunlight after the development (light loss).
-  Receives at least two hours sunlight on 21st March before and after the development.

## Notes:

1. Contours derived in accordance with BRE Guide : Site Layout Planning for Daylight and Sunlight



Project Name	Regents Park Estate, London NW1 4BX	
Drawing Title	Appendix 4.3 - Overshadowing to Gardens and Open Spaces	
Scale	Do not scale	
Drawing No.	1 of 1	Rev. -
Date	Date of revision	
Rev.		



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## **APPENDIX 4.4**

### ALTERNATIVE DAYLIGHT AND SUNLIGHT RESULTS



**Appendix 4.4 - Alternative Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
<u>1 to 67 Cartmel</u>					
Window 67	Habitable	22.5%	17.5%	5.0%	0.78
Window 68	Habitable	25.3%	20.5%	4.8%	0.81
Window 74	Habitable	23.8%	18.5%	5.3%	0.78
Window 82	Habitable	27.5%	22.0%	5.5%	0.8
Window 88	Habitable	25.8%	19.9%	5.9%	0.77
Window 90	Habitable	30.8%	25.1%	5.7%	0.81
Window 105	Habitable	28.3%	21.0%	7.3%	0.74
Window 109	Habitable	28.6%	21.0%	7.6%	0.73
Window 110	Habitable	30.4%	22.9%	7.5%	0.75
Window 112	Habitable	33.7%	26.6%	7.1%	0.79
Window 114	Habitable	36.2%	29.7%	6.5%	0.82
Window 116	Habitable	28.9%	21.1%	7.8%	0.73
Window 118	Habitable	32.3%	24.6%	7.7%	0.76
Window 120	Habitable	35.0%	27.9%	7.1%	0.8
Window 123	Habitable	30.9%	22.8%	8.1%	0.74
Window 124	Habitable	33.8%	26.0%	7.8%	0.77
Window 125	Habitable	36.2%	29.1%	7.1%	0.8
Window 126	Habitable	29.4%	21.1%	8.3%	0.72
Window 127	Habitable	32.5%	24.3%	8.2%	0.75
Window 128	Habitable	35.1%	27.4%	7.7%	0.78
Window 129	Habitable	37.2%	30.4%	6.8%	0.82
<u>1 to 32 Waterhead</u>					
Window 443	Habitable	31.6%	21.6%	10.0%	0.68
Window 444	Habitable	33.2%	28.1%	5.1%	0.85
Window 445	Habitable	33.2%	23.3%	9.9%	0.7
Window 446	Habitable	34.5%	29.4%	5.1%	0.85
Window 447	Habitable	34.8%	24.9%	9.9%	0.72
Window 448	Habitable	35.6%	30.6%	5.0%	0.86
Window 449	Habitable	36.2%	26.6%	9.6%	0.73
Window 450	Habitable	36.7%	31.9%	4.8%	0.87
Window 451	Habitable	37.3%	27.7%	9.6%	0.74
Window 452	Habitable	37.8%	33.1%	4.7%	0.88

