

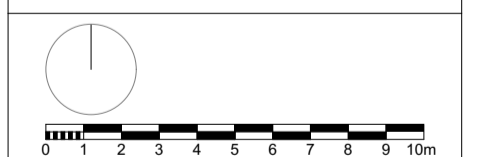


Existing trees/
buildings to be removed.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
1. Measurements are based on metric system.
 2. All levels are relative to Ordnance Datum unless otherwise stated.
 3. All dimensions are in millimetres unless otherwise stated.
 4. Figures in brackets are to be deleted.
 5. All work to be carried out in accordance with the relevant British Standards.
 6. Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all information from drawings before commencing work.

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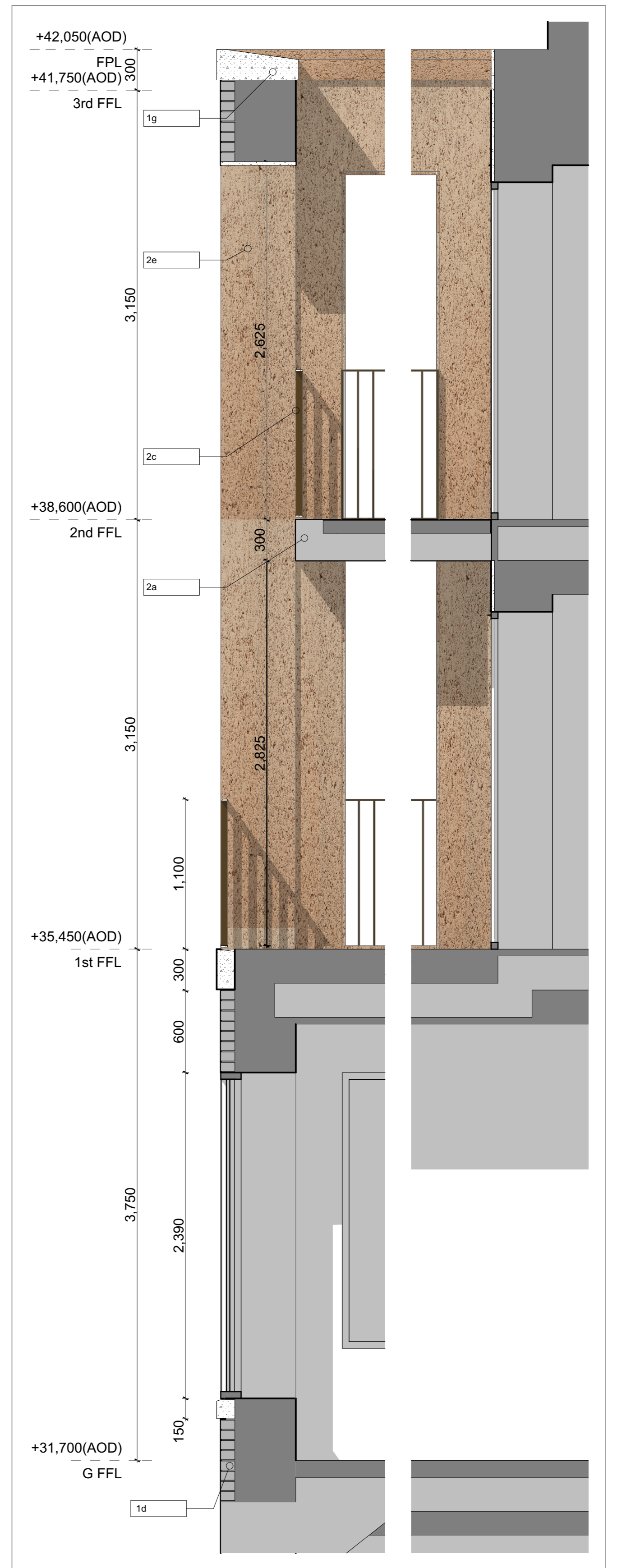
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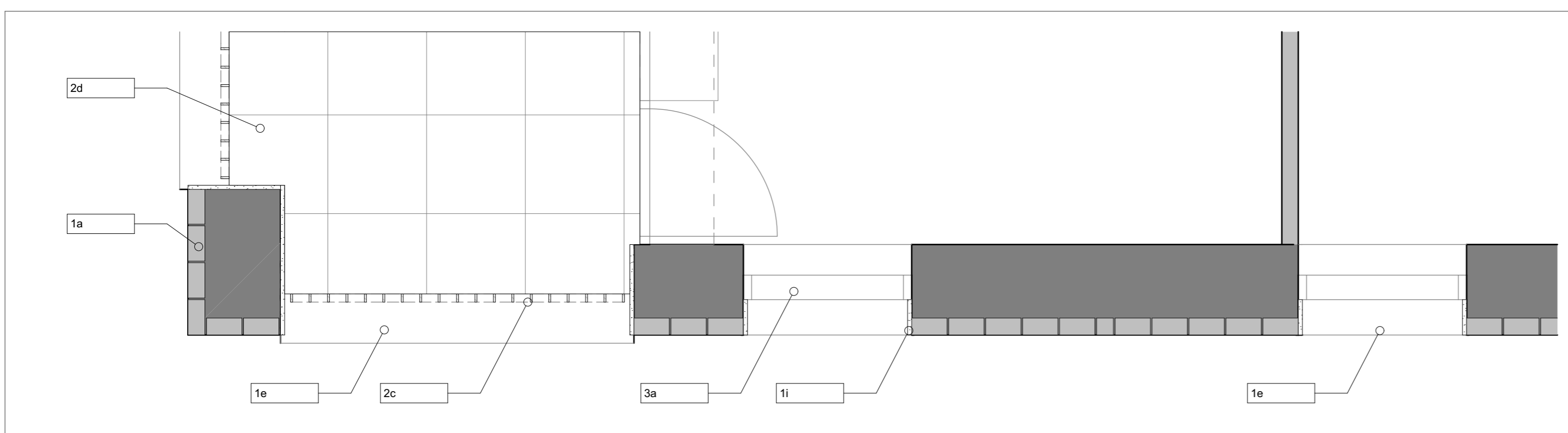
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Existing Site Plan	
STATUS Planning	SCALE 1:200@ A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	DATE
DRAWING NO. 1328-1328-PS-001	REV -



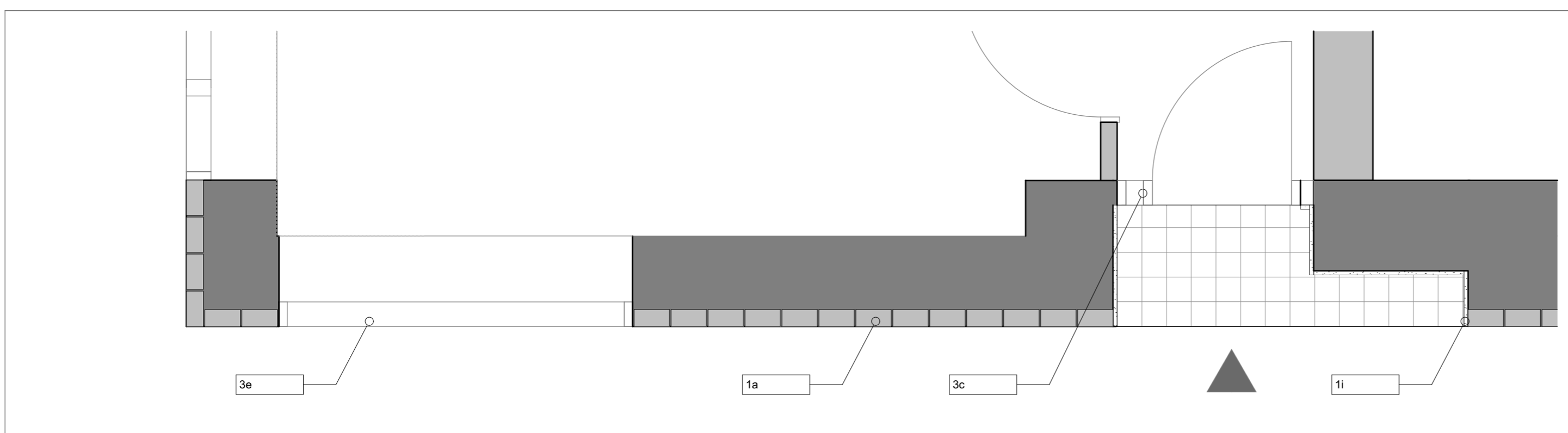
S5-402_01 Typical Bay Elevation 1:25



S5-402_02 Typical Bay Section 1:25



S5-402_03 Typical Balconey 1:25



S5-402_04 Typical Bay Plan 1:25

Specification Key

- 1. External Walls:**
 - 1a. Red Buff textured clay brickwork.
 - 1b. Warm-Grey mortar to brickwork and blockwork, flush pointed.
 - 1c. Precast reconstituted stone profiled banding and balcony projections, as Blackhill Natural by cornish concrete or similar to smooth finish.
 - 1d. Staffordshire blue brickwork base brick.
 - 1e. Precast reconstituted stone window and balcony sills to match 1c banding.
 - 1f. Prefabricated brick lintels to 1st-4th floor to match 1a brickwork.
 - 1g. Precast reconstituted stone coping to match 1c Banding (once weathered).
 - 1h. Bespoke PPC metalwork MVHR extract grilles to each unit, concealed within lintel recess.
 - 1i. 25mm thick and 215mm deep render reveals to 1st-4th floor doors, windows, balcony walls and domestic door recesses. Colour to match 1c banding.
- 2. Recessed Balconies**
 - 2a. Fair faced precast concrete to balcony slab to match 1c Banding.
 - 2b. Soffit in continuous board/ender finish to match 1c.
 - 2c. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.
 - 2d. Concrete pavers to floor to match precast concrete.
 - 2e. 25mm render reveals and render finish to all balcony walls, colour to match Concrete 1c.
- 3. Windows & Doors:**
 - 3a. Composite timber & aluminum windows, PPC Grey beige RAL1019 max frame size 54mm.
 - 3b. Balcony doors/windows to be PPC Grey beige RAL 1019.
 - 3c. Domestic front panel doors to be PPC Grey beige (RAL 1019) coloured leaf with glazed fanlight above and rest of frame as Sepia brown RAL 8014.
 - 3d. Communal opening doors to match balustrading (as 2c) RAL 8014 Sepia brown and the fixed frames as PPC RAL 8014 Sepia brown.
 - 3e. Window balustrading to match balcony balustrading (as 2d) RAL 8014 Sepia brown.
 - 3f. Gates and railings within landscape to colour match building balustrading (RAL 8014), refer to landscape architect drawings for more details.
 - 3g. All ground floor windows to be flush and match 3a.
- 4. Roofs:**
 - 4a. Green/brown roof.
 - 4b. Roof access hatch.
- 5. Rain Water:**
 - 5a. Internal DP's within core.
 - 5b. External DP's to rear elevation to be metal PPC RAL 8014 Sepia brown.
 - 5c. Hopper head PPC to match 5b.
 - 5d. PPC Sepia brown RAL 8014.