**Appendix 4.4 - Alternative Vertical Sky Component**  
**Regents Park Estate, London NW1 4BX**

Reference	Use Class	Vertical Sky Component			
		Before	After	Loss	Ratio
Window 453	Habitable	38.2%	29.1%	9.1%	0.76
Window 454	Habitable	38.7%	34.4%	4.3%	0.89
Window 455	Habitable	39.1%	30.6%	8.5%	0.78
Window 456	Habitable	39.4%	35.6%	3.8%	0.9
Window 457	Habitable	39.5%	31.8%	7.7%	0.81
Window 458	Habitable	31.3%	22.3%	9.0%	0.71
Window 459	Habitable	33.1%	24.0%	9.1%	0.73
Window 460	Habitable	34.8%	25.8%	9.0%	0.74
Window 461	Habitable	36.2%	27.4%	8.8%	0.76
Window 462	Habitable	37.3%	28.7%	8.6%	0.77
Window 463	Habitable	38.2%	30.1%	8.1%	0.79
Window 464	Habitable	39.1%	31.5%	7.6%	0.81
Window 465	Habitable	39.4%	32.7%	6.7%	0.83
Window 466	Habitable	31.1%	22.9%	8.2%	0.74
Window 467	Habitable	33.0%	24.7%	8.3%	0.75
Window 468	Habitable	34.7%	26.6%	8.1%	0.77
Window 469	Habitable	36.2%	28.2%	8.0%	0.78
Window 470	Habitable	37.3%	29.6%	7.7%	0.79
Window 471	Habitable	38.2%	30.9%	7.3%	0.81
Window 472	Habitable	39.1%	32.3%	6.8%	0.83
Window 473	Habitable	39.4%	33.5%	5.9%	0.85
Window 490	Habitable	30.9%	23.7%	7.2%	0.77
Window 491	Habitable	32.9%	25.7%	7.2%	0.78
Window 492	Habitable	34.8%	27.7%	7.1%	0.8
Window 493	Habitable	36.3%	29.4%	6.9%	0.81
Window 494	Habitable	37.4%	30.8%	6.6%	0.82
Window 495	Habitable	38.2%	32.1%	6.1%	0.84
Window 496	Habitable	39.1%	33.4%	5.7%	0.85
Window 497	Habitable	39.4%	34.5%	4.9%	0.88
Window 499	Habitable	30.6%	24.2%	6.4%	0.79
Window 503	Habitable	34.6%	28.4%	6.2%	0.82
Window 507	Habitable	37.3%	31.6%	5.7%	0.85
Window 511	Habitable	39.1%	34.2%	4.9%	0.87
Window 518	Habitable	32.5%	26.9%	5.6%	0.83
Window 522	Habitable	36.2%	31.0%	5.2%	0.86
Window 531	Habitable	30.0%	25.2%	4.8%	0.84