REV.	DATE	DESCRIPTION

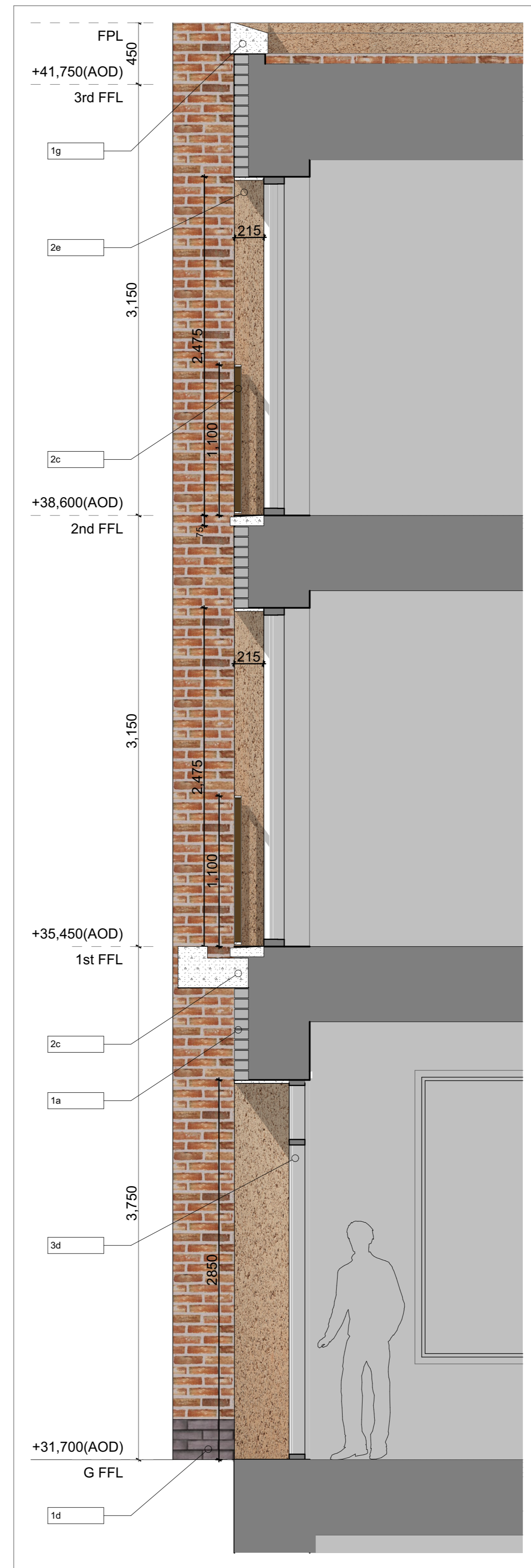


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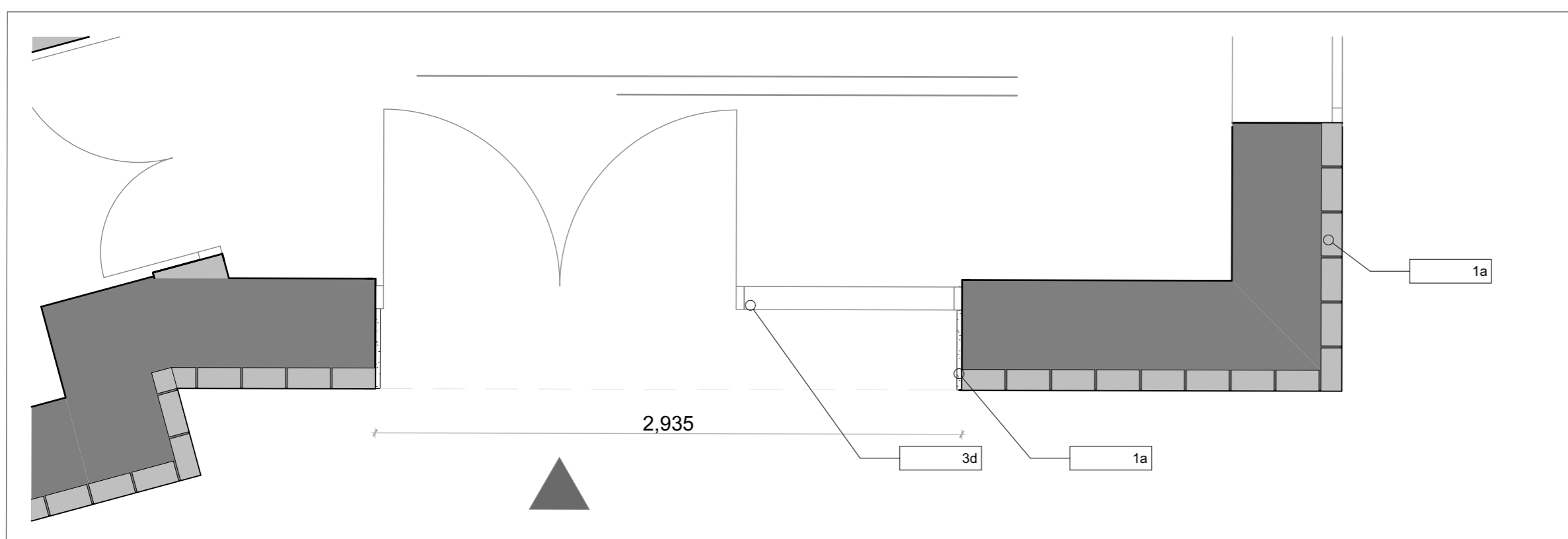
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Bay Elevations 2	
STATUS Planning	SCALE 1:25 @ A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	
DRAWING NO. 1328-P5-402	REV. -



S5-401_01 Communal Entrance Elevation 1:25



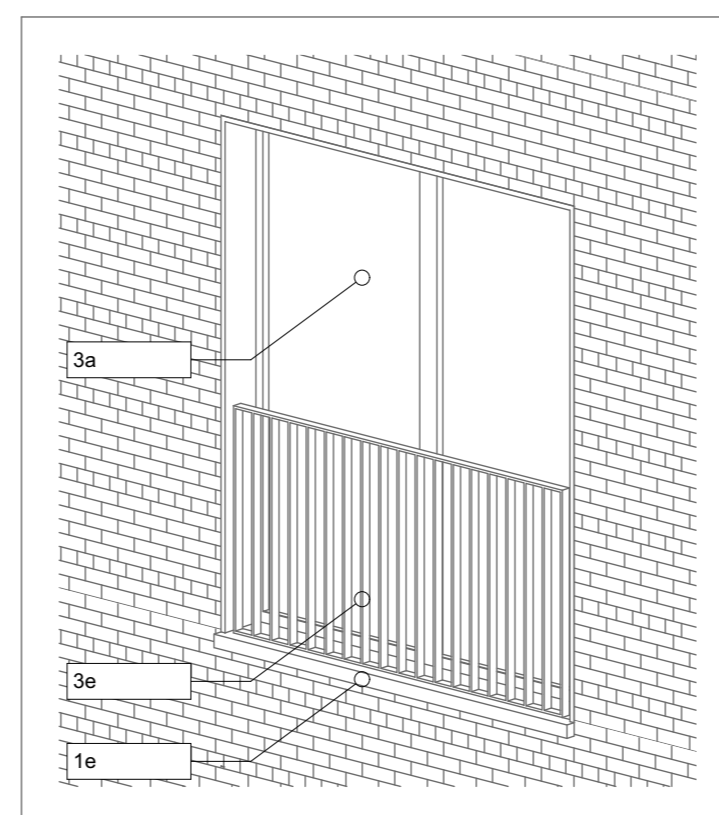
S5-401_02 Communal Entrance Section 1:25



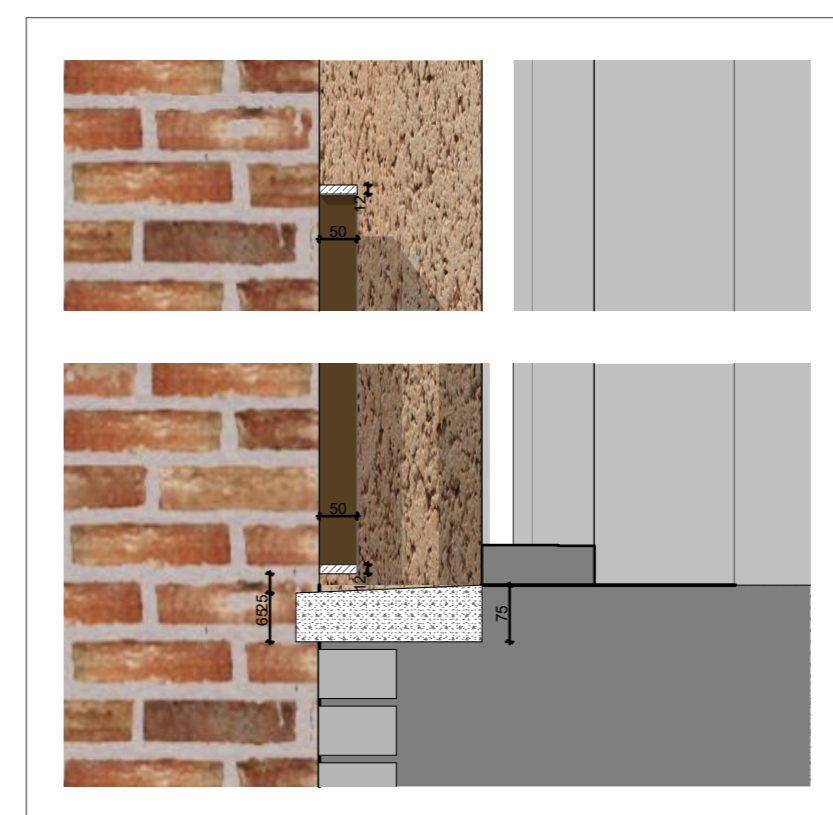
S5-401_03 Communal Entrance Plan 1:25



S5-401_04 Communal Entrance Axo



S5-401_05 Typical Large Window Axo



S5-401_06 Typical sill detail 1:10

Specification Key

1. External Walls:
 1a. Red Buff textured clay brickwork.
 1b. Warm-Grey mortar to brickwork and blockwork, flush pointed.
 1c. Precast reconstituted stone coping to balcony projections, as Blackhill Natural by cornish concrete or similar to smooth finish.
 1d. Staffordshire blue brickwork base brick.
 1e. Precast reconstituted stone window and balcony sills to match 1c banding.
 1f. Precast reconstituted stone coping to match 1c banding (once weathered).
 1g. Bespoke PPC metalwork MVHR extract grilles to each unit, concealed within lintel recess.
 1h. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.
 1j. Precast signage to domestic and communal doorways to match 1c banding.
 1k. Precast reconstituted stone canopy to match 1c banding.

2. Recessed Balconies
 2a. Fair faced precast concrete to balcony slab to match 1c banding.
 2b. Soffit in cementitious board/ender finish to match 1c.
 2c. Bespoke PPC metalwork balustrading with flat bar uprights and horizontals finished in PPC RAL 8014 Sepia brown.
 2d. Concrete pavers to floor to match precast concrete.
 2e. 25mm render reveals and render finish to all balcony walls, colour to match Concrete 1c.

3. Windows & Doors:
 3a. Composite timber & aluminum windows, PPC Grey beige RAL1019 max frame size 54mm.
 3b. Balcony doors/windows to be PPC Grey beige RAL 1019.
 3c. Domestic front panel doors to be PPC Grey beige (RAL 1019) coloured leaf with glazed fanlight above and rest of frame as Sepia brown RAL 8014.
 3d. Communal opening doors to match balustrading (as 2c) RAL 8014 Sepia brown and the fixed frames as PPC RAL 8014 Sepia brown.
 3e. Window balustrading to match balcony balustrading (as 2c) RAL 8014 Sepia brown.
 3g. Gates and railings within landscape to colour match building balustrading (RAL 8014), refer to landscape architect drawings for more details.
 3e. All ground floor windows to be flush and match 3a.

4. Roofs:
 4a. Green/brown roof.
 4b. Roof access hatch.

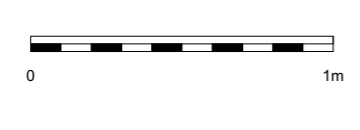
5. Rain Water:
 5a. Internal DP's within core.
 5b. External DP's to rear elevation to be metal PPC RAL 8014 Sepia brown.
 5c. Hopper head PPC to match 5b.
 5d. PPC Sepia brown RAL 8014.