---

## **APPENDIX 5**

### **DICK COLLINS TRA HALL**

---

**APPENDIX 5.1**

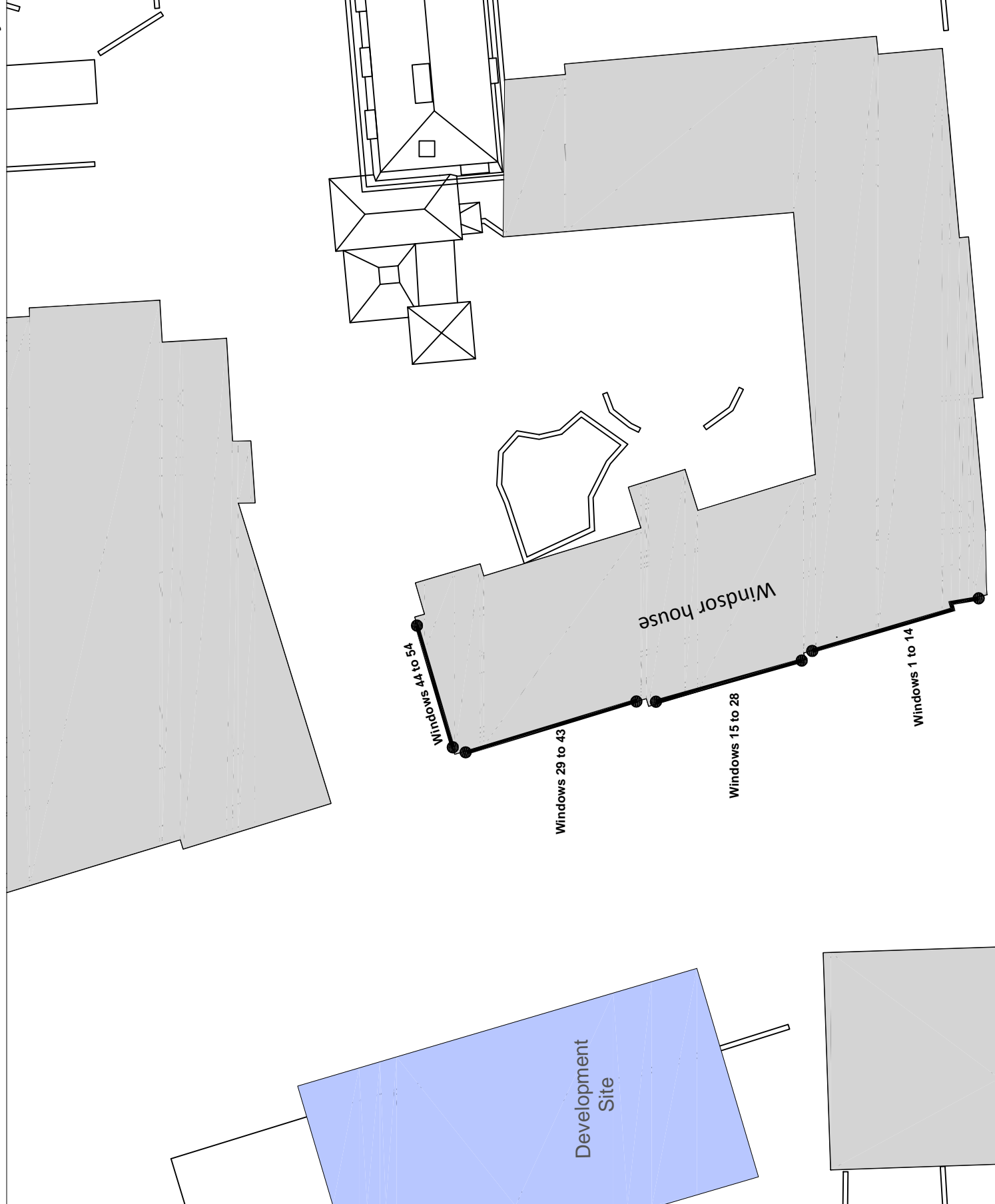
WINDOW & GARDEN KEY



**Window Key**

**Key**

- Window 1 ● Window reference
- Development site
- Neighbouring Properties



Project Name		Regents Park Estate, London NW1	
Drawing Title		Appendix 51 - Neighbouring Windows	
Scale	Do not scale		
Drawing No.	1 of 4		
Rev.	-		
Rev.	Date	Description of revision	