GENERAL NOTES

1. Measurements are based on metric system.
2. All work is to be carried out in accordance with the Building Regulations (BR) unless otherwise stated.
3. Do not use of drawings and CAD file.
4. All work is to be carried out in accordance with the Building Regulations (BR) unless otherwise stated.
5. Contractors must verify all materials, work and completion on site and fully control satisfactory of all work before proceeding with construction.

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REV.	DATE	DESCRIPTION



CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Bay Elevations 1	
STATUS Planning	SCALE 1:25, 1:10@ A1
DRAWN BY	CHECKED BY
DRAWING NO. 1328-P5-401	DATE 28/05/2015
	REV. -

For materials and details,
please refer to 1328_400
series drawings and Design
& Access statement section
6, materials page.

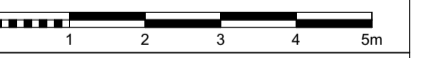


REV	DATE	DESCRIPTION
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GENERAL NOTES

1. Measurements are based on metric system.
2. All levels are relative to Ordnance Datum unless otherwise stated.
3. All levels are given to 3 decimal places.
4. Floor levels are given to 3 decimal places.
5. All levels are given to 3 decimal places.
6. Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work.

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CLIENT London Borough of Camden		
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328	
DRAWING NAME Dick Collins Hall - West Elevation		
STATUS Planning	SCALE 1:100@ A1	
DRAWN BY	CHECKED BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-304	REV	-

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES
- Measurements are based on walls system.
 - 20 levels are marked in Drawing Sheet Number (CSN) unless otherwise noted.
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Proposed Public Realm Existing Rothay Communal Garden **New Build Block** Redhill Street (East) Windsor House

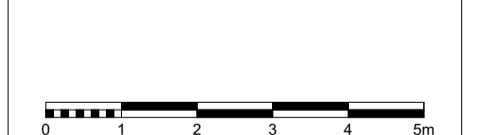
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - South Elevation	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-303	REV -



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		20 levels are shown in this drawing unless otherwise stated
3		20 levels are shown in this drawing unless otherwise stated
4		20 levels are shown in this drawing unless otherwise stated
5		20 levels are shown in this drawing unless otherwise stated
6		20 levels are shown in this drawing unless otherwise stated
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18		20 levels are shown in this drawing unless otherwise stated
19		20 levels are shown in this drawing unless otherwise stated
20		20 levels are shown in this drawing unless otherwise stated

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CLIENT	
London Borough of Camden	
PROJECT NAME	PROJECT NO.
Regents Park Estate Infill	1328
DRAWING NAME	
Dick Collins Hall - North Elevation	
STATUS	SCALE
Planning	1:100@ A1
DRAWN BY	DATE
	28/05/2015
DRAWING NO.	REV
1328-1328-PS-302	-

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES
1. Measurements are based on walls system.
 2. All levels are relative to Ordnance Datum (AOD) unless otherwise stated.
 3. All levels are to finished floor level (FFL).
 4. Floor levels are to be finished.
 5. All levels are to be finished unless otherwise stated.
 6. Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work.

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Existing Rothay

Communal Garden

New Build Block

Proposed Public Square

Redhill Street (North)

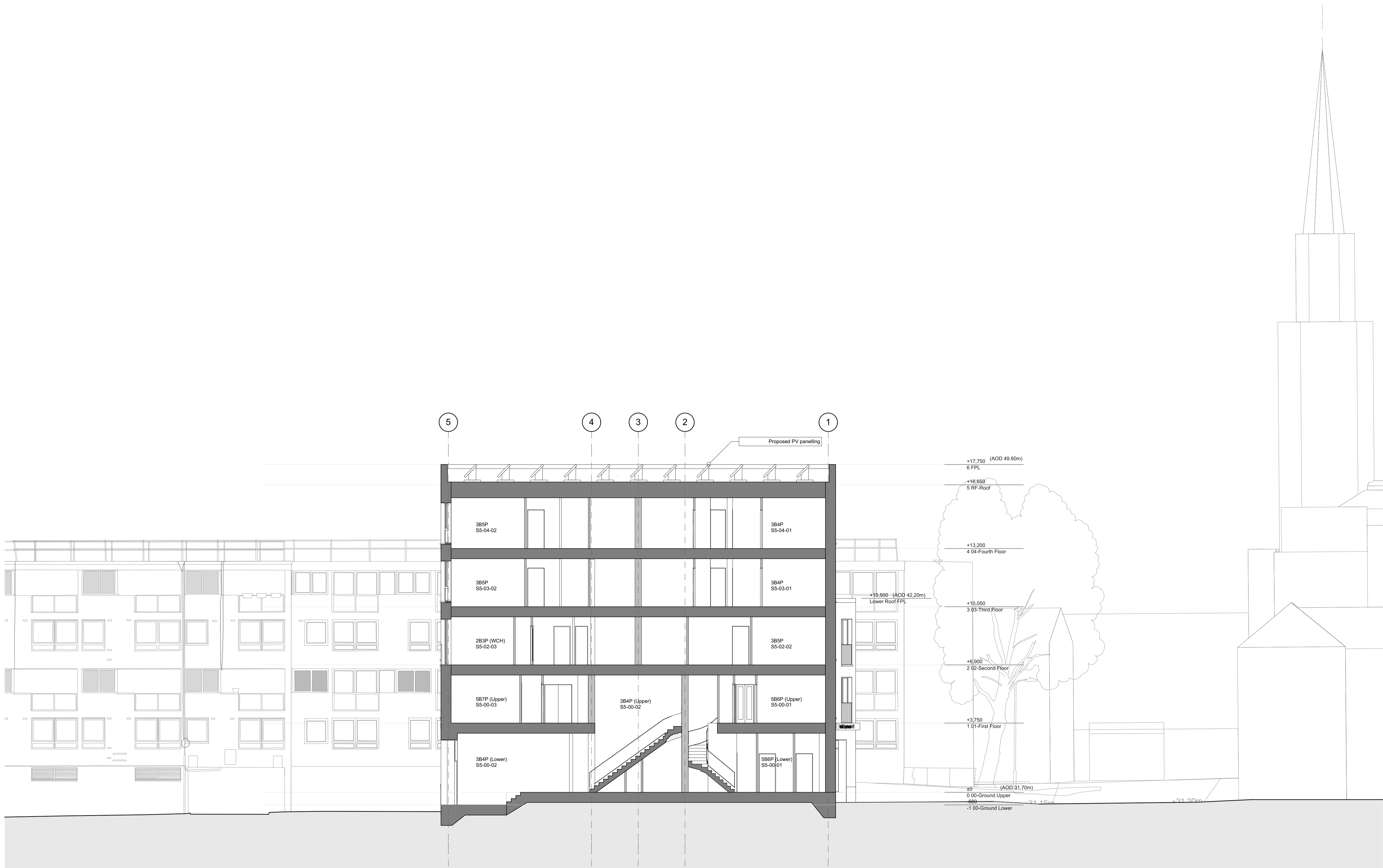
No. 1-3 Redhill Street

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CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - East Elevation	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-301	REV -

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



Existing Rothay Communal Garden **New Build Block** Proposed Public Square Redhill Street (North) No. 1-3 Redhill Street

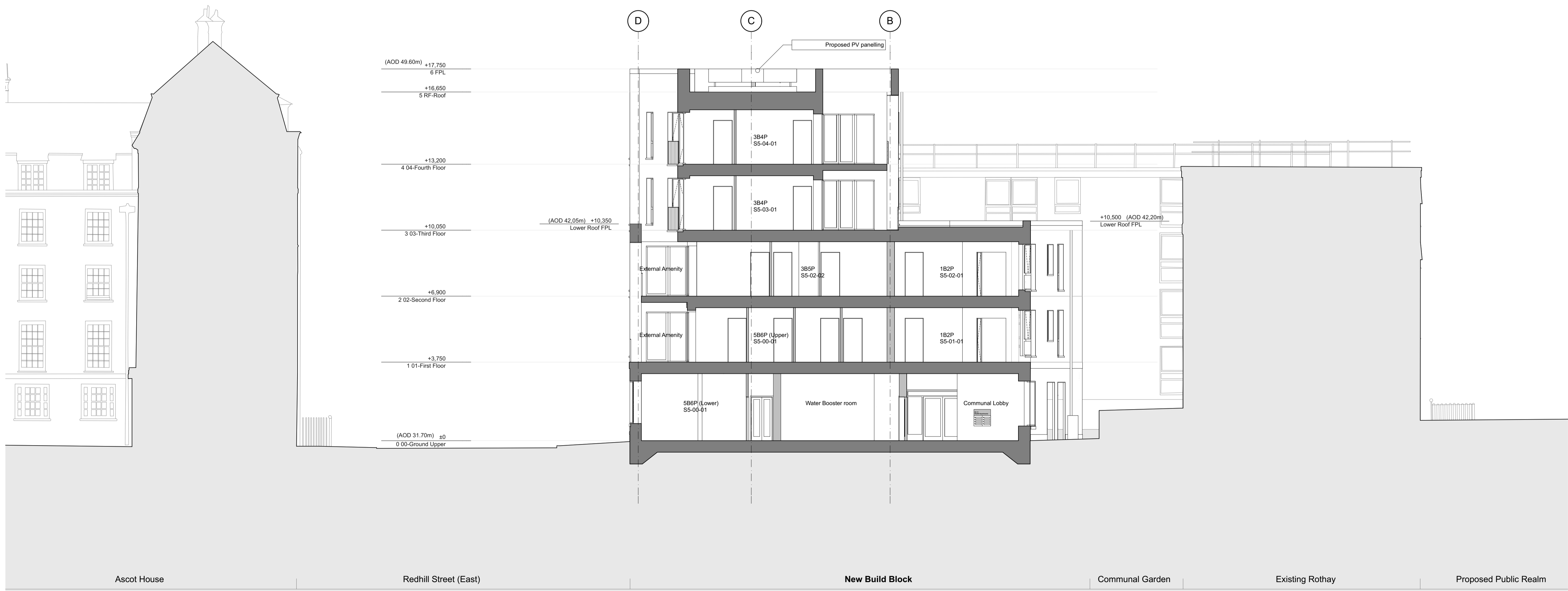
REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		20 levels are marked in 200mm (8") increments unless otherwise noted
3		20 levels are marked in 200mm (8") increments unless otherwise noted
4		20 levels are marked in 200mm (8") increments unless otherwise noted
5		20 levels are marked in 200mm (8") increments unless otherwise noted
6		20 levels are marked in 200mm (8") increments unless otherwise noted
7		20 levels are marked in 200mm (8") increments unless otherwise noted
8		20 levels are marked in 200mm (8") increments unless otherwise noted
9		20 levels are marked in 200mm (8") increments unless otherwise noted
10		20 levels are marked in 200mm (8") increments unless otherwise noted

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CLIENT	London Borough of Camden
PROJECT NAME	Regents Park Estate Infill
PROJECT NO.	1328
DRAWING NAME	Dick Collins Hall - Section BB
STATUS	Planning
SCALE	1:100@ A1
DRAWN BY	DATE
28/05/2015	
DRAWING NO.	REV
1328-1328-PS-202	-

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum.
 - Dimensions are given in millimetres.
 - Dimensions are given in metres.
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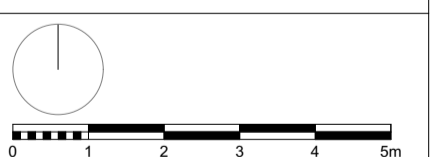
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Section AA	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-201	REV -

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on walls system
2		20 levels are shown in Column Grid Tables (CMT) unless otherwise noted
3		20 levels are shown in Column Grid Tables (CMT) unless otherwise noted
4		20 levels are shown in Column Grid Tables (CMT) unless otherwise noted
5		20 levels are shown in Column Grid Tables (CMT) unless otherwise noted
6		20 levels are shown in Column Grid Tables (CMT) unless otherwise noted
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CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Roof Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-106	REV -

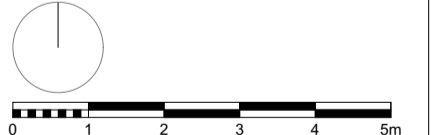
For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 levels are shown in Column Grid.
 - Column Grids are shown in Column Grid.
 - Figure dimensions are in millimeters.
 - 20 levels are shown in Column Grid.
 - Contractor should verify all conditions, levels and dimensions on site and verify correct administration of all services from drawings before construction commences.