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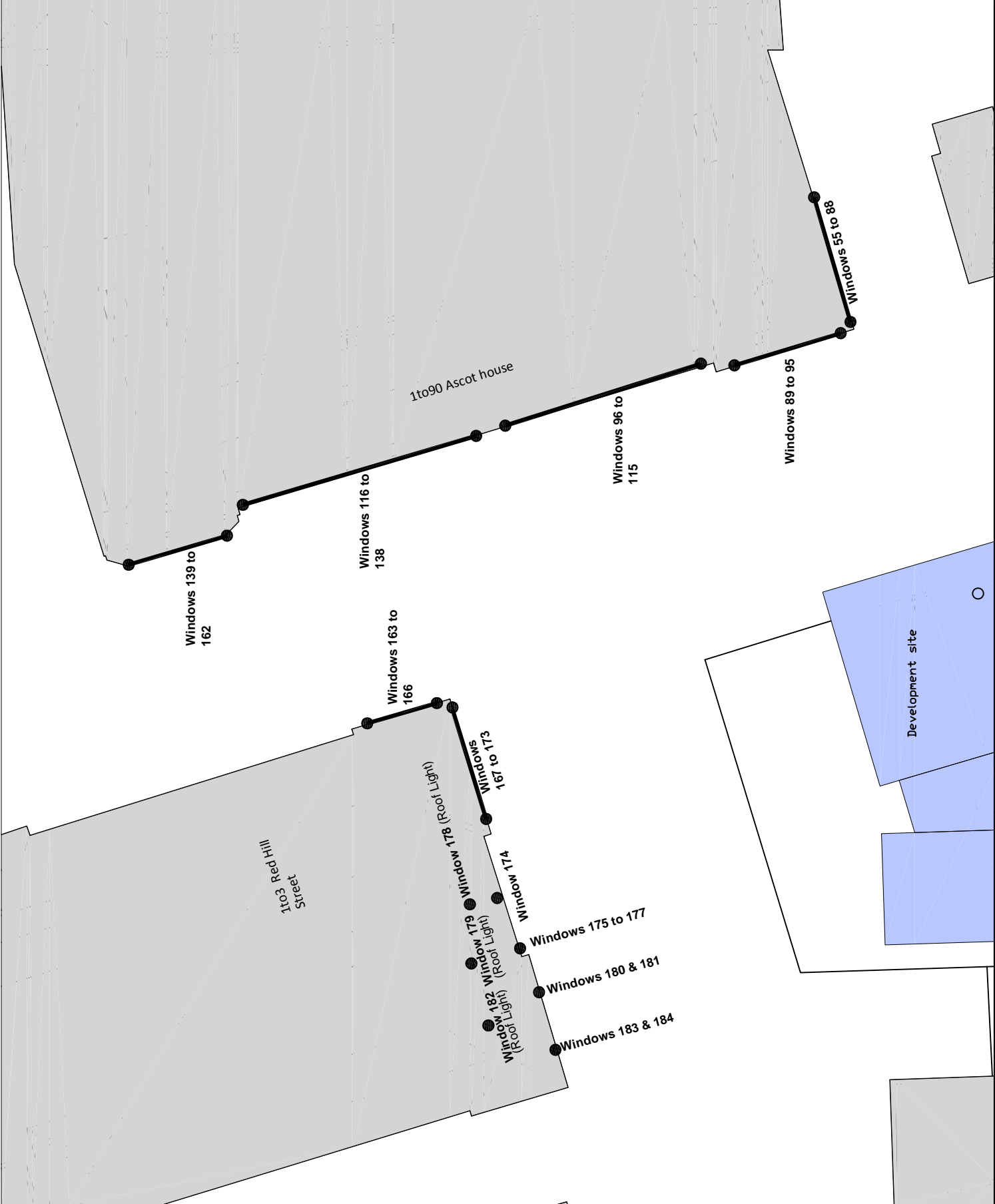
**Window Key**

**Key**

Window 1 ● Window reference

Development site

Neighbouring Properties



Project Name		Regents Park Estate, London NW1 4BX	
Drawing Title		Appendix 51 - Neighbouring Windows	
Scale	Do not scale		
Drawing No.	2 of 4		
Rev.	-		
Rev.	Date	Description of revision	