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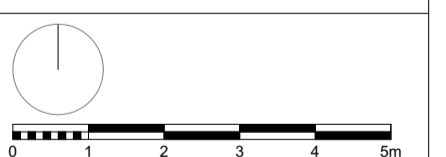
CLIENT London Borough of Camden		
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328	
DRAWING NAME Dick Collins Hall - Fourth Floor Plan		
STATUS Planning	SCALE 1:100@ A1	
DRAWN BY	CHECKED BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-105	REV -	

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on walls system
2		20 levels are shown in Column Grid System (CCS) unless otherwise noted
3		Do not scale drawings for construction
4		Figure dimensions are to be followed
5		Do not scale drawings for construction
6		Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all information from drawings before commencing work

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CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Third Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-104	REV -

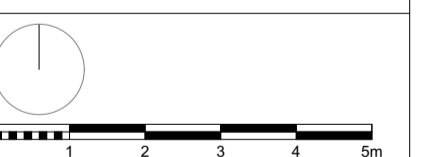
For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
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- GENERAL NOTES**
1. Measurements are based on walls system.
 2. All work is to be done in accordance with the relevant Building Regulations (BR) unless otherwise stated.
 3. All work is to be done in accordance with the relevant Building Regulations (BR) unless otherwise stated.
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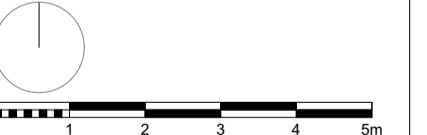
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Second Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-103	REV -

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on walls system
2		20 levels are shown in Column Grid System (C/S) unless otherwise noted
3		Level of ground floor is 0.00
4		Figure dimensions are in millimetres
5		Do not scale drawings unless necessary
6		Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all variations from drawings before commencing work

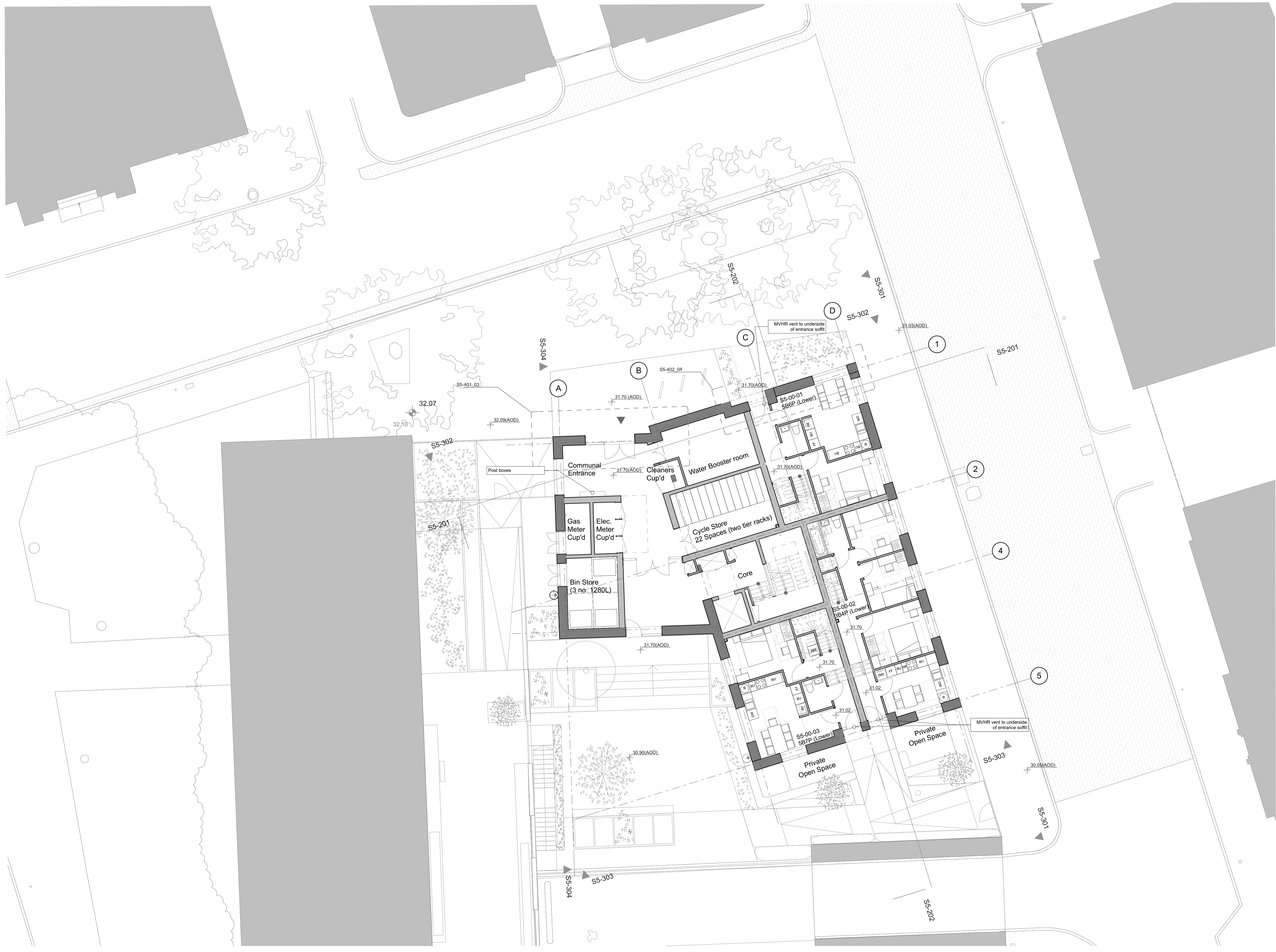
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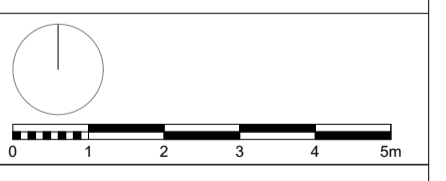
CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - First Floor Plan	
STATUS Planning	SCALE 1:100@ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-1328-PS-102	REV -

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



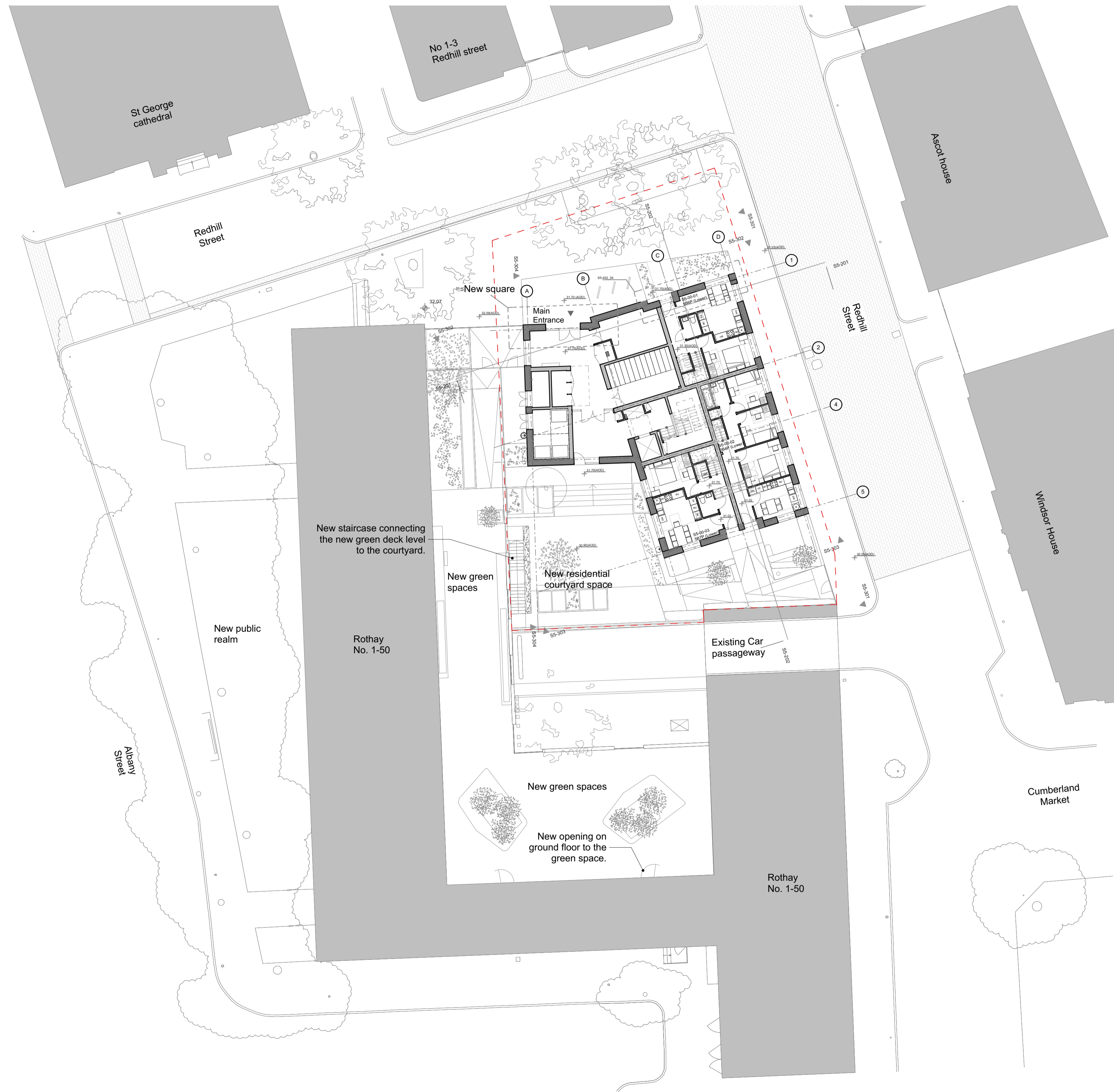
REV	DATE	DESCRIPTION
1		Measurements are based on walls system
2		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
3		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
4		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
5		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
6		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
7		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
8		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
9		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted
10		20 levels are shown in 200mm Green Screen (CSN) unless otherwise noted

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CLIENT	London Borough of Camden
PROJECT NAME	Regents Park Estate Infill
PROJECT NO.	1328
DRAWING NAME	Dick Collins Hall - Ground Floor Plan
STATUS	Planning
SCALE	1:100@ A1
DRAWN BY	
CHECKED BY	
DATE	28/05/2015
DRAWING NO.	1328-1328-PS-101
REV	

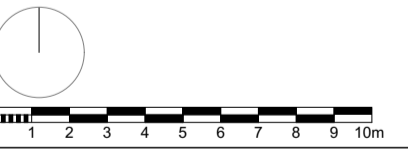


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
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- GENERAL NOTES**
1. Measurements are based on metric system.
 2. All levels are in meters to Ordnance Datum (OSD) unless otherwise stated.
 3. All dimensions are to the centreline.
 4. Figures in brackets are to the nearest.
 5. All work to be carried out in accordance with the relevant British Standards.
 6. Contractor should verify all conditions, levels and dimensions on site and notify contract administrator if any variations from drawings before commencing work.

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CLIENT London Borough of Camden	
PROJECT NAME Regents Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Dick Collins Hall - Site Plan	
STATUS Planning	SCALE 1:200@A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	DATE
DRAWING NO. 1328-1328-PS-100	REV -