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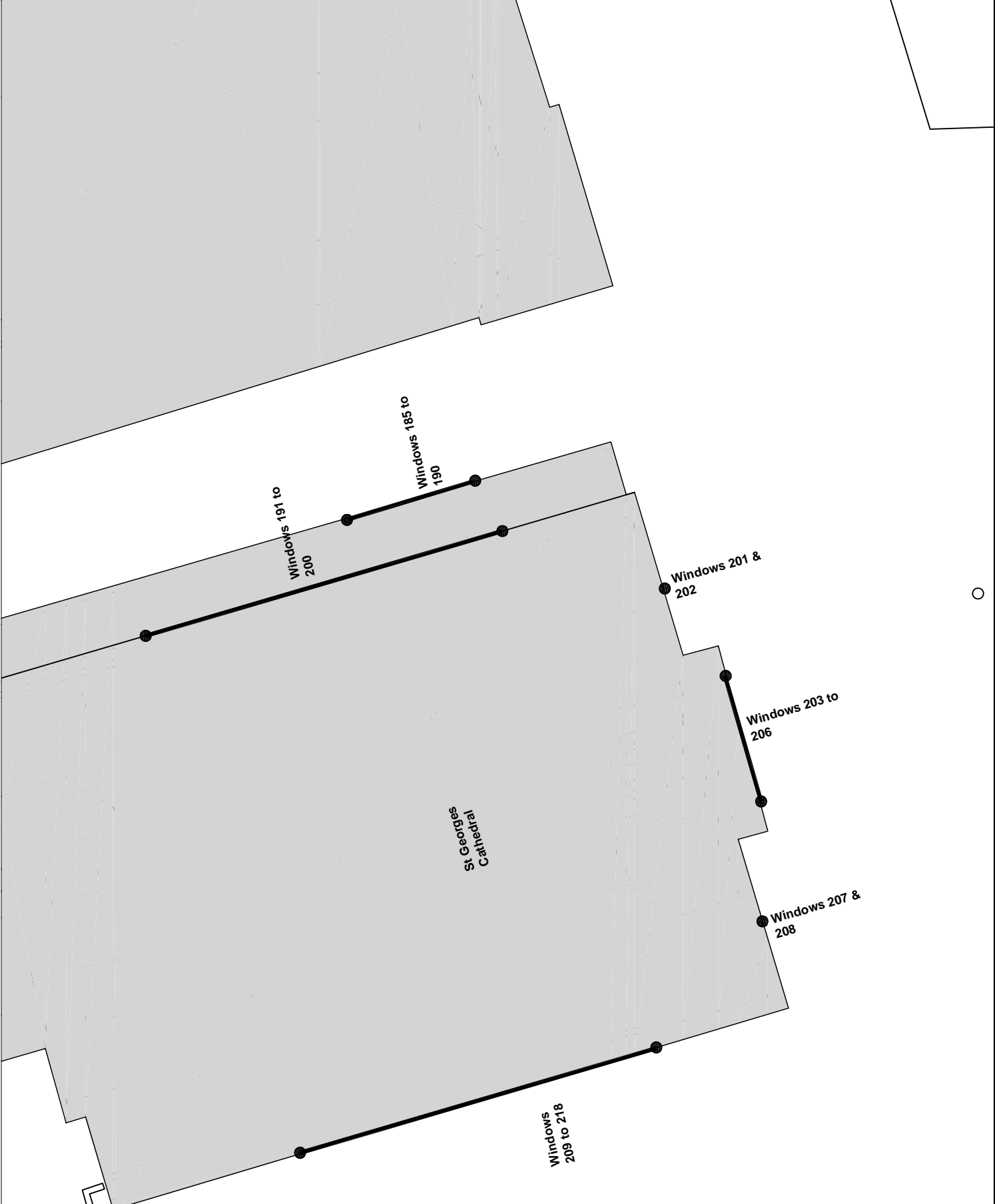
# Window Key

## Key

Window 1 ● Window reference

Development site

Neighbouring Properties



Project Name		Regents Park Estate, London NW1	
Drawing Title		Appendix 51 - Neighbouring Windows	
Scale		Do not scale	
Drawing No.		3 of 4	
Rev	Date	Details of revisions	



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# Window Key

## Key

Window 1 ● Window reference

Development site

Neighbouring Properties

Windows 219 & 220

●

●

1 to 50 Rothay Red hill Street

Windows 221 to 286

Windows 339 & 340

Windows 307 to 338

Windows 287 to 306

1 to 50 Rothay Red hill Street

1 to 50 Rothay Red hill Street



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Project Name: **Regents Park Estate, London NW1 4BX**

Drawing Title: **Appendix 5.1 - Neighbouring Windows**

Scale: **Do not scale**

Drawings: **4 of 4**

Rev: -

Date of revision

By

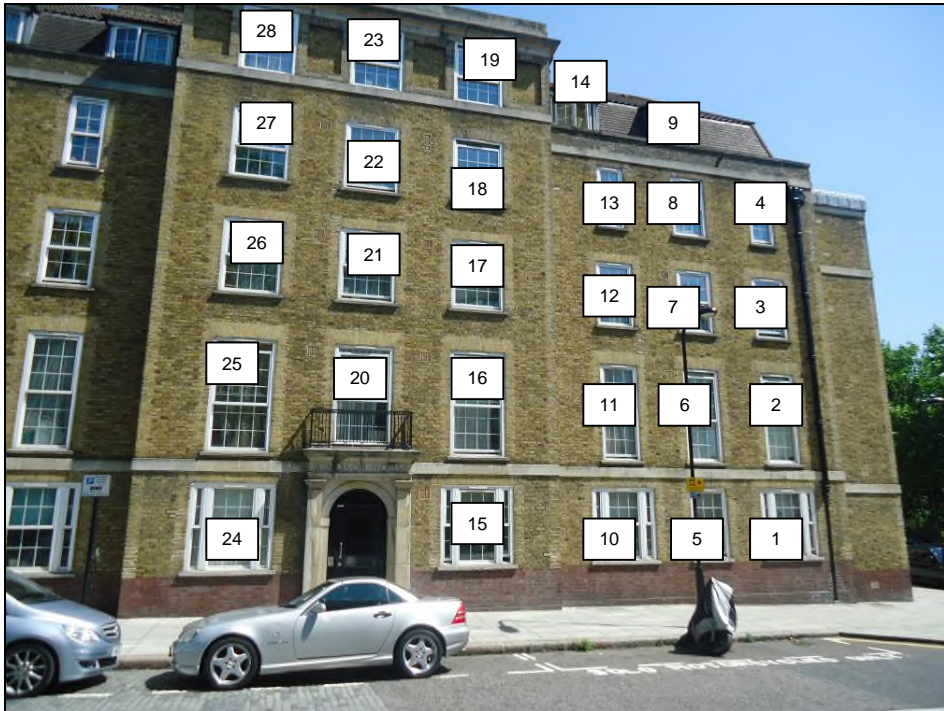
Checked by

Drawn by

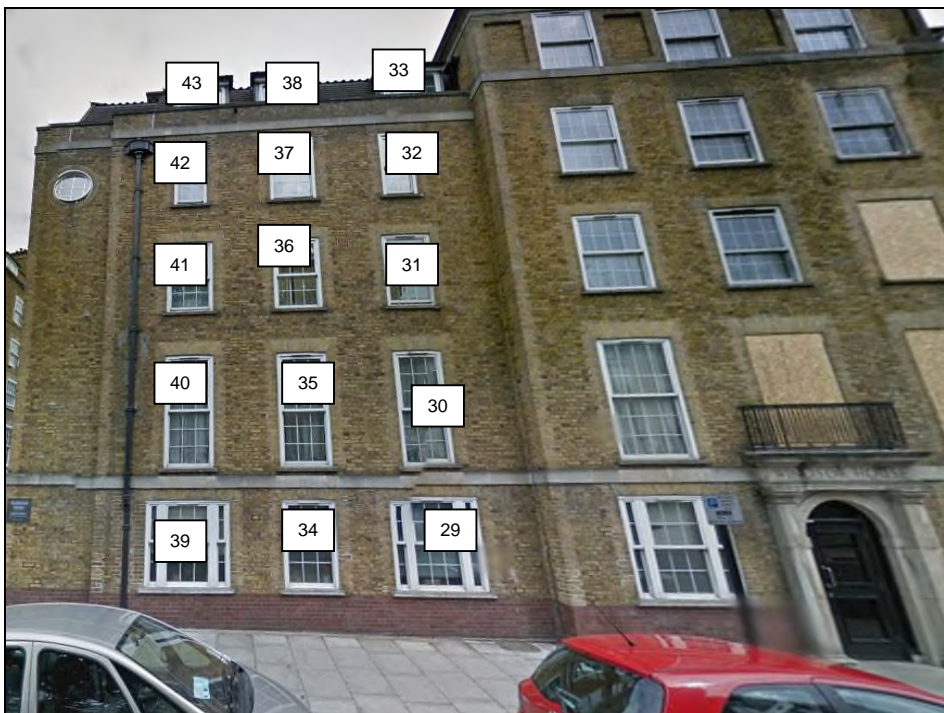
Scale



## Neighbouring Windows



**Windsor House**



**Windsor House